

CITY OF WATERTOWN, NEW YORK
AGENDA
Monday, August 3, 2015

This shall serve as notice that the next regularly scheduled meeting of the City Council will be held on Monday, August 3, 2015, at 7:00 p.m. in the City Council Chambers, 245 Washington Street, Watertown, New York.

MOMENT OF SILENCE

PLEDGE OF ALLEGIANCE

ROLL CALL

ADOPTION OF MINUTES

COMMUNICATIONS

PRIVILEGE OF THE FLOOR

RESOLUTIONS

- Resolution No. 1 - Reappointment to the Roswell P. Flower Memorial Library Board of Trustees, Sarah Weir

- Resolution No. 2 - Authorizing Abate On Water Bill for Property at 742 Morrison Street

- Resolution No. 3 - Authorizing Correction of the 2015 Tax Roll Entry for 1019 Coffeen Street

- Resolution No. 4 - Finding That Construction of the 10th Mountain Division Monument and Related Site Improvements in John C. Thompson Park Will Not Have Any Significant Adverse Impacts on the Environment

- Resolution No. 5 - Approving Intent to Enter into a Franchise Agreement Between the City of Watertown and Top Shelf Hockey, LLC

ORDINANCES

LOCAL LAW

PUBLIC HEARING

OLD BUSINESS

STAFF REPORTS

1. Staffing for Adequate Fire and Emergency Response (SAFER) Grant
2. Viable Alternatives –Town of Pamela Water District No. 11
3. City Owned Properties
4. Property tax cap for FY 2016-17
5. 158 Academy Street Demolition

NEW BUSINESS

EXECUTIVE SESSION

WORK SESSION

Next Work Session is scheduled for Monday, August 10, 2015, at 5:30 p.m.
Meet at Watertown Municipal Arena for a tour

ADJOURNMENT

**NEXT REGULARLY SCHEDULED CITY COUNCIL MEETING IS MONDAY,
AUGUST 17, 2015.**

Res No. 1

July 23, 2015

To: Members of the City Council

From: Jeffrey E. Graham, Mayor

Subject: Reappointment to the Roswell P. Flower Memorial Library Board of Trustees, Sarah Weir

Sarah Weir is presently serving on the Flower Memorial Library Board of Trustees with a term expiring at the end of this year. She has fulfilled the unexpired term of Rodney Abare and has graciously agreed to continue to serve for a full term. Ms. Weir does a wonderful job serving on the Flower Memorial Library Board, and we are pleased to have her on our team.

There is also another vacancy on this Board due to the resignation of Matthew Doheny, and I am presently reviewing applicants.

I respectfully offer Ms. Weir in nomination for reappointment to the City Council for its consideration.

RESOLUTION

Page 1 of 1

Reappointment to the Roswell P. Flower Memorial Library Board of Trustees, Sarah Weir

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

BE IT RESOLVED by the City Council of the City of Watertown, New York, that Sarah Weir, 736 Ball Avenue, Watertown, New York, is hereby reappointed to the Roswell P. Flower Memorial Library Board of Trustees to an 11 year term, which term expires December 31, 2026.

Seconded by

Res No. 2

July 21, 2015

To: The Honorable Mayor and City Council

From: Sharon Addison, City Manager

Subject: Abate of Water Charges,
742 Morrison Street

As discussed at the July 20, 2015 meeting, City Council agreed to proceed with the abate of the significant water bill at 742 Morrison Street due to an undetected leak. The leak resulted in a billing of \$696.71.

The bill was re-levied onto the owner's property tax bill as outstanding water and sewer charges in the amount of \$631.74, as a partial payment was made.

A resolution abating this amount and re-levying the tax bill is attached for Council consideration.

RESOLUTION

Page 1 of 1

Authorizing Abate On Water Bill for
Property at 742 Morrison Street

Council Member BURNS, Roxanne M.

Council Member BUTLER, Joseph M. Jr.

Council Member JENNINGS, Stephen A.

Council Member MACALUSO, Teresa R.

Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS the City of Watertown provides water service to the residents of the City as specified at the rate listed Section 301-17 of the Code of the City of Watertown, and

WHEREAS, the owner of 742 Morrison Street, parcel 01-04-112.000, has experienced a documented leak while away from his property causing him a significant hardship, and

WHEREAS, this homeowner has demonstrated faithful and timely payments of all previous billings, and

WHEREAS, it is City Council's desire to relieve the property owner of the hardship caused by the excessive bill, and

WHEREAS the bill was re-levied to the 2015-16 City property tax bill as outstanding water and sewer charges in the amount of \$631.74, and

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Watertown that 2015-16 City property tax amount due for 742 Morrison Street, parcel 01-04-112.000, be reduced by \$631.74 for the re-levied water and sewer charges, and

BE IT FURTHER RESOLVED by the City Council of the City of Watertown that the above amount is hereby abated and the City Comptroller is hereby authorized to mark his books and records accordingly.

Seconded by

Superintendent Sligar
Water and Sewer Dept.
City of Watertown, NY 13601

December 30, 2014

Edward J Scharf
742 Morrison Street
Watertown, NY 13601

Dear Mr. Sligar ;

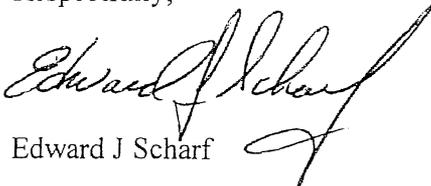
I would like to follow up with you regarding my quarterly water and sewer bill dated 11/25/2014. My account # is 51-0829200-0 and the balance due is \$696.71. Having spoke with your representatives on previous occasions regarding this matter, I have as instructed by your office to forward a payment in the amount of \$67.32 based on my normal baseline usage. This reflects a pattern of timely payment history I'm certain your records would confirm.

Regarding the matter of the exorbitant water usage amount charged, I have asked you to please consider a "Courtesy Adjustment". As I explained by phone, my employment requires me to be out of town for lengthy periods of time. My usual protocol is to turn off all water at the meter when out of town. Apparently during this quarterly period a leak occurred and the water was still on. After being alerted by your diligent office staff, I discovered such. I immediately addressed the problem and repaired a leak in a post meter faucet which I was not aware of prior.

I would like to express my astonishment when I became aware of the incredible usage charge and find it extremely stressful knowing it would create great hardship to accommodate such a payment. I would ask you to give great consideration and if at all possible please find a way to forgive the charges. As a long term homeowner and citizen of Watertown who pays my taxes etc. in a prompt manner, it would be greatly appreciated. I remain hopeful and await your reply in response to my request.

If you have questions, please call me at (518) 578-0262. I look forward to hearing from you soon.

Respectfully,


Edward J Scharf

Res No. 3

July 21, 2015

To: The Honorable Mayor and City Council
From: Brian Phelps, City Assessor
Subject: Correction of Error to 2015 City Tax Roll

In July 2014, we received a change of address notice from the U.S. Postal Service stating the owners of 1019 Coffeen Street had moved to a different residence. We subsequently removed the owner's Enhanced STAR and Veteran's exemptions and sent a notice to the owners that the removal had occurred.

The Veteran's exemption was removed in error because there is no residency requirement on the older "eligible fund" exemptions as opposed to the much more common "Alternative Veterans" exemption.

The enhanced STAR exemption has been restored by action of the Board of Assessment Review due to the later determination that the owner did not move to another residence but was in a nursing home, making her still eligible for the exemption.

RESOLUTION

Page 1 of 1

Authorizing Correction of the 2015
Tax Roll Entry for 1019 Coffeen Street

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS Real Property Tax Law Section 554 authorizes the appropriate tax levying body to make corrections to the tax roll before the expiration of the warrant, and

WHEREAS the property at 1019 Coffeen Street, has previously enjoyed the benefit of an “eligible fund” veteran’s exemption as authorized under Real Property Tax Law §458 by virtue of the current owner’s deceased spouse’s military service, and

WHEREAS there is no residency requirement for the granting of said exemption, and

WHEREAS the “eligible fund” exemption was removed in error upon notification that the property owner no longer resides at 1019 Coffeen Street,

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Watertown that the 2015 city tax roll be amended to reflect that parcel 8-15-111.000 city taxable value be reduced by \$66,572 to \$8,228, and

BE IT FURTHER RESOLVED by the City Council that the City Comptroller is hereby authorized to adjust the 2015 city tax bill for said property from \$680.06 to \$140.71.

Seconded by

Res No. 4

July 29, 2015

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, Planning & Community Development Coordinator

Subject: Finding That Construction of the 10th Mountain Division Monument and Related Site Improvements in John C. Thompson Park Will Not Have Any Significant Adverse Impacts on the Environment

The construction of the 10th Mountain Division Monument in Thompson Park is an action that requires review pursuant to the State Environmental Review Act.

The most pertinent environmental issue for this project is its potential impact on the character or quality of an important historic resource. The expected Dormitory Authority State of New York (DASNY) grant will require consultation with the State Historic Preservation Office. A copy of the submission to SHPO is attached for the Council's consideration during its environmental review.

The City Council must complete Part 2, and Part 3 if necessary, of the Short Environmental Assessment Form and adopt the attached resolution before construction commences. The resolution states that the proposed monument project will not have any significant adverse impacts on the environment.

RESOLUTION

Page 1 of 2

Finding That Construction of the 10th Mountain Division Monument and Related Site Improvements in John C. Thompson Park Will Not Have Any Significant Adverse Impacts on the Environment

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS the City Council of the City of Watertown, New York, is considering allowing the construction of a monument to the 10th Mountain Division with related site improvements in John C. Thompson Park on the area known as Tower Square, and

WHEREAS it is anticipated that the City will participate in the funding of the monument using a grant from DASNY to pay for site lighting and a portion of the cost of the bronze relief plaques, and

WHEREAS the City Council must evaluate all proposed actions in light of the State Environmental Review Act (SEQRA), and the regulations promulgated pursuant thereto, and

WHEREAS the construction of the monument will constitute such an “Action,” and

WHEREAS the City Council has determined that construction of the monument is an Unlisted Action as that term is defined by 6NYCRR Section 617.2, and

WHEREAS to aid the City Council in its determination as to whether the proposed project will have any significant adverse impacts on the environment, Part I of a Short Environmental Assessment Form has been prepared, a copy of which is attached and made part of this Resolution,

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Watertown, New York, that:

1. Based upon its examination of the Short Environmental Assessment Form and comparing the proposed action with the criteria set forth in 6NYCRR Section 617.7, no significant impact is known and the construction of the 10th Mountain Division Monument with related site improvements in John C. Thompson Park will not have any significant adverse impacts on the environment.

August 3, 2015

RESOLUTION

Page 2 of 2

Finding That Construction of the 10th Mountain Division Monument and Related Site Improvements in John C. Thompson Park Will Not Have Any Significant Adverse Impacts on the Environment

- Council Member BURNS, Roxanne M.
- Council Member BUTLER, Joseph M. Jr.
- Council Member JENNINGS, Stephen A.
- Council Member MACALUSO, Teresa R.
- Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

2. The Mayor of the City of Watertown is authorized to execute the Environmental Assessment Form to the effect that the City Council is issuing a Negative Declaration under SEQRA.
3. This Resolution shall take effect immediately.

Seconded by

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: 10th Mountain Division Monument			
Project Location (describe, and attach a location map): John C. Thompson Park			
Brief Description of Proposed Action: Construction of a monument to the 10th Mountain Division with site improvements including walkways, landscaping and lighting in the area of John C. Thompson Park known as Tower Square.			
Name of Applicant or Sponsor: City of Watertown		Telephone: (315) 785-7730	
		E-Mail: kmix@watertown-ny.gov	
Address: 245 Washington Street			
City/PO: Watertown		State: NY	Zip Code: 13601
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: DASNY - Grant Funding			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____			1 acres
b. Total acreage to be physically disturbed? _____			1 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____			355 acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input checked="" type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Kenneth A. Mix, Planning & Community Develop. Coordinato</u> Date: <u>7/29/15</u></p> <p>Signature: <u></u></p>		

Project:

Date:

Short Environmental Assessment Form
Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Project:

Date:

***Short Environmental Assessment Form
Part 3 Determination of Significance***

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

The Historic Preservation Review Process in New York State

In order to insure that historic preservation is carefully considered in publicly-funded or permitted undertakings*, there are laws at each level of government that require projects to be reviewed for their potential impact/effect on historic properties. At the federal level, Section 106 of the National Historic Preservation Act of 1966 (NHPA) directs the review of federally funded, licensed or permitted projects. At the state level, Section 14.09 of the New York State Parks, Recreation and Historic Preservation Law of 1980 performs a comparable function. Local environmental review for municipalities is carried out under the State Environmental Quality Review Act (SEQRA) of 1978.

regulations on line at:
<http://nysparks.state.ny.us> then select **HISTORIC PRESERVATION** then select **Environmental Review**

Project review is conducted in two stages. First, the Field Services Bureau assesses affected properties to determine whether or not they are listed or eligible for listing in the New York State or National Registers of Historic Places. If so, it is deemed "historic" and worthy of protection and the second stage of review is undertaken. The project is reviewed to evaluate its impact on the properties significant materials and character. Where adverse effects are identified, alternatives are explored to avoid, or reduce project impacts; where this is unsuccessful, mitigation measures are developed and formal agreement documents are prepared stipulating these measures.

ALL PROJECTS SUBMITTED FOR REVIEW SHOULD INCLUDE THE FOLLOWING MATERIAL(S).

Project Description

Attach a full description of the nature and extent of the work to be undertaken as part of this project. Relevant portions of the project applications or environmental statements may be submitted.

Maps Locating Project

Include a map locating the project in the community. The map must clearly show street and road names surrounding the project area as well as the location of all portions of the project. Appropriate maps include tax maps, Sanborn Insurance maps, and/or USGS quadrangle maps.

Photographs

Photographs may be black and white prints, color prints, or color laser/photo copies; standard (black and white) photocopies are NOT acceptable.

-If the project involves rehabilitation, include photographs of the building(s) involved. Label each exterior view to a site map and label all interior views.

-If the project involves new construction, include photographs of the surrounding area looking out from the project site. Include photographs of any buildings (more than 50 years old) that are located on the project property or on adjoining property.

NOTE: Projects submissions will not be accepted via facsimile or e-mail.

***Undertaking** is defined as an agency's purchase, lease or sale of a property, assistance through grants, loans or guarantees, issuing of licenses, permits or approvals, and work performed pursuant to delegation or mandate.

10th Mountain Division Monument Project Description

A group of citizens formed the “North Country Honors the Mountain” committee to erect a monument to the 10th Mountain Division on Tower Square in John C. Thompson Park. The monument will have granite facing with bronze relief plaques describing different phases of the 10th Mountain Division’s history. The plaques will be designed by an artist that has previous experience with monuments for the Division.

The committee is raising the funds needed to build the monument and site improvements. The site improvements will include walkways, landscaping and lighting.

The City of Watertown will be receiving a State and Municipal Facilities Program grant through the Dormitory Authority of the State of New York (DASNY). The DASNY funds will be used to pay a portion of the cost to purchase the bronze relief plaques, which will be part of the monument, and to purchase and install lighting.

Thompson Park was designed by Olmsted Brothers, Landscape Architects primarily between 1900 and 1904. Olmsted Brothers developed a plan for a 500-acre park. Only part of the park was built during that time period. Most, if not all, construction after that did not follow the plan.

The attached materials are intended to show what Olmsted Brothers designed, what the project site looks like today, and what the proposed project will look like.

The area known as Tower Square was part of the Olmsted design. They drew two separate site plans for it. The first plan from 1901 had a stone tower with an internal spiral staircase leading to a viewing pavilion on top. A steel water tank would have been the interior wall of the stairs. Shepley, Rutan, and Coolidge drew two elevation variations. The lower level of the tower would have covered a large portion of the square.

The steel tank was constructed circa 1905. After it became evident that the stone tower would not be built, a revised site plan was developed in 1906. It had a formal perennial garden taking the place of the stone tower’s lower level.

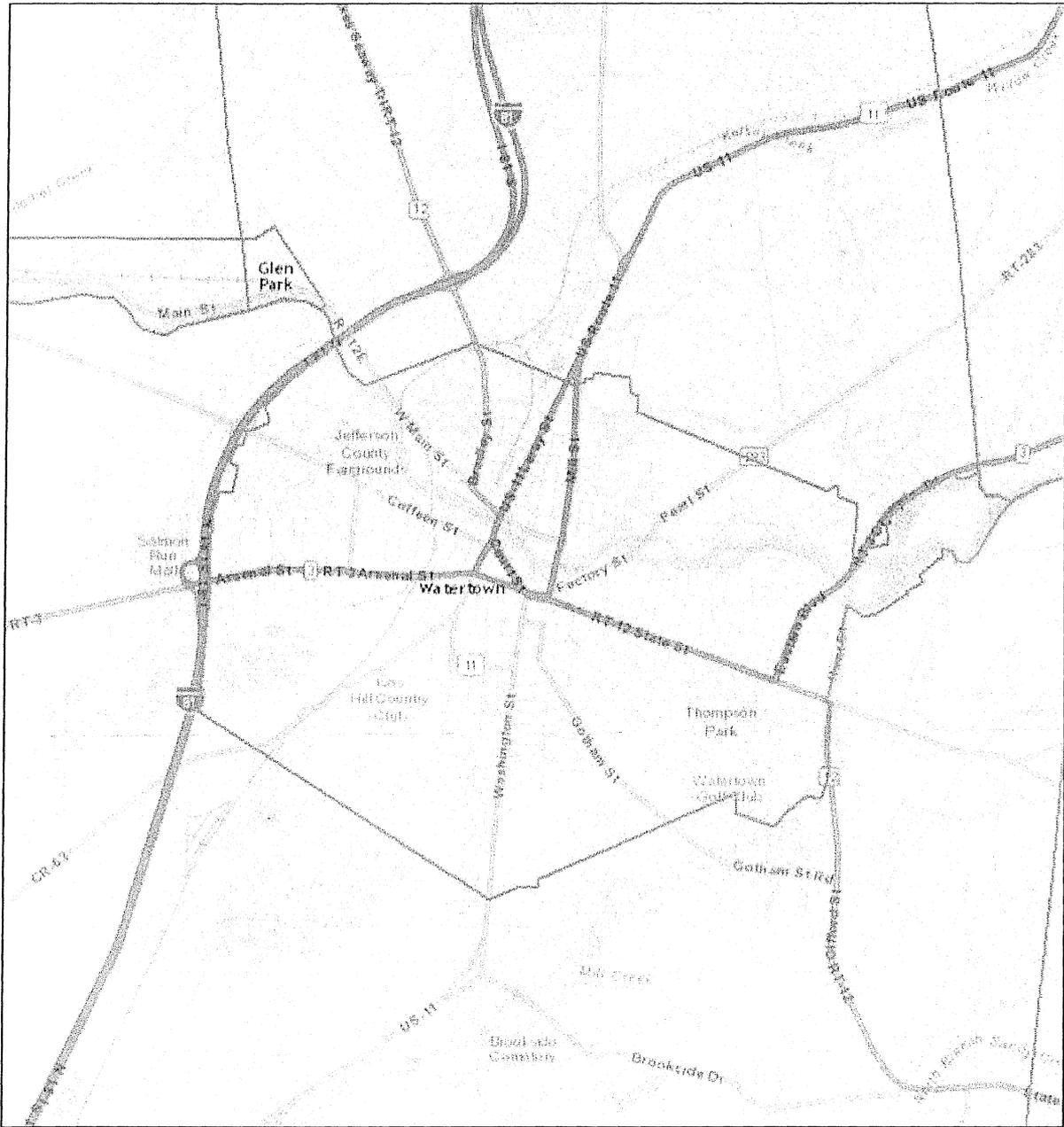
The water tank stood until it was demolished in 1979. The little photographic evidence that we have found, including two newspaper photographs taken on the day it was brought to the ground, show that walks were built and at least shrubs and trees were planted. Aerial photographs also show grass discoloration in the pattern of the Olmsted design. Today, the square is a lawn, with a row of oak trees along the northeast and southwest edges. There are no walks.

The intent of the proposed project is not to reproduce the Olmsted design, but to follow its basic pattern. There will be a perimeter walk and two walks bisecting the square. The monument will be located at the intersection of the bisecting walks. It will be surrounded by a plaza area and perennial plantings.

The project will include lighting for the walkways. The park has limited lighting from various style cobra head fixtures on different styles of poles. The City Council wishes to improve lighting in the park with energy efficient LEDs. The style of the lights selected for the monument project will set the precedent for the rest of the park.

Even though the desire to bring electricity to the park for lighting was discussed with Olmsted Brothers, there is no evidence that it was done during their time of involvement. It is not known when the current lights were added. Since there were no lights in the Olmsted plans there is nothing to guide the decision on style for new lights. Rather than select an ornamental to make it look “historic,” the selection criterion is that the pole and fixture should be as unobtrusive as possible so that it doesn’t detract from the landscape. The selected fixture is a modern style. Walkway lights will be on a 10-foot high round pole and drive lights will be on 25-foot poles.

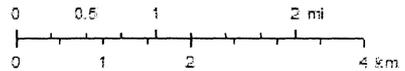
Thompson Park Location



July 27, 2015

Municipalities

1:72,224



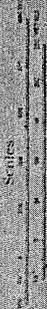
Source: Esri, HERE, DeLorme, USGS, Intermap, Inetang, P. Corp.,
 NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand),
 Swisstopo, © OpenStreetMap contributors, and the GIS User Community

No Author
 © 2015 FountainGIS, Inc. All rights reserved.

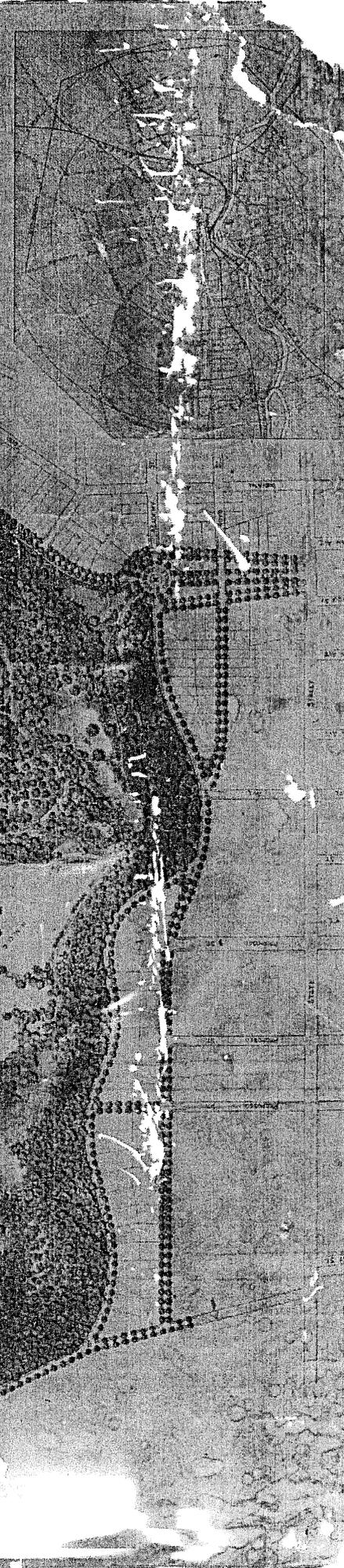
GENERAL PLAN OF WATERTOWN PARK WATERTOWN, N. Y.

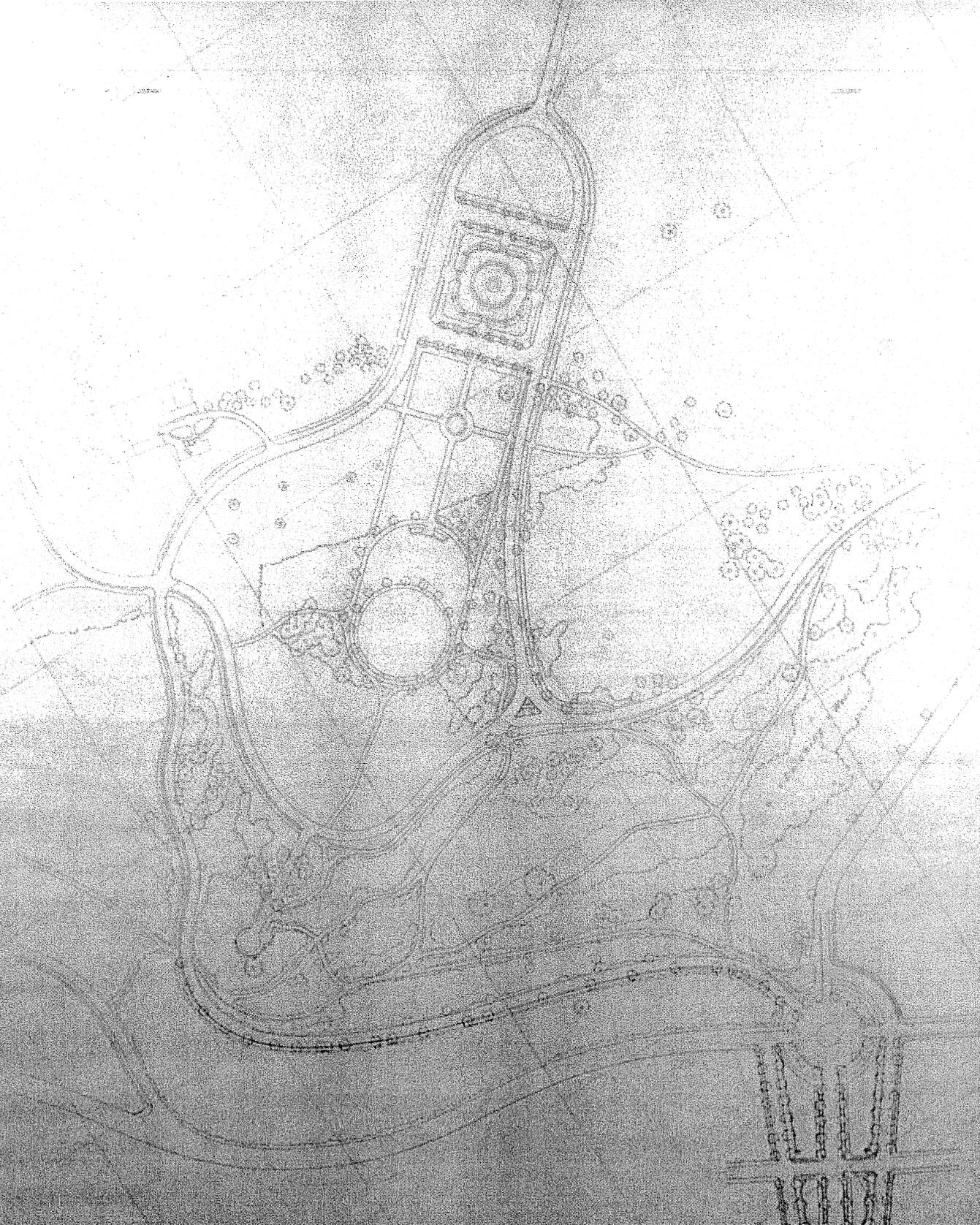
PARK COMMISSIONERS
REVEREND COTTRILL
JAMES A. HANCOCK
JAMES A. HANCOCK
ELATED BROTHERS
LANDSCAPE ARCHITECTS
ROCHESTER, N. Y.

1905



AREAS AND DISTANCES
AREA OF LAND ACQUIRED 22 ACRES
LAND ACQUIRED 12
WOODS 15
TOTAL AREA OF PARK 107 ACRES
LENGTH OF DRIVE 1.5 MILES
DISTANCE FROM PARK TO
TO STATE ST. 1.5 MILES





ASTORIA AREA
Water Treatment Plant

Plan showing proposed and existing structures
and their location in relation to the
plant

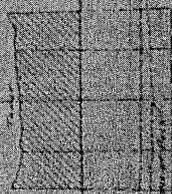
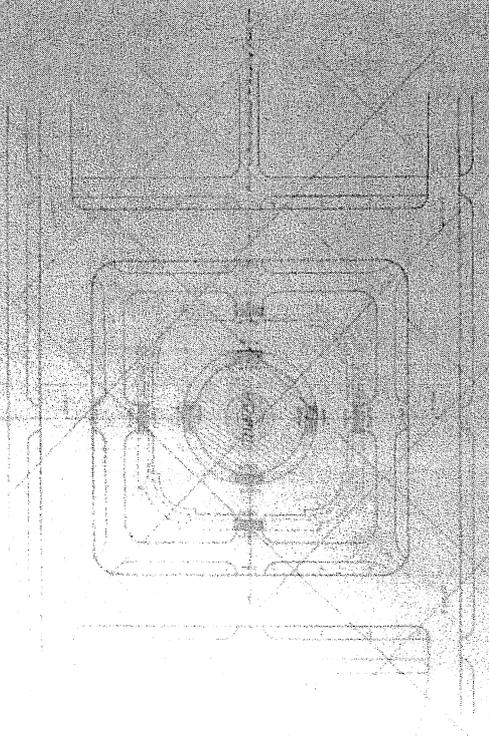


Scale: 1" = 20'

WATER

PROFESSOR

18

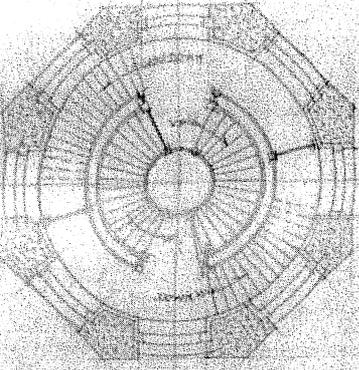


SECTION

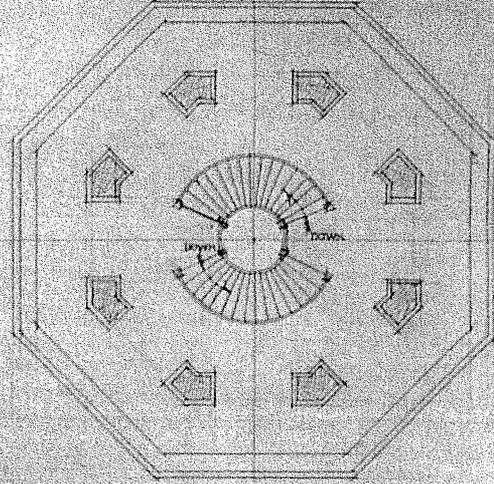
PRELIMINARY SKETCH OF WATER TOWER

WATERTOWN PARK
WATERTOWN, N.Y.

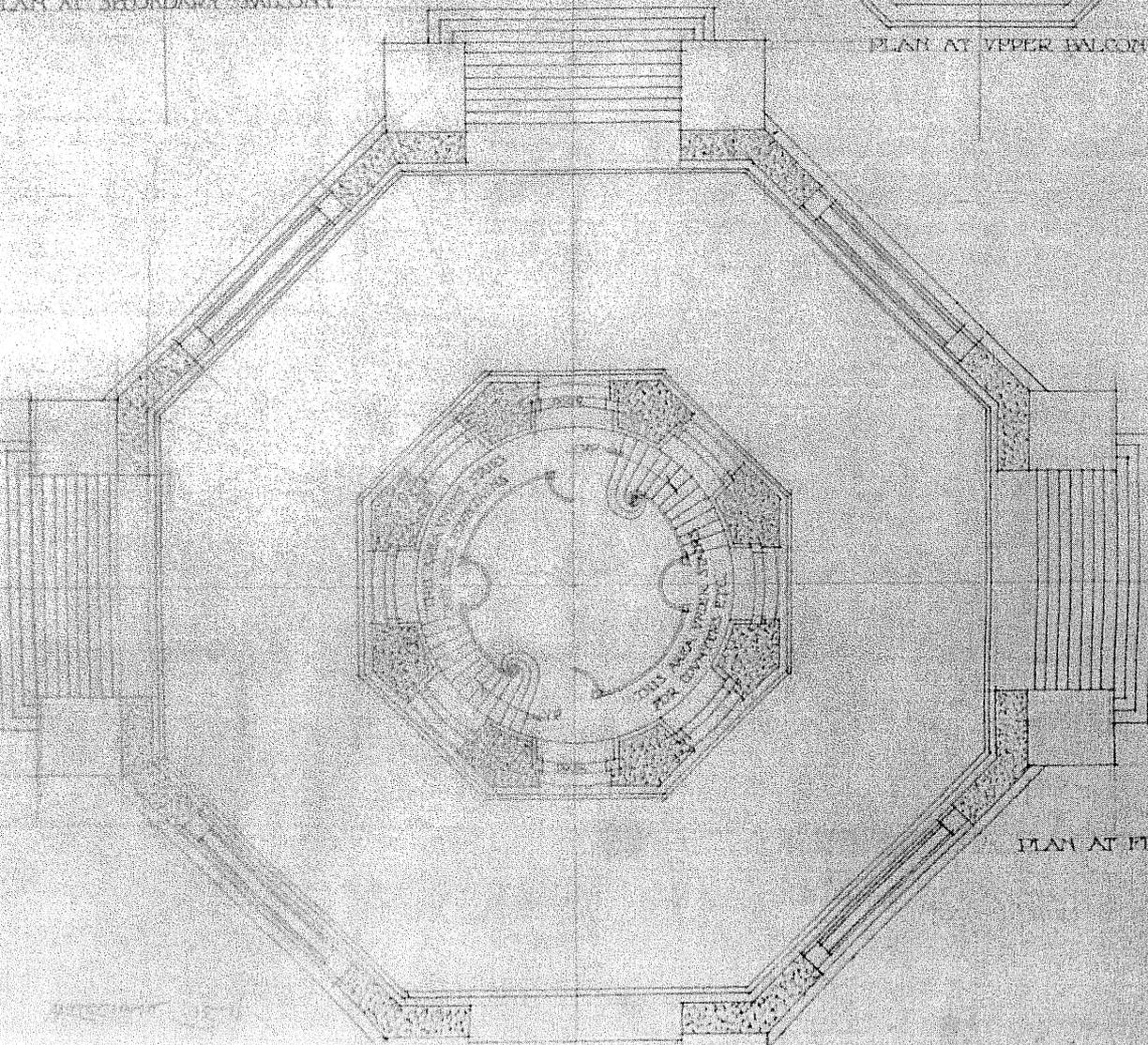
SHEPLEY, RYAN AND COOLIDGE ARCHTS.
BOSTON



PLAN AT SECONDARY BALCONY



PLAN AT UPPER BALCONY

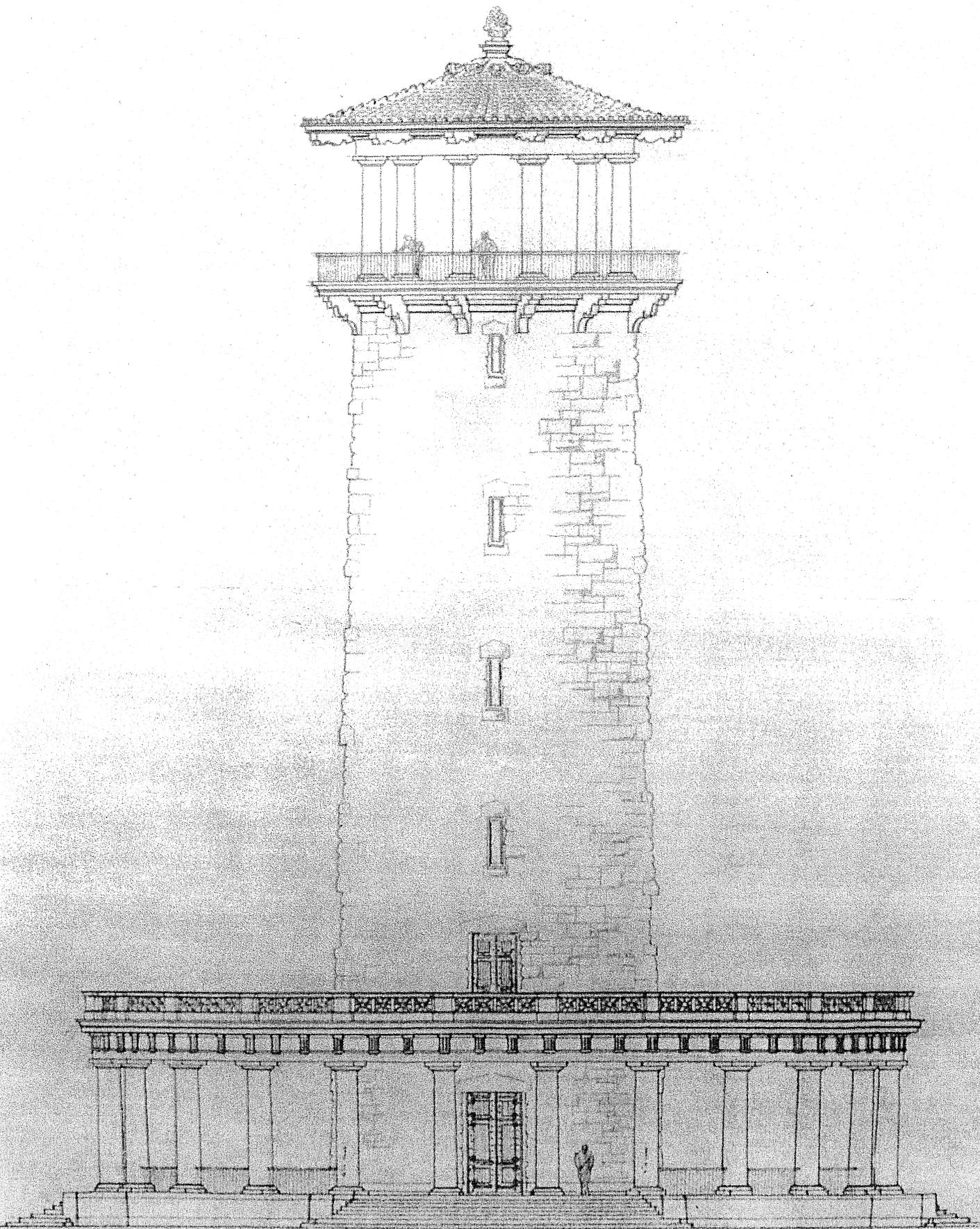


PLAN AT FIRST FLOOR LEVEL
SCALE $\frac{1}{8} = 1$ FOOT.

OLDEN BROTHERS
ENGINEERS
1875-1900
Watertown Park
No. 127, 128

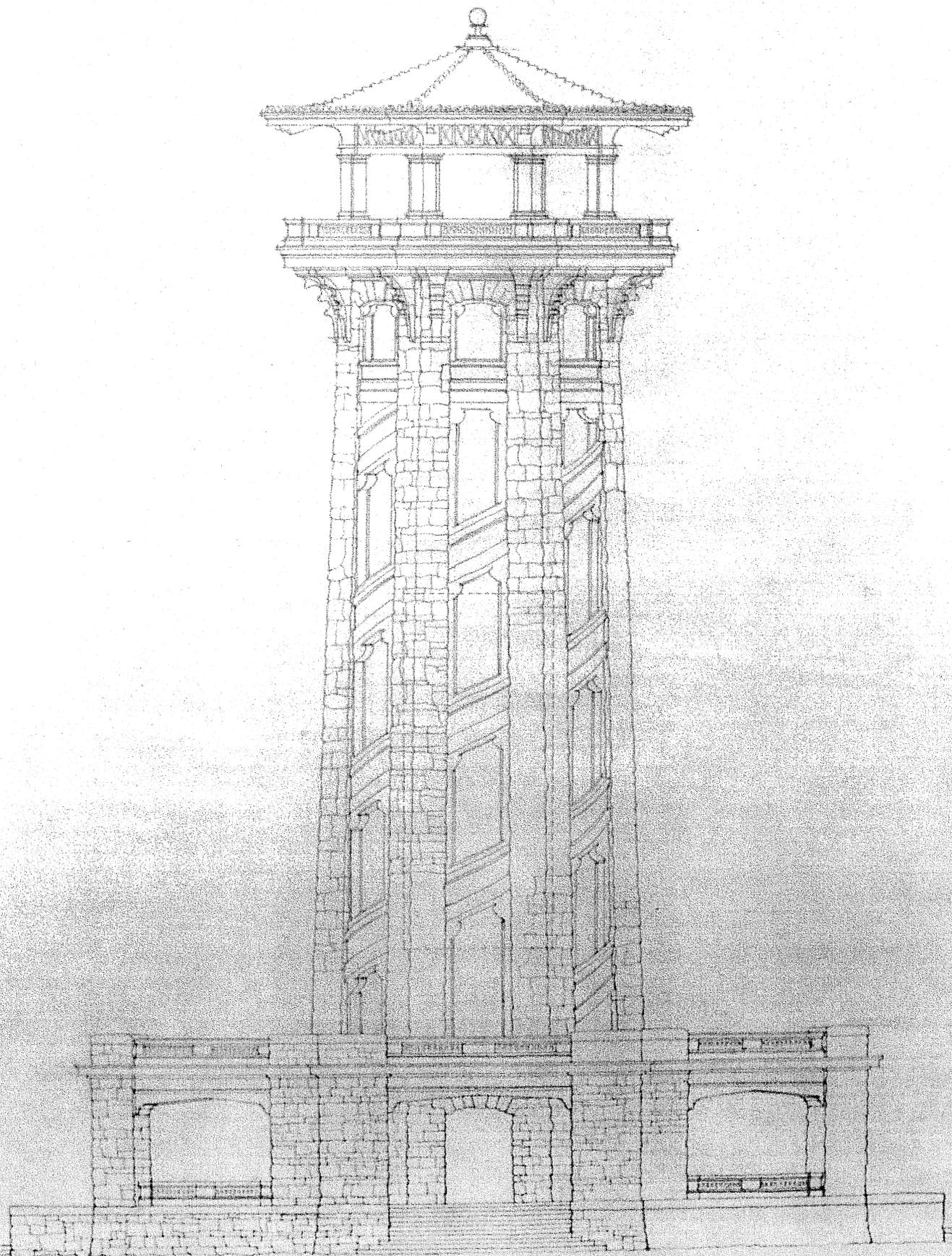
WATER TOWN · N · Y ·

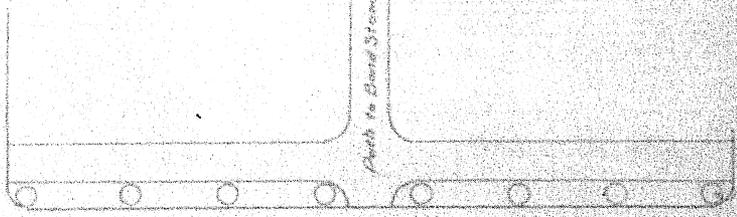
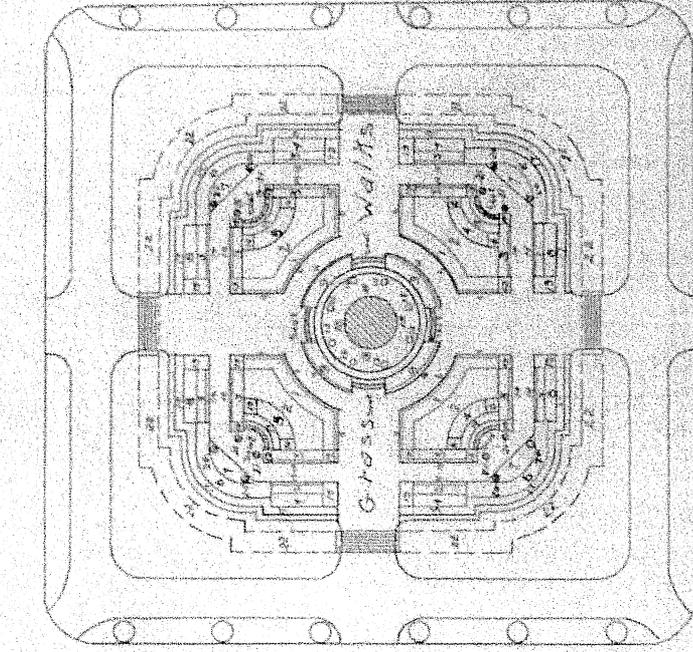
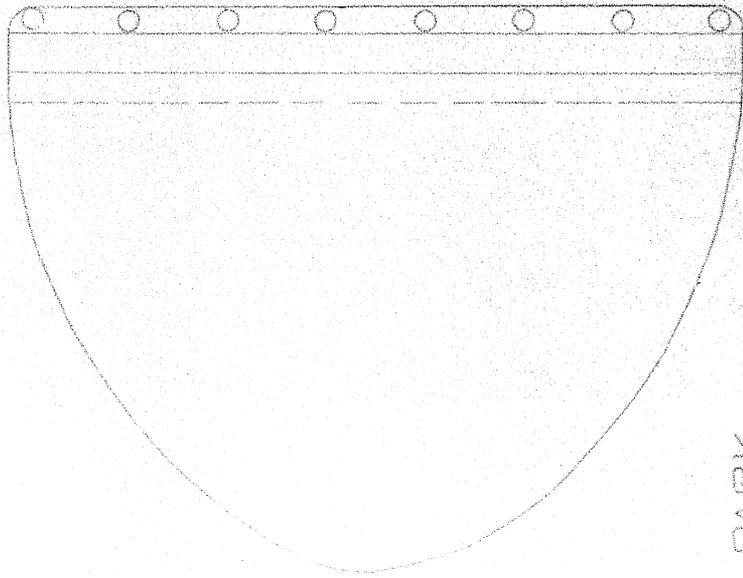
SHIPLEY · KNAPP & COOLIDGE ARCHITECTS ·
DORCHES, MASS.



SCALE 1/4" = 1'-0"

WATER TOWER N.Y.
SHEPLEY BRYAN AND COLLIDGE ARCHTS
BOSTON





Depth to Board Street 3' 1/2"

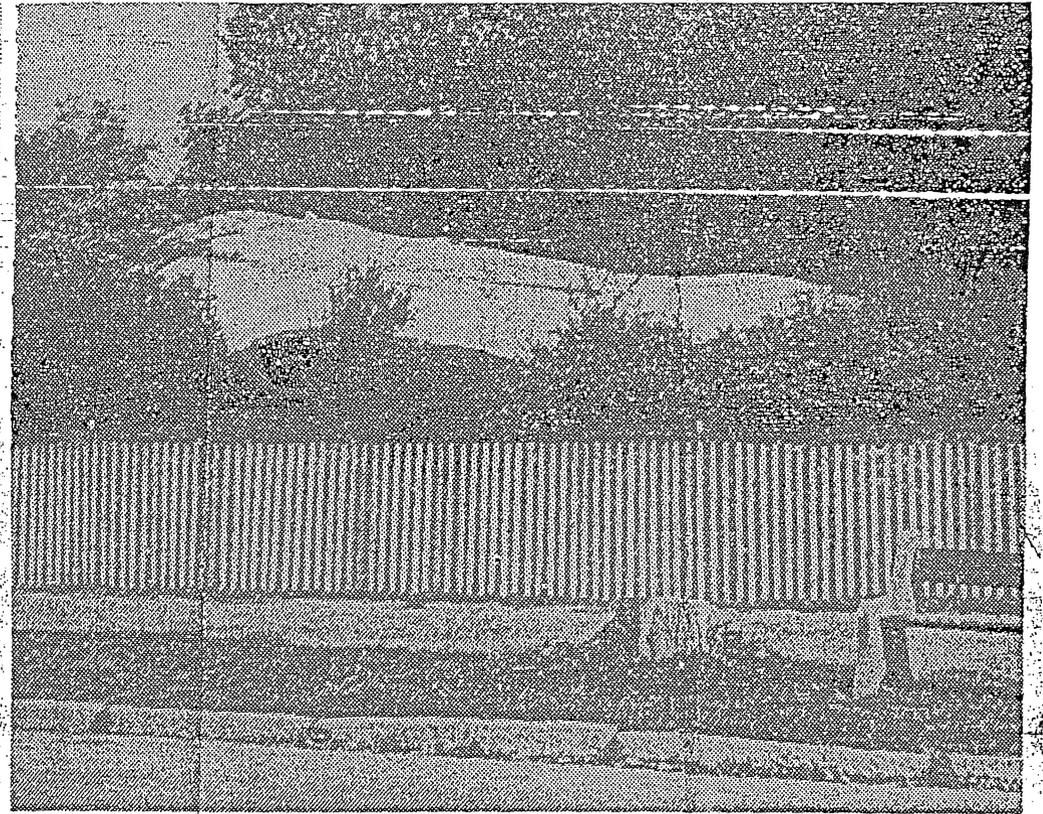
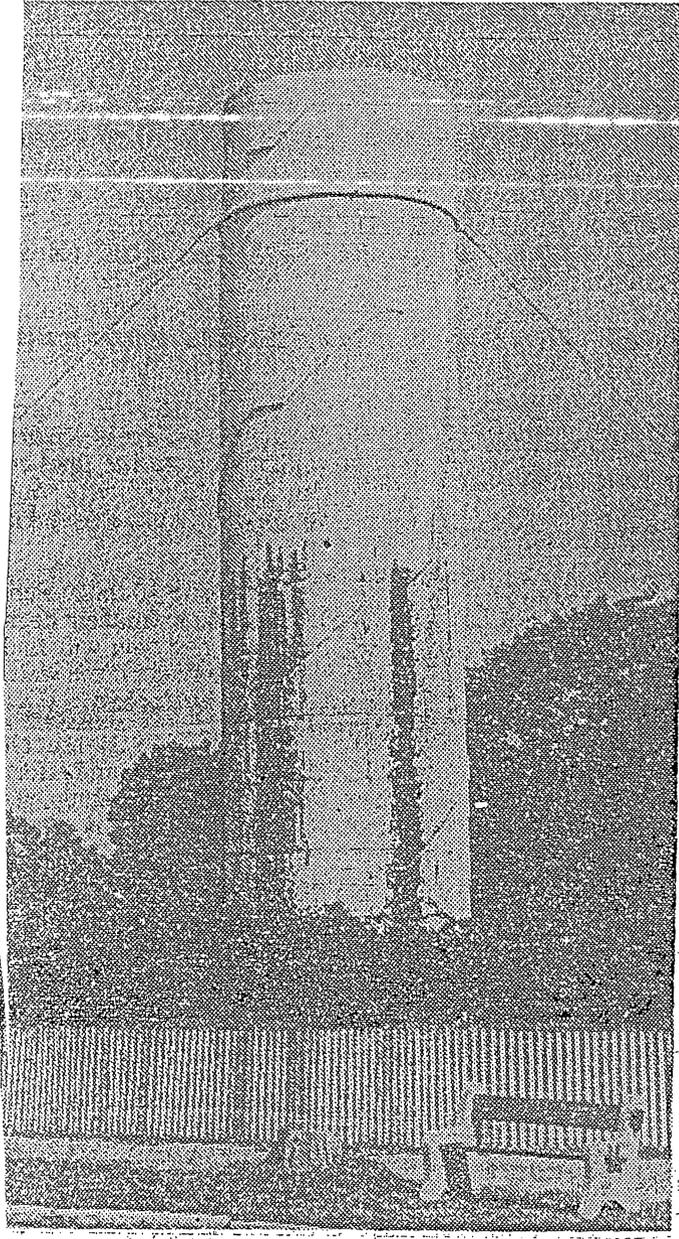
WATERTOWN PARK

WATERTOWN, N.Y.

Plotting Plan for Tower Square

Scale 40' = 1"

Charles D. Brothers, Landscape Architects.
Boston, Mass. Sept. 11, 1900



SEP 19 1970

—Times Staff Photos

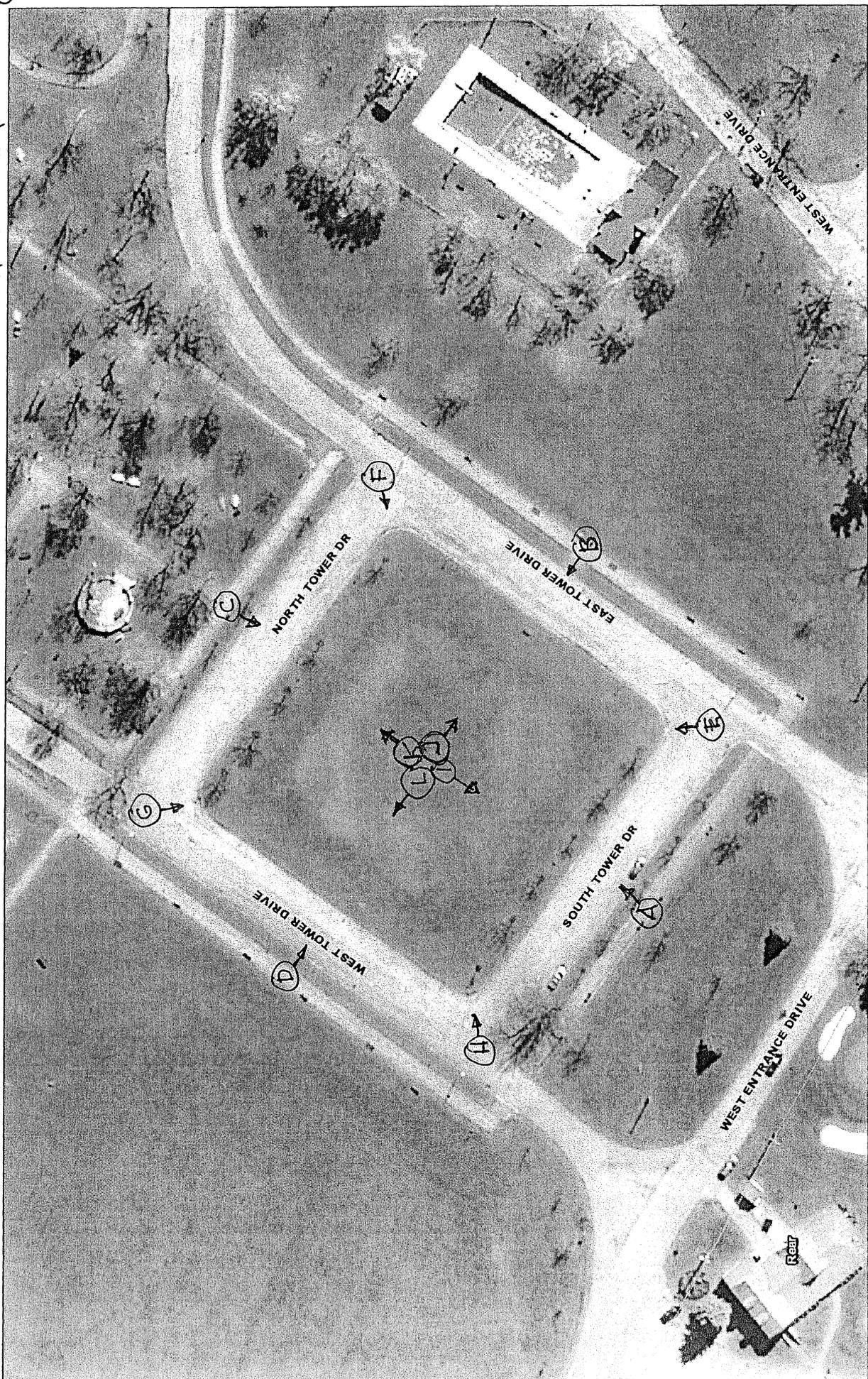
Now you see it, now you don't. The city's obsolete 180,000-gallon standpipe in Thompson Park came tumbling down Tuesday, being replaced by a new 250,000-gallon tank put in service late last year. Central New York H&E

Co., Auburn, was paid \$27,055 to take down the tower. Their crews cut notches in the base of the tower in the direction they wanted it to fall, cut the guy wire on the opposite side, and the tower collapsed under its own weight.



PHOTO KEY

10



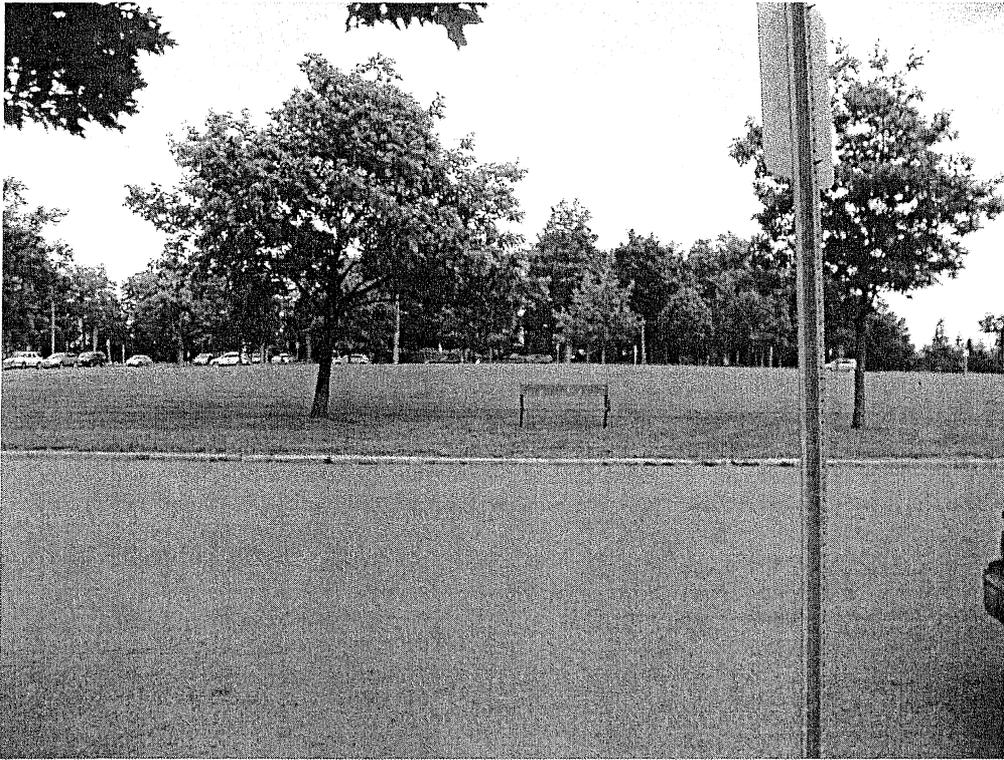


Photo A - Looking Northeast toward Tower Square

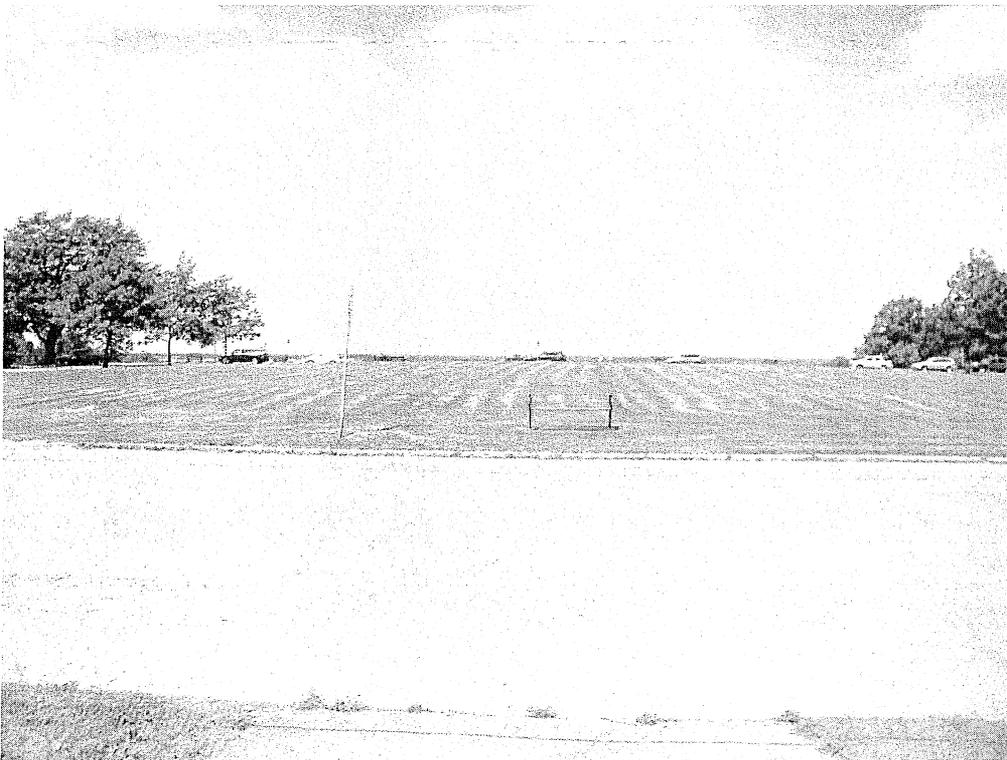


Photo B - Looking Northwest toward Tower Square

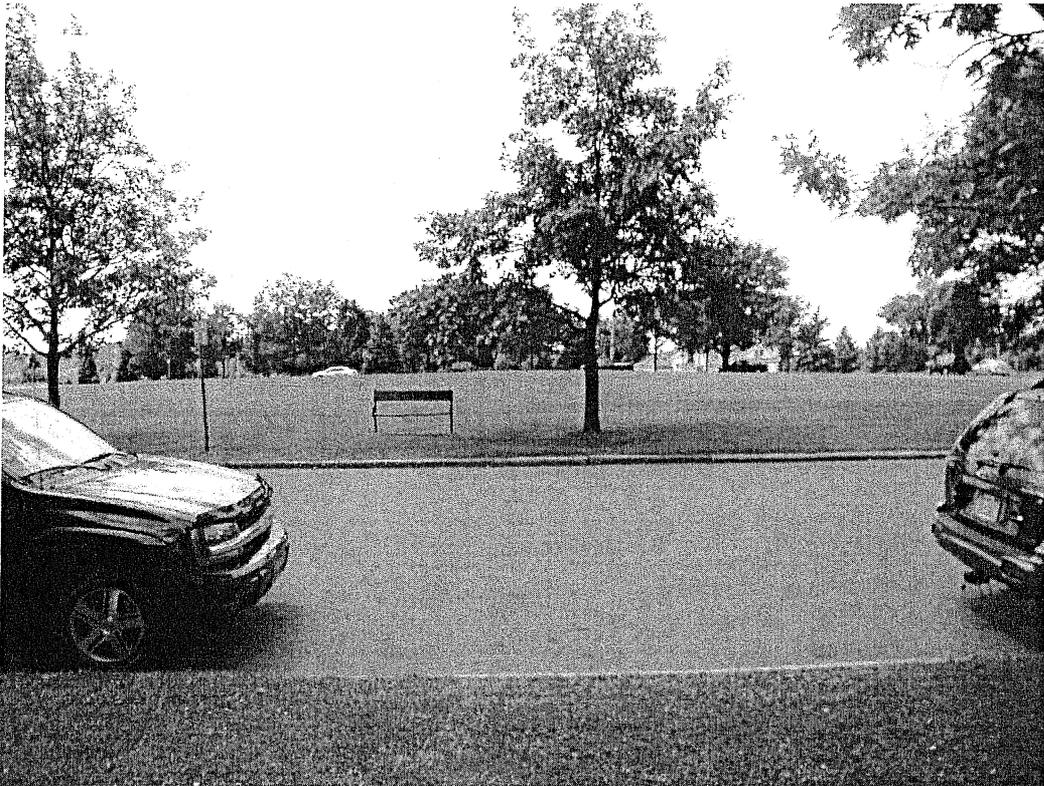


Photo C - Looking Southwest toward Tower Square

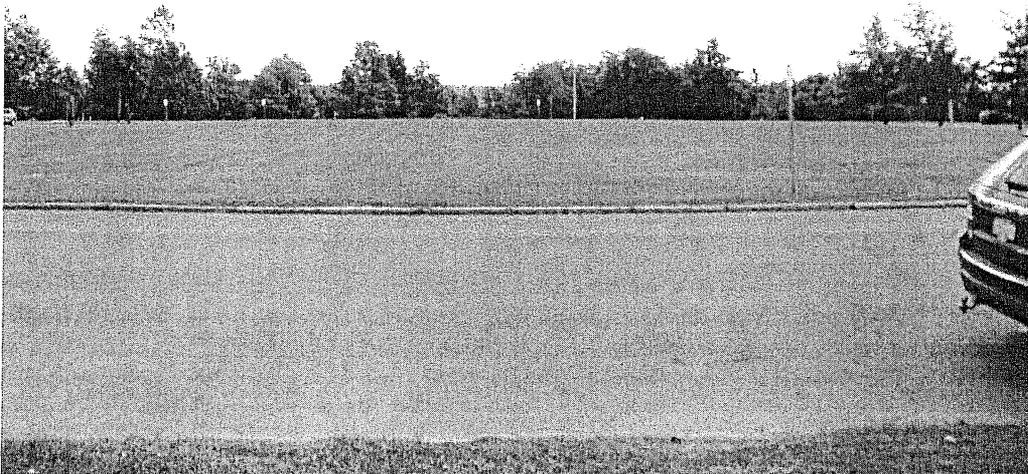


Photo D - Looking Southeast toward Tower Square



Photo E - Looking at South Corner of Tower Square



Photo F - Looking at East Corner of Tower Square

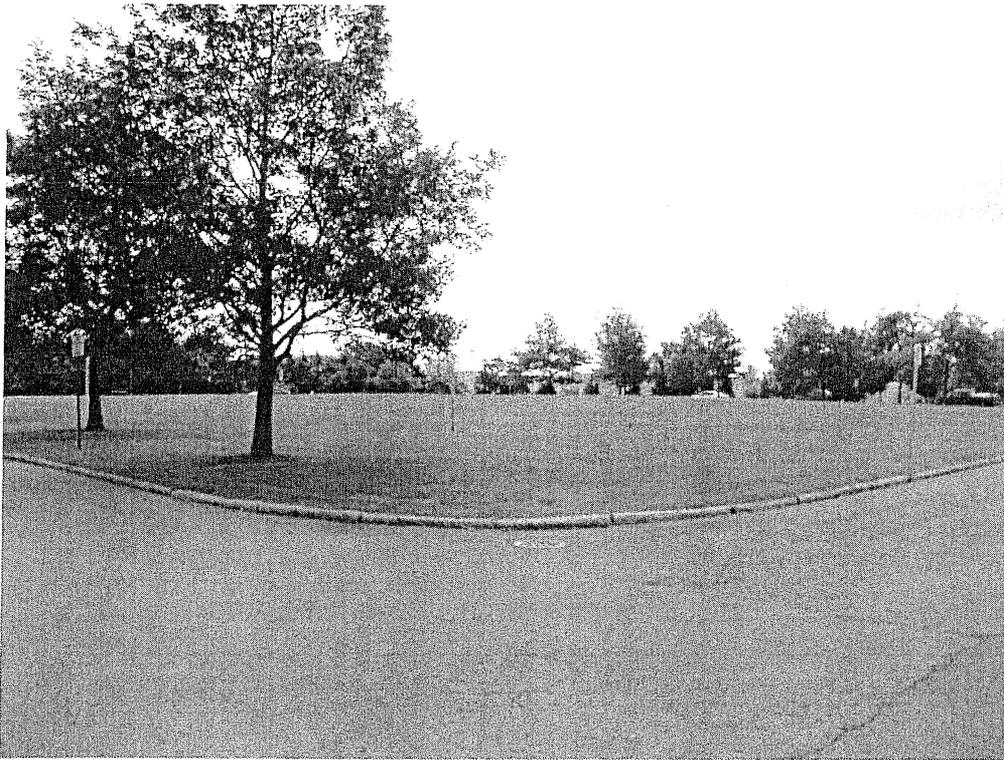


Photo G - Looking at North Corner of Tower Square

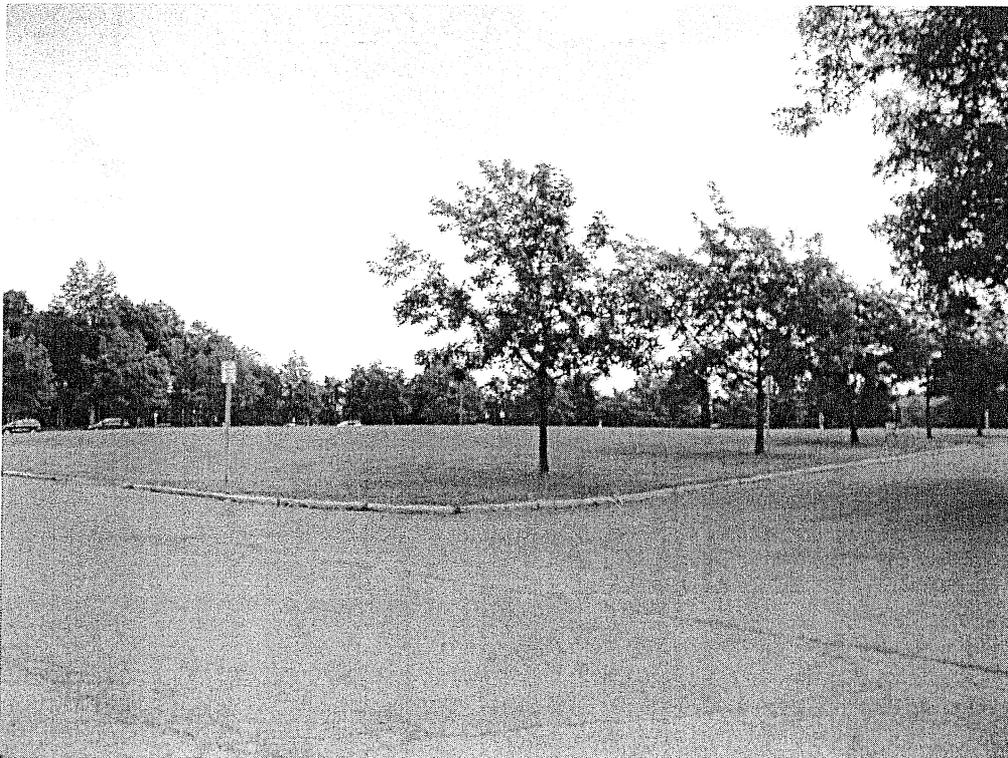


Photo H - Looking at West Corner of Tower Square

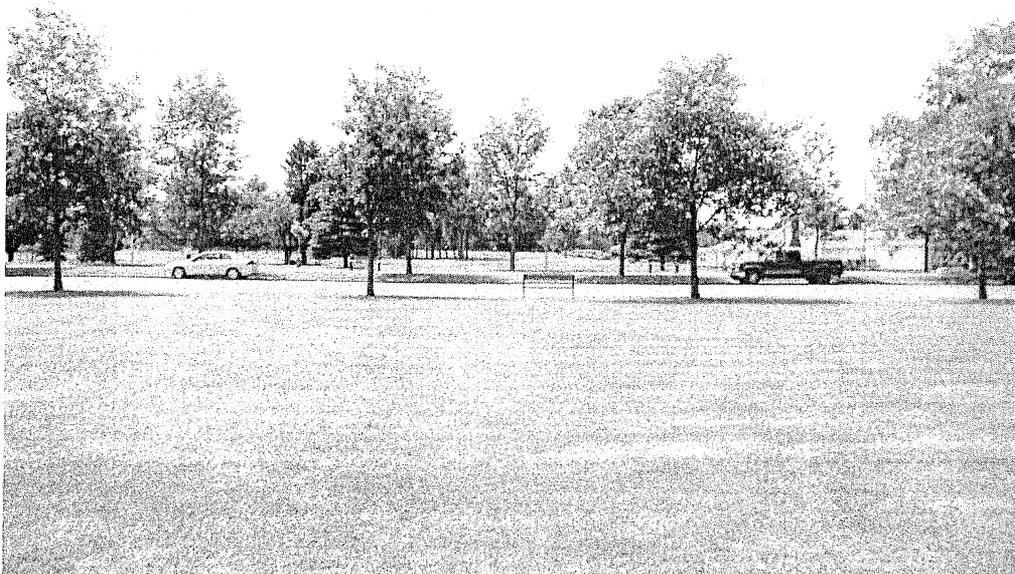


Photo I - Looking Southwest from Center of Tower Square

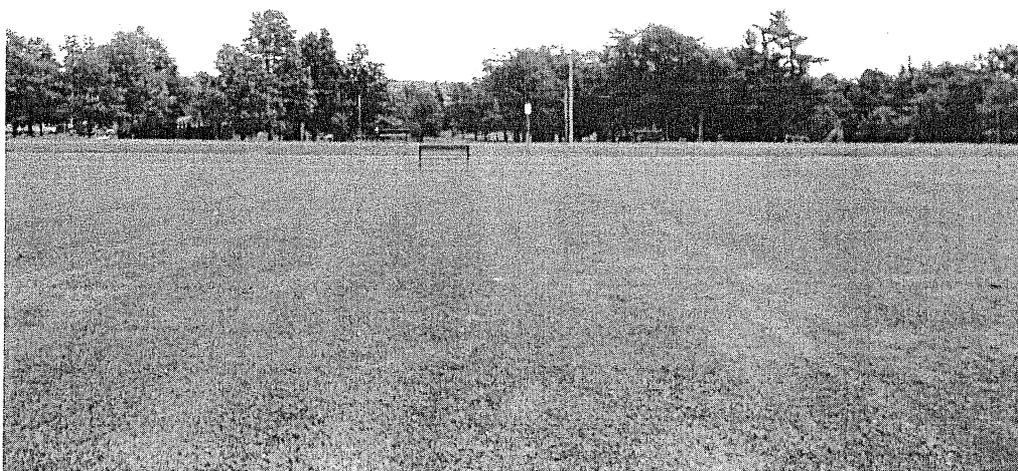


Photo J - Looking Southeast from Center of Tower Square

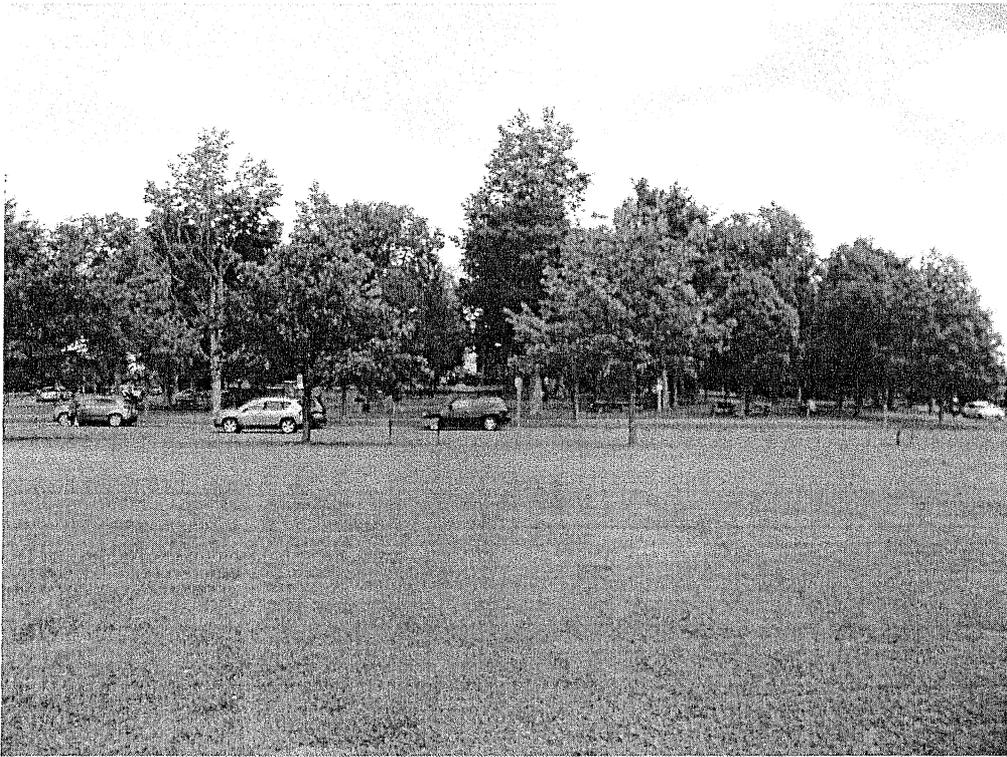


Photo K - Looking Northeast from the Center of Tower Square



Photo L - Looking Northwest from the Center of Tower Square

HONOR THE MOUNTAIN MONUMENT

THOMPSON PARK
WATERTOWN, NEW YORK 13601

28 JULY 2015

LIST OF DRAWINGS
C-101 - SITE DEVELOPMENT PLAN
C-102 - UTILITY PLAN
C-103 - LANDSCAPE PLAN
C-501 - SITE DETAILS
C-502 - SITE DETAILS
S-101 - SECTIONS AND DETAILS

PREPARED BY:

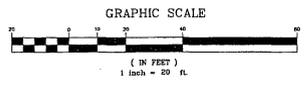
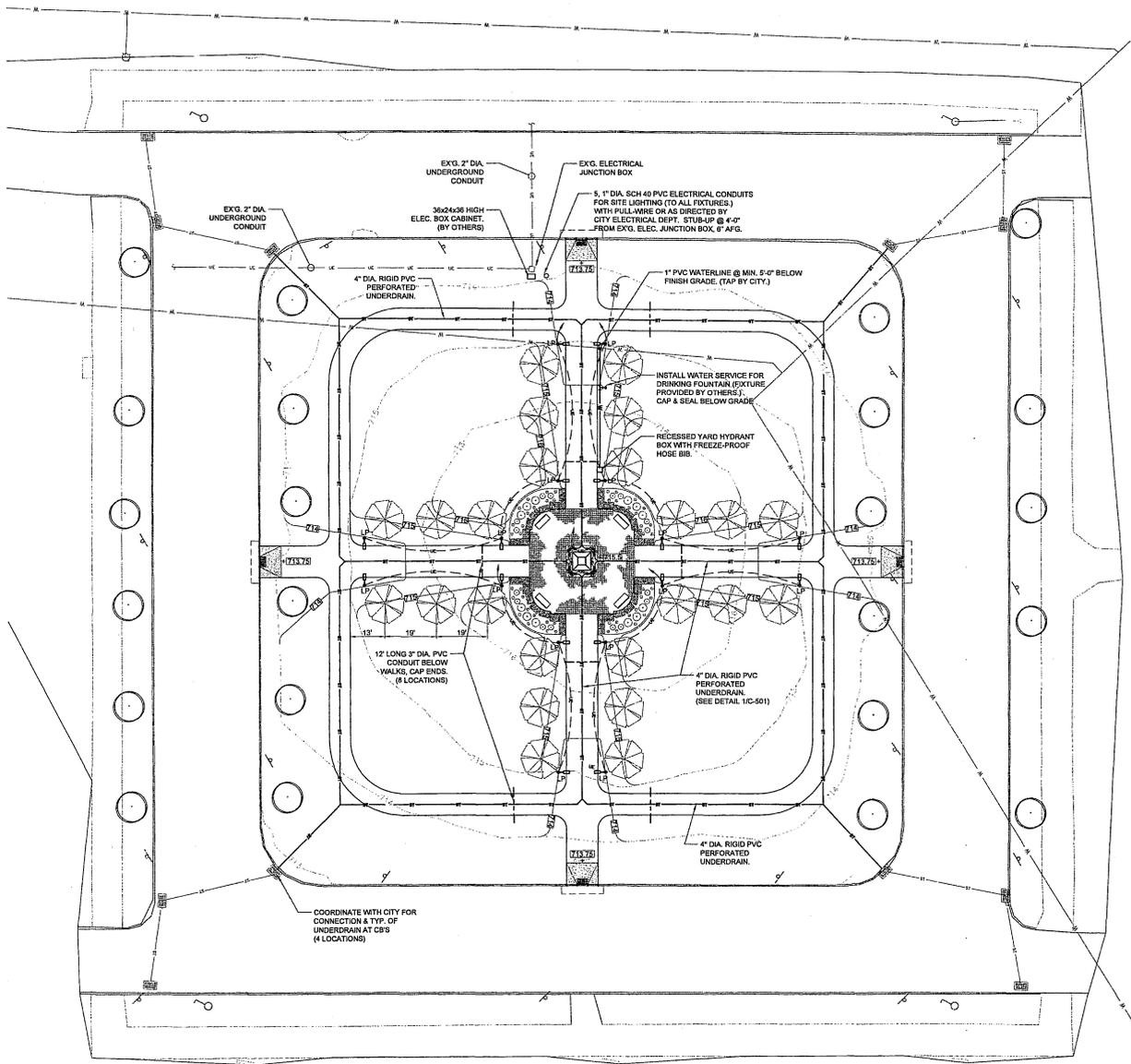
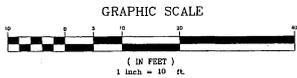
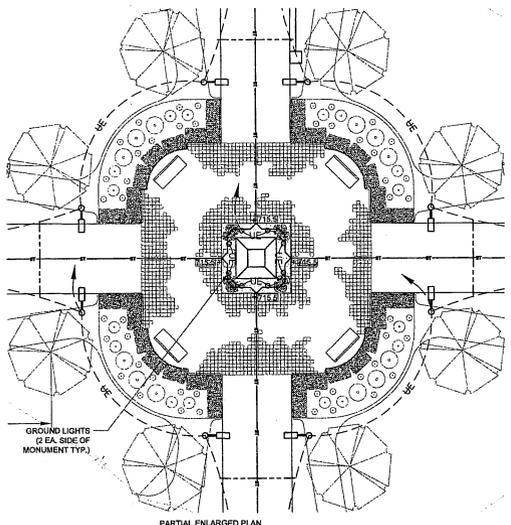
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HONOR THE MOUNTAIN MONUMENT, THOMPSON PARK, WATERTOWN, NEW YORK 13601



- LEGEND:**
- EDGE OF PAVEMENT
 - PVC PERFORATED UNDERDRAIN
 - WATER LINE
 - PVC CONDUIT
 - LIGHT POLE & FIXTURE (LP)
 - UNDERGROUND ELECTRICAL UTILITY OR SERVICE
 - ELECTRIC CONDUIT (CIRCUIT) NAME RUN BACK TO ELECTRICAL CABINET
- EXISTINGS:**
- UNDERGROUND GAS LINE
 - OVERHEAD UTILITY LINES
 - UNDERGROUND ELECTRIC
 - UNDERGROUND WATER LINE
 - SANITARY SEWER LINE
 - STORM DRAIN LINE
 - UNDERGROUND TELEPHONE LINE
 - EDGE OF PAVEMENT
 - CONCRETE CURB WITH GUTTER
 - 5' INDI. CONTOUR
 - 1' CONTOUR
 - TREE



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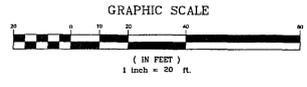
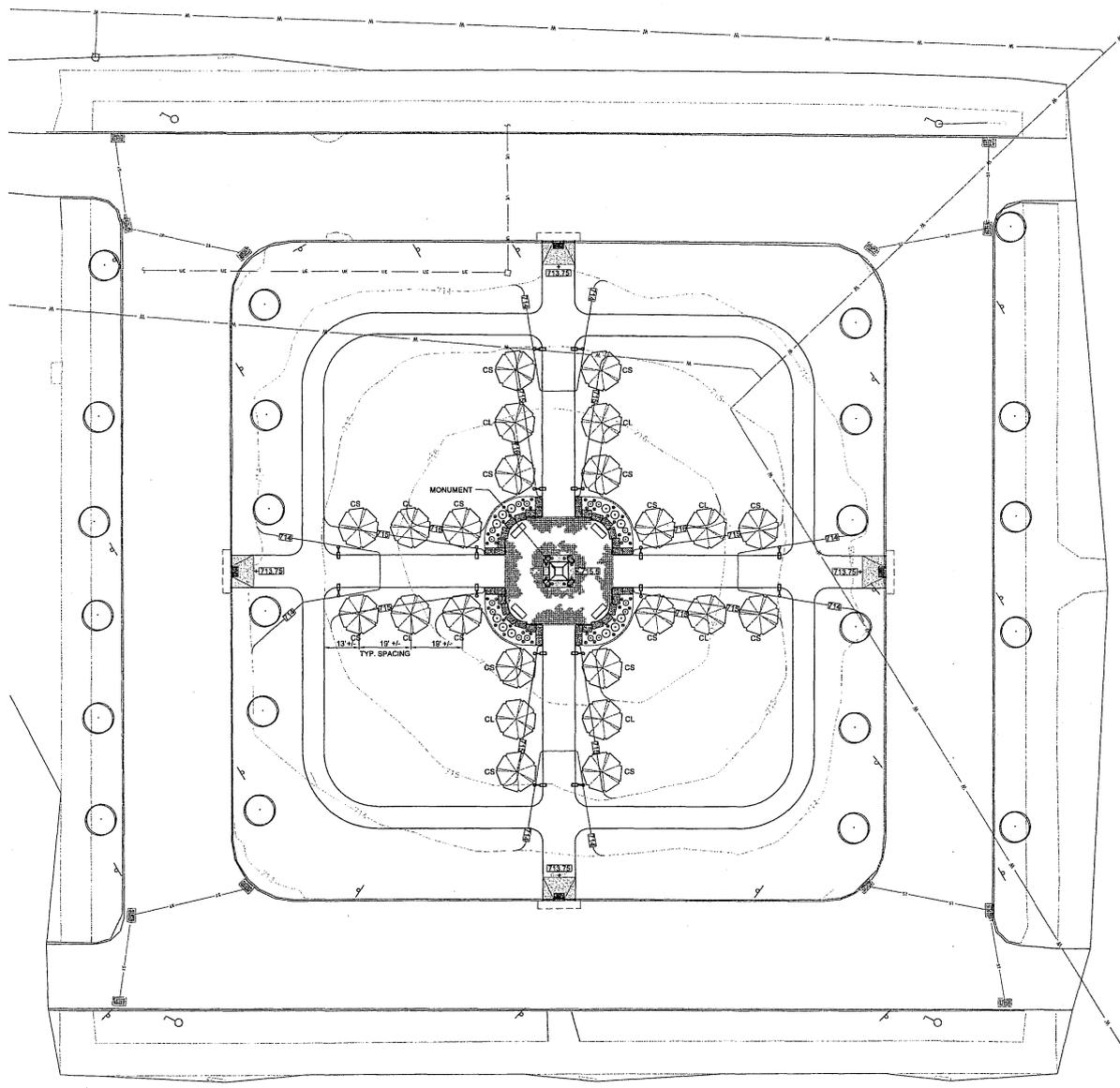
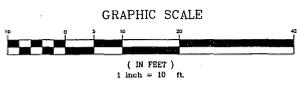
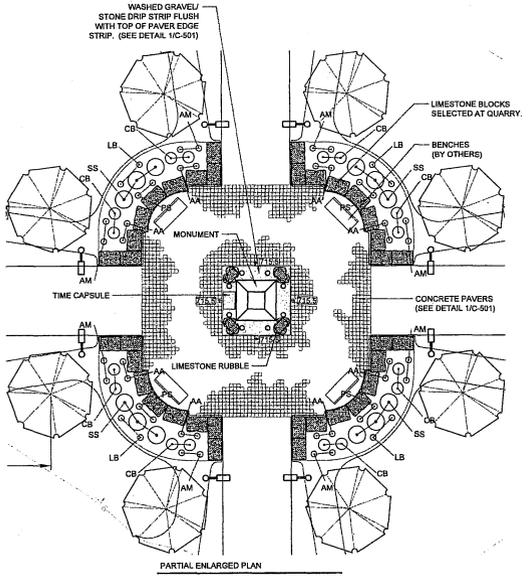
UTILITY PLAN
HONOR THE MOUNTAIN MONUMENT
THOMPSON PARK
WATERTOWN, NEW YORK 13601

Project No: 2014
Scale: AS NOTED
Date: 5-21-15
Drawn By: MWR
Designed By: MWR
Checked By: EGO
Date Issued: 7-16-15
Dwg. No.

C-102

- LEGEND:**
- EDGE OF PAVEMENT
 - PVC PERFORATED UNDERDRAIN
 - WATER LINE
 - PVC CONDUIT
 - LIGHT POLE & FIXTURE (LP)
 - UNDERGROUND ELECTRICAL UTILITY OR SERVICE
 - ELECTRIC CONDUIT (CIRCUIT) HOME RUN BACK TO ELECTRICAL CABINET
- EXISTING:**
- UNDERGROUND GAS LINE
 - UNDERGROUND UTILITY LINES
 - UNDERGROUND ELECTRIC
 - UNDERGROUND WATER LINE
 - SANITARY SEWER LINE
 - STORM SEWER LINE
 - UNDERGROUND TELEPHONE LINE
 - EDGE OF PAVEMENT
 - CONCRETE CURB WITH GUTTER
 - 5' INDEX CONTOUR
 - 1' CONTOUR
 - TREE

PLANT MATERIAL SCHEDULE				
QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
16	CS	PYRUS CALLERYANA 'CLEVELAND SELECT'	CLEVELAND SELECT	2" B.B.
8	CL	TILIA CORDATA 'CORINTHAN'	CORINTHAN LINDEN	2" B.B.
SHRUBS				
12	SS	SPIREA NIPPONICA 'SNOWMOUND'	SNOW MOUND SPIREA	3 GAL.
16	CB	BUXUS OLENCOE 'CHICAGOLAND'	CHICAGOLAND BOXWOOD	3 GAL.
PERENNIALS				
8	PS	PHLOX SUBULATA	PHLOX - COLOR: PINK	1 GAL.
16	AA	ARABIS ALBIDA	ARABIS - COLOR: WHITE	1 GAL.
16	AM	ARMERIA MARITIME	MARITIME - COLOR: PINK	1 GAL.
8	LB	DORONICUM SPP.	LEOPARD'S BANE	1 GAL.



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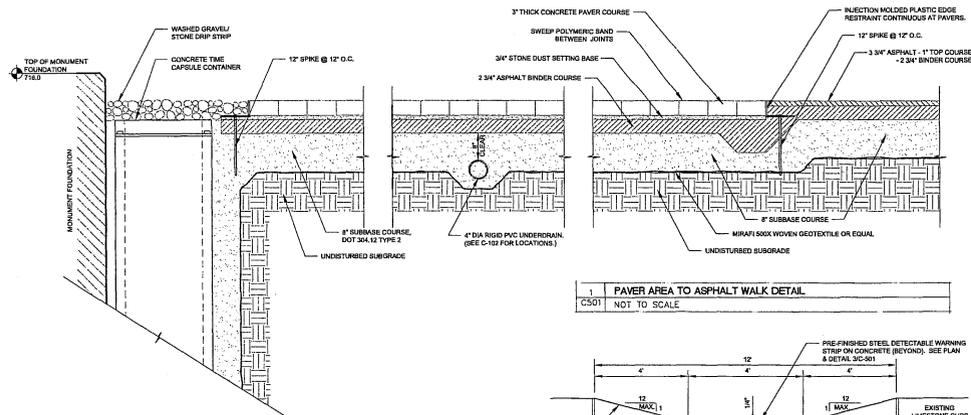
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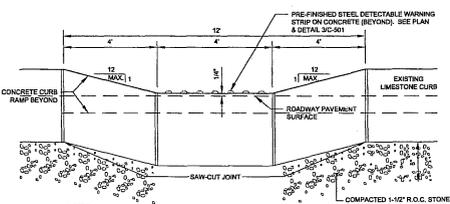
LANDSCAPE PLAN
HONOR THE MOUNTAIN MONUMENT
THOMPSON PARK
WATERTOWN, NEW YORK 13601

Project No: 2014
Scale: AS NOTED
Date: L-101
Drawn By: MWL
Designed By: MWL
Checked By: EGO
Date Issued: 7-16-15
Draw No: -

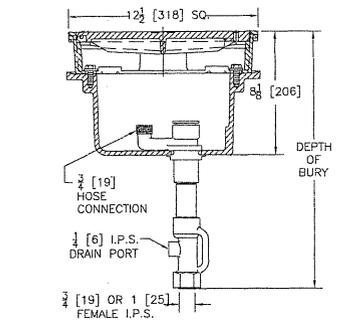
C-103



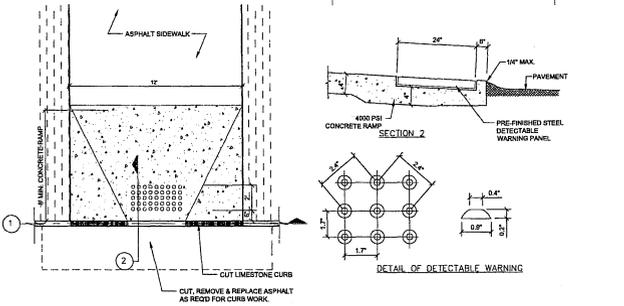
1 PAVER AREA TO ASPHALT WALK DETAIL
C501 NOT TO SCALE



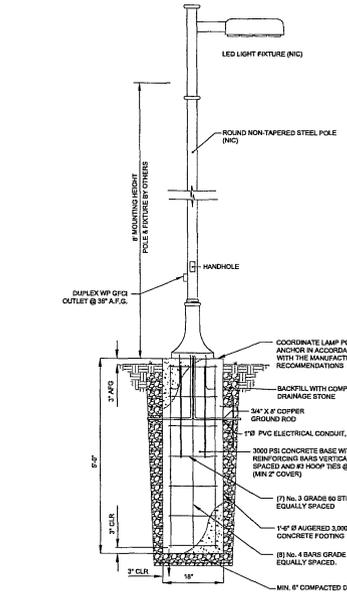
2 DEPRESSED CURB (FOUR LOCATIONS, SEE PLANS)
C501 NOT TO SCALE



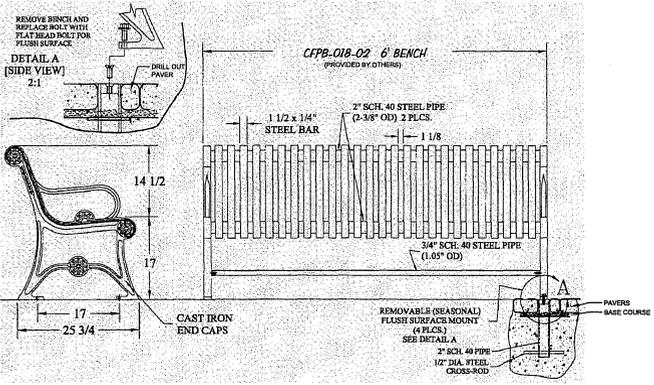
5 GROUND HYDRANT
C501 NOT TO SCALE



3 SIDEWALK RAMP DETAIL (FOUR LOCATIONS, SEE PLANS)
C501 NOT TO SCALE



4 LIGHT POLE FOUNDATION DETAIL (LIGHT POLE + FIXTURE BY OTHERS)
C501 NOT TO SCALE

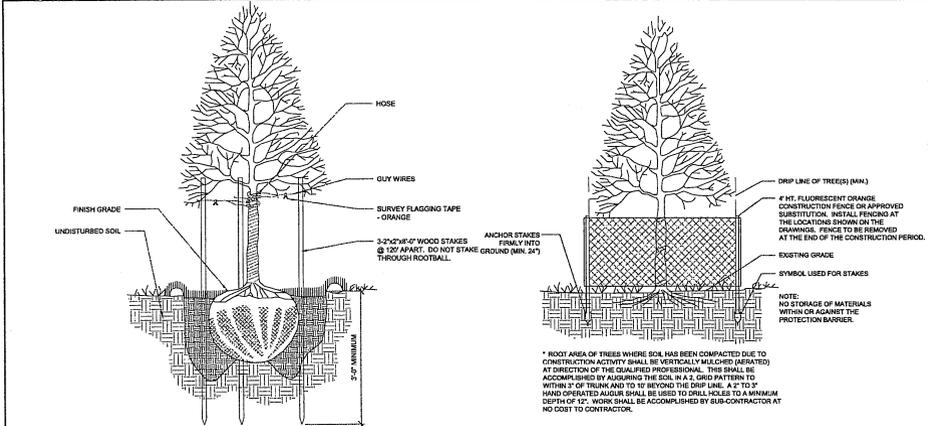


5 TYPICAL BENCH DETAIL (N.I.C.)
C501 NOT TO SCALE

NOTES:
1) CONTRACTOR SHALL VERIFY ALL REQUIREMENTS WITH MANUFACTURERS FOR MOUNTING AND MOUNTING HARDWARE NEEDED FOR FIXTURES WITH CITY OF WATERTOWN ELECTRICAL DEPT.

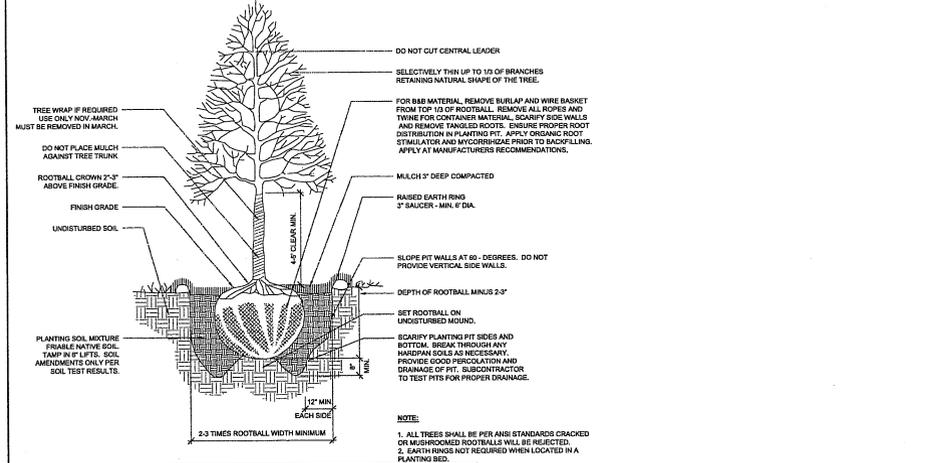
NOTES:
1. REFER TO NYS DOT METRIC STANDARD SHEETS "SIDEWALK CURB RAMP DETAILS" (M88-81) AND "DETECTABLE WARNING DETAILS" (M88-81) FOR ADDITIONAL INFORMATION REGARDING SIDEWALK CONSTRUCTION AND HANDICAP ACCESSIBILITY.

NOTES:
1. MANUFACTURER: CUSTOM FABRICATION, INC. OR APPROVED EQUAL.
2. COLOR: BARK FOREST GREEN.
3. ALL DIMENSIONS ARE IN ENGLISH UNLESS OTHERWISE NOTED.
4. BENCH & ANCHORS WILL BE PROVIDED INSTALLED BY OTHERS.

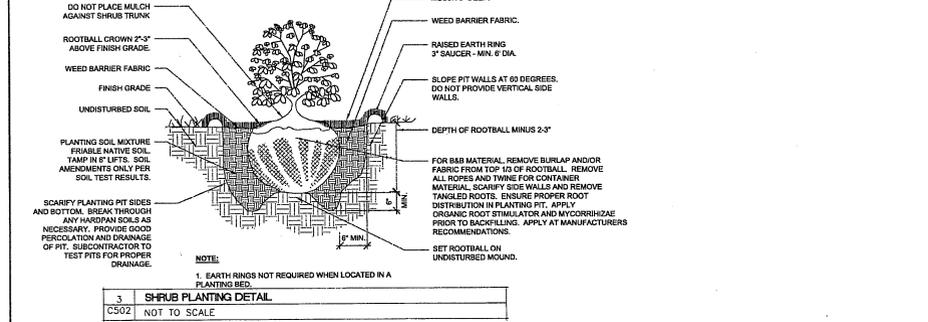


1 TREE STAKING DETAIL
CS02 NOT TO SCALE

4 TREE PROTECTION DETAIL
CS02 NOT TO SCALE



2 TREE PLANTING DETAIL
CS02 NOT TO SCALE



3 SHRUB PLANTING DETAIL
CS02 NOT TO SCALE

TREE PLANTING NOTES:

- THESE NOTES ARE PRESENTED AS A SUMMARY OF THE WRITTEN SPECIFICATIONS ISSUED FOR THE PROJECT. REFER TO THE WRITTEN SPECIFICATIONS FOR ADDITIONAL DETAIL AND FOR PROJECT REQUIREMENTS.
- THE QUANTITIES INDICATED ON THE DRAWINGS AND ON THE TREE MATERIAL SCHEDULE ARE PROVIDED FOR THE LANDSCAPE SUBCONTRACTOR BUT SHALL BE SUBJECT TO THE LANDSCAPE ARCHITECT'S REVIEW. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES INDICATED BY THE CONTRACTOR TO BE CORRECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES INDICATED BY THE CONTRACTOR TO BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE GRAPHIC REPRESENTATIONS SHOWN ON THE DRAWINGS SHALL GOVERN.
 - NO SUBSTITUTIONS AS TO SIZE, TYPE, SPACING, QUANTITY OR QUALITY OF TREE MATERIAL SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF BOTH THE ARCHITECT/ENGINEER AND THE PROJECT LANDSCAPE ARCHITECT. CHANGES IN TREE MATERIAL SHALL CONSTITUTE PLAN RE-APPROVAL.
 - TREES SHALL BE SUPPLIED AT THE SIZES SPECIFIED ON THE DRAWINGS. THE SIZES SHALL BE ASSUMED TO BE THE MINIMUMS FOR EACH CATEGORY (HEIGHT, SPREAD, CALIPER, CONTAINER SIZE, ETC.) WHEN A RANGE OF SIZES IS GIVEN, 75% OF THE PLANTS SUPPLIED MUST MEET THE MAXIMUM RANGE SIZE, AND 25% OF THE PLANTS SUPPLIED SHALL BE THE MINIMUM RANGE SIZE SPECIFIED. THE PLANTS SUPPLIED MUST CONFORM TO ALL OF THE MINIMUM DIMENSIONS INDICATED. PLANTS OF LARGER SIZE MAY BE USED IF ACCEPTABLE TO THE DISBURSEMENT CONTRACTOR AT AN ADDITIONAL COST AND IF SIZES OF CONTAINER OR ROOT BALLS, HEIGHT, AND SPREAD ARE INCREASED PROPORTIONATELY IN ACCORDANCE WITH ANSI Z60.1. ALL OTHER QUALITY REQUIREMENTS OF THE TREE MATERIAL MUST ALSO BE ADHERED TO.
 - ALL TREES MUST BE NURSERY GROWN, BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN THE MATERIALS SCHEDULE. CONTAINER GROWN MATERIAL CAN BE SUBSTITUTED FOR B&B MATERIAL WITH WRITTEN APPROVAL BY THE ARCHITECT/ENGINEER PRIOR TO INSTALLATION. ALL TREE MATERIALS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z40.1, LATEST EDITION. ALL TREES SHALL COME WITH ANSI Z40.1 AND THE URBAN TREE FOUNDATION GUIDELINE FOR NURSERY TREE QUALITY, 2009 EDITION. ALL TREES SHALL BE HIGHEST QUALITY, FIRST CLASS REPRESENTATIVES OF THEIR SPECIES. SECONDS, CULLS, OR PARK GRADE MATERIAL WILL BE REJECTED.
 - CALIPER SIZE IS NOT TO BE REDUCED. CALIPER MEASUREMENTS SHALL BE TAKEN IN ACCORDANCE WITH AND STANDING ABOVE THE TRUNK OR PLANTS.
 - ALL TREES MUST BE STRAIGHT TRUNK, HAVE A STRONG CENTRAL LEADER, FULL HEADED, AND MEET THE MINIMUM REQUIREMENTS. TREES WITH A "Y" SHAPE ARE NOT ACCEPTABLE. TREES THAT HAVE BEEN PREVIOUSLY PRUNED TO THIS SHAPE SHALL BE REJECTED. THE TREE TRUNK AND BRANCHES WITHIN 3' OF TRUNK AND TO 2' BEYOND THE DRIP LINE, A 2" TO 4" HAND OPERATED AUGUR SHALL BE USED TO DRILL HOLES TO A MINIMUM DEPTH OF 12". WORK SHALL BE ACCOMPLISHED BY SUB-CONTRACTOR AT NO COST TO CONTRACTOR.
 - THE TREE VEGETATIVE CANOPY SHOULD BE MOSTLY SYMMETRICAL AND FREE OF LARGE VOIDS OR FLAT SURFACE AREAS ON ONE SIDE.
 - ALL STREET AND SHADE TREES SHALL HAVE A MINIMUM SIX FEET (6') CLEAR TRUNK UNLESS OTHERWISE NOTED ON LANS OR PLANTS.
 - TREES MOVED DURING PERIODS OF HIGH TRANSPORTATION SHALL BE SPRAYED WITH AN ANTI-DESICCANT PRIOR TO MOVING, APPLIED AND REMOVE ANTI-DESICCANTS AT THE MANUFACTURER'S RECOMMENDATION.
 - TREES SHALL BE STAKED AND GUYED AS DETAILED AND SPECIFIED ONLY IF THE TREES CANNOT STAND ON THEIR OWN AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. STAKE AND GUYED MATERIALS SHALL BE REMOVED BY THE LANDSCAPE SUBCONTRACTOR SIX (6) MONTHS AFTER FINAL ACCEPTANCE.
 - ALL TREES ARE SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT/ENGINEER AT ANY TIME PRIOR TO FINAL ACCEPTANCE. REJECTED PLANTS SHALL BE REPLACED IMMEDIATELY AT NO ADDITIONAL COST.
 - THE LANDSCAPE SUBCONTRACTOR SHALL FIELD STAKE ALL TREES PRIOR TO INSTALLATION. THE ARCHITECT/ENGINEER'S REPRESENTATIVE SHALL APPROVE ALL STAKED LOCATIONS PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO APPROVAL BY THE ARCHITECT/ENGINEER'S REPRESENTATIVE ARE SUBJECT TO REJECTION AND REPLACEMENT AT NO ADDITIONAL COST TO THE ARCHITECT/ENGINEER.
 - PRIOR TO COMMENCEMENT OF INSTALLATION, THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND SHALL AVOID DAMAGING UTILITIES DURING INSTALLATION. ANY UTILITIES DAMAGED DURING INSTALLATION SHALL BE REPAIRED BY THE LANDSCAPE SUBCONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY AND THE ARCHITECT/ENGINEER. ALL REPAIRS SHALL BE AT AN ADDITIONAL COST TO THE ARCHITECT/ENGINEER.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF SITE UTILITY LINES. TREE LOCATIONS PROPOSED WITHIN 10' SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO EXCAVATION. FIELD ADJUSTMENTS OF TREE LOCATIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. PLANTS REMOVED AND INSTALLED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT WILL BE REMOVED, REPLACED, AND RELOCATED AT NO ADDITIONAL COST.
 - THE LANDSCAPE CONTRACTOR SHALL UTILIZE ON-SITE TOPSOIL AS AVAILABLE FROM THE EARTHWORK SUBCONTRACTOR. ALL TOPSOIL SHALL BE APPROVED BY THE ARCHITECT/ENGINEER.
 - NO TREES SHALL BE INSTALLED IN POOR DRAINAGE CONDITIONS. LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND SUSPECT TREE PITS PRIOR TO TREE INSTALLATION. REFER TO THE LANDSCAPE SPECIFICATIONS FOR TREE PIT TESTING PROCEDURES.
 - ALL TREES SHALL BE PLACED WITH THE BEST FACE FORWARD, TOWARDS THE STREET WHENEVER POSSIBLE.
 - ALL TREES SHALL BE PRUNED AS NECESSARY PRIOR TO INSTALLATION.
 - PRE-EMERGENT HERBICIDES, TRIFLURAL PHEEN, OR APPROVED EQUAL, SHALL BE APPLIED TO ALL TREE PLANTING BEDS PRIOR TO MULCHING. APPLY AT MANUFACTURER'S RECOMMENDATIONS. HERBICIDES SHALL BE INCORPORATED INTO THE SOIL AT THE RECOMMENDATION OF THE MANUFACTURER.
 - APPLY ORGANIC ROOT STIMULATOR, CONTAINING MYCORRHIZAE, TO ALL TREES PRIOR TO BACKFILLING. APPLY AT MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO SUBMIT SAMPLES OF ROOT STIMULATOR TO THE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO USE.
 - THE LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE PLANT INSTALLATIONS UNTIL ACCEPTED BY THE ARCHITECT/ENGINEER AND THE UNIT FACING TURNED OVER TO THE DESIGN BUILD CONTRACTOR. MAINTENANCE SHALL INCLUDE RE-MULCHING, WATERING, APPLICATIONS OF HERBICIDES, FUNGICIDES, INSECTICIDES AND PESTICIDES AS NECESSARY. MAINTENANCE SHALL INCLUDE ALL TREES, SEEDED AREAS AND SOIL.
 - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL TREES SHALL BE IN A HEALTHY AND THRIVING CONDITION ACCORDING TO THE NATURAL GROWTH HABITS OF THE INDIVIDUAL SPECIES AT THE TIME OF THE UNIT / PHASE TURNOVER

LANDSCAPE SEED NOTES:

- AREAS NOTED AS TURF-SEED SHALL BE SEEDED WITH A MIXTURE OF 50% KENTUCKY BLUE GRASS, 20% RED OR CHEWING FESCUE AND 30% NORKELA PERENNIAL RYE. SEED AT 5 LBS PURE LIVE SEED PER 1,000 SF. A TEMPORARY SEED MIXTURE SHALL BE USED SPECIFICALLY FOR ALL TEMPORARY SEEDED AREAS SHALL HAVE VEGETATION REMOVED AND THE GROUND SCARIFIED PRIOR TO FINAL SEED APPLICATION.
- FERTILIZERS FOR THE PROJECT SHALL BE AS PER THE SITE-SPECIFIC SOILS TEST RESULTS. FOR BIDDING PURPOSES ONLY, FERTILIZER SHALL BE 10-10-10 AND SHALL BE APPLIED AT A RATE OF 20 LBS / 1,000 SF.
- SCARIFY, LOOSEN, FLAT AND DRAG THE UPPER FOUR INCHES (4") OF SOIL TO BRING IT TO PROPER CONDITION AND GRADE PRIOR TO SEEDING / SOODING. REMOVE STONES LARGER THAN ONE INCH (1"), STICKS, ROCKS, RUBBISH, ETC. FINISHED GRADE SHALL BE LOOSE AND FREE DRAINING PRIOR TO SEEDING / SOODING.
- STRIP EXISTING GRASS AND WEEDS, INCLUDING ROOTS, PRIOR TO SEEDING. APPLY HERBICIDES AS NECESSARY TO SPOT TREAT UNWANTED SPECIES.
- INSTALL SEED PER THE WRITTEN SPECIFICATIONS. LANDSCAPE SUBCONTRACTOR MUST ADJUST APPLICATION RATES TO PURE LIVE SEED RATES AS INDICATED.
- ALL SEEDED AREAS MUST BE MAINTAINED BY THE LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE DESIGN BUILD CONTRACTOR.

MULCH:

- ALL MULCHED AREAS SHALL BE SHREDDED HARDWOOD MULCH.

TREE PROTECTION NOTES:

- IT IS THE CONTRACTOR'S INTENT TO PRESERVE AS MANY EXISTING TREES AS POSSIBLE.
- TO ASSURE THE HEALTH AND SURVIVAL OF TREES THAT ARE TO REMAIN, THE FOLLOWING KINDS OF TREE INJURIES SHALL BE AVOIDED DURING ALL DEVELOPMENT ACTIVITIES:
 - MECHANICAL INJURIES TO ROOTS, TRUNK AND BRANCHES.
 - INJURIES BY CHEMICAL POISONING.
 - INJURIES BY MECHANICAL CHANGES.
 - INJURIES BY EXCAVATIONS, AND
 - INJURIES BY PAVING.
- THE TREE PROTECTION ZONE (TPZ) SHALL BE A CIRCULAR-SHAPED PROTECTION AREA ESTABLISHED AROUND EACH TREE. THESE ZONES SHALL BE TPZ AROUND CLUMPS OR GROUPS OF TREES TO REMAIN AS INDICATED ON THE DRAWINGS.
 - IF THE TREE'S DRIP LINE IS LESS THAN TEN FEET, THE PROTECTION ZONE SHALL BE TEN FEET.
 - IF THE TREE'S DRIP LINE IS MORE THAN TEN FEET, THE PROTECTION ZONE SHALL BE THE FULL EXTENT OF THE DRIP LINE OF THE TREE, WHERE FEASIBLE.
 - IF THE DRIP LINE ENCLOSES INTO INTERFERING AREAS (PAVEMENTS, BUILDINGS, ETC.) THE LIMIT SHALL BE THE PERVIOUS AREA OF THE TREE'S DRIP LINE. SHOULD THE PROJECT INVOLVE DEMOLITION ACTIVITIES, THE TPZ SHALL BE ADJUSTED IMMEDIATELY AFTER DEMOLITION ACTIVITIES AROUND THE TREE TO ENCOMPASS THE ENTIRE DRIP LINE.
 - IF TREES ARE CLUMPED OR GROUPED TOGETHER, THE PROTECTION ZONES SHALL EXTEND TO THE FULL EXTENT OF THE OUTER DRIP LINE OF THE GROUP, NOT EACH INDIVIDUAL TREE.
 - THE CONFIGURATION OF THE TREE PROTECTION ZONE MAY BE ADJUSTED UPON RECOMMENDATION AND APPROVAL OF THE DB CONTRACTOR AND UPON VERIFICATION THAT MEASURES WILL BE TAKEN DURING VEGETATION AND/OR CONSTRUCTION TO PROTECT THE WELL-BEING OF THE TREE.
- TPZ SHALL ENCRONCH ON AREAS TO BE PAVED OR GRADED UNTIL PAVING AND/OR GRADE ADJUSTMENT ACTIVITIES BEGIN. ONLY THEN SHALL BARRICADES BE MOVED TO MAINTAIN THE MAXIMUM TPZ THAT WILL NOT ENCRONCH ON THE PLANNED CONSTRUCTION. REMOVAL OF BARRICADES SHALL OCCUR ONLY AFTER ALL WORK IS COMPLETED, OR AS DIRECTED BY THE DB CONTRACTOR'S C.C. REPRESENTATIVE.
- CONSTRUCTION ACTIVITIES, EXCEPT THOSE SPECIFICALLY INDICATED ON THE DRAWINGS, ARE PROHIBITED WITHIN THE TPZ. PROHIBITED ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - PARKING OF VEHICLES OR EQUIPMENT, STORAGE OF BUILDING OR CONSTRUCTION MATERIALS, REFUSE, OR SOIL, STOCKPILES OR DUMPS OF ANY POISONOUS MATERIAL, ON OR AROUND TREES AND THE TPZ. POTENTIALLY POISONOUS MATERIALS MAY INCLUDE, BUT ARE NOT LIMITED TO: PAINT, PETROLEUM PRODUCTS, CONCRETE, SLURRY MIX, DIRTY WATER, OR ANY OTHER MATERIAL THAT MAY BE DEEMED HARMFUL TO THE GROWTH AND VIABILITY OF THE TREE.
 - THE USE OF A TREE AS A BACKSTOP, WINCH SUPPORT, ANCHORAGE, AS A TEMPORARY POWER POLE, SPANPOST, OR SIMILAR FUNCTION.
 - CUTTING OF A TREE'S ROOTS EXCEPT AS SPECIFICALLY DESCRIBED HEREIN.
 - SOIL DISTURBANCE OR GRADE CHANGE. GRADE CHANGES UNDER SPECIFICALLY APPROVED CIRCUMSTANCES SHALL NOT ALLOW MORE THAN 4-INCHES OF FILL SOIL OR ALLOW MORE THAN 4-INCHES OF EXISTING SOIL TO BE REMOVED FROM NATURAL GRADE. FILL GREATER THAN 4-INCHES SHALL INCORPORATE AN APPROPRIATE APPROVED PERMANENT AERATION SYSTEM, PERMEABLE MATERIAL, OR OTHER APPROVED AERATION MITIGATION.
- WHEN CONSTRUCTION ACTIVITIES ARE PROPOSED WITHIN THE TPZ, THE FOLLOWING MEASURES SHALL BE INCORPORATED:
 - MULCH: SHOULD CONSTRUCTION ACTIVITIES BE PROPOSED WITHIN THE FENCED TPZ, WOOD CHIPS SHALL BE SPREAD WITHIN THE TPZ TO A DEPTH OF 4 TO 6 INCHES, LEAVING THE TRUNK AND ROOT FLARE CLEAR OF MULCH. THIS WILL ALLOW FOR SOIL COMPACTION AND MOISTURE LOSS. MULCH SHALL BE UNFERTILIZED SHREDED WOOD. THE TPZ SHOULD BE RE-ESTABLISHED IMMEDIATELY FOLLOWING THE CONSTRUCTION ACTIVITIES.
 - ROOT BUFFER: WHERE AREAS OF THE TPZ CANNOT BE FENCED, A TEMPORARY ROOT BUFFER IS REQUIRED AS SOON AS CONSTRUCTION ACTIVITIES COMMENCE AND SHALL COVER THE ENTIRE ROOT ZONE. THE ROOT BUFFER SHALL BE IDENTIFIED BY THE PLACE, SHOWN ON THE DRAWINGS. THE FINAL ROOT BUFFER SHALL BE IDENTIFIED WITH A TEMPORARY SIGN OR SIGNS TO CLEARLY DEMARKATE THE EXTENT OF THE ZONE. THE SIGNS SHALL BE CLEARLY PRINTED IN ENGLISH AND SPANISH WITH THE FOLLOWING:
 - "KEEP OUT - TREE PROTECTION ZONE - NO DISTURBANCE PERMITTED"
 - "MANTENCIÓN ZONA DE PROTECCIÓN DE ÁRBOLES - NINGUNA PERTURBACIÓN PERMITIDA"
 - THE SUBCONTRACTOR SHALL MAINTAIN THE TPZ FENCING DURING THE ENTIRE DEMOLITION / CONSTRUCTION PROCESS AND SHALL MAKE CERTAIN THAT IT IS OBSERVED BY ALL OTHER SUBCONTRACTORS, THEIR EMPLOYEES AND SUPPLIERS.
- ALL CONSTRUCTION AND DEVELOPMENT ACTIVITIES, EXCEPT THOSE SPECIFICALLY LISTED BELOW, ARE PROHIBITED WITHIN THE TPZ PROVIDED FOR ANY PROTECTED TREES, INCLUDING ANY CONSTRUCTION OF BUILDINGS, STRUCTURES, PAVING SURFACES, AND STORM WATER RETENTION / DETENTION PONDS.
- EXCAVATING OR TRENCHING FOR UTILITIES, INCLUDING LANDSCAPE IRRIGATION, SHALL BE RE-ROUTED OUTSIDE THE LIMITS OF THE TPZ. IN THE EVENT THAT THIS CANNOT BE ACCOMPLISHED, THE UTILITY SHALL BE ROUTED AS FAR AWAY FROM THE TRUNK OF THE TREE AS POSSIBLE. THE FOLLOWING MINIMUM DISTANCES SHOULD BE MAINTAINED:

TRUNK DIAMETER (TRENCH FIT) (MEASURED 4.5 FEET ABOVE NATURAL GRADE)	DISTANCE FROM THE EDGE OF THE TRUNK TO THE
UP TO 6 INCHES	PAST DRIPLINE
6 TO 9 INCHES	5
10 TO 14 INCHES	10
15 TO 18 INCHES	12
GREATER THAN 19 INCHES	15
- EXCAVATION OF THE TRENCH SHALL BE WITH THE USE OF A TRENCHING MACHINE, NOT A BACKHOE OR OTHER LARGE EXCAVATOR. A ROOT BUFFER MUST ALSO BE UTILIZED WITH TRENCHING AND CONSTRUCTION ACTIVITIES. TREE ROOTS 2-INCH DIAMETER AND LARGER SHALL BE CLEAN CUT WITH A SAW, NOT CHISEL OR CUT AWAY IN ANY MANNER. HISTORIC OR SPECIEN TREES ARE EXCLUDED FROM THIS REQUIREMENT. IN THE CASE OF HISTORIC OR SPECIEN TREES, UTILITY LINES SHALL BE TUNNELED BENEATH TREE ROOTS IN ORDER TO PROTECT FEEDER ROOTS. PLACEMENT OF SOIL OR OTHER GROUND COVER AND THE PREPARATION OF THE GROUND SURFACE FOR SUCH COVER SHALL BE TPZ.
- TREE MAINTENANCE DURING CONSTRUCTION IS REQUIRED. SUPPLEMENTAL IRRIGATION FOR TREES UNDER WATER STRESS SHOULD BE PROVIDED. WATERING OF THE AREA OF THE TPZ SHALL BE PERFORMED BY FLOODING WITH WATER FOR DEEP SOIL PENETRATION. A MAXIMUM 8-INCH CONTAINMENT BERM LOCATED JUST OUTSIDE THE TPZ MAY BE USED FOR CONFINEMENT. RE-FILL WITH THE BERM WHEN THE WATER HAS BEEN USED. FREQUENT LIGHT WATERINGS SHALL BE AVOIDED.
- DURING PERIODS OF EXTENDED DROUGHT, WIND, OR GRADING, TRUNKS, LIMBS, AND FORKAGE OF THE TREES TO REMAIN SHOULD BE SPRAYED WITH WATER TO REMOVE ACCUMULATED CONSTRUCTION DUST. TREE FOLIAGE SHALL ALSO BE HOSED DOWN UPON THE REQUEST OF THE DB CONTRACTOR.
- DAMAGE TO TREES SHOULD BE REPORTED AS SOON AS POSSIBLE TO THE DB CONTRACTOR OR CONSTRUCTION SUPERINTENDENT. ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE GROUND AND COVERED WITH SOIL BASKETS AS SOON AS POSSIBLE. IF EXPOSED ROOTS ARE NOT COVERED WITHIN 24 HOURS, COVER THEM WITH MULCH AND THOROUGHLY WATER UNTIL COVERED WITH SOIL BASKETS.
- ROOT AREA OF TREES WHERE SOIL HAS BEEN COMPACTED DUE TO CONSTRUCTION ACTIVITY, SHALL BE VERTICALLY MULCHED (MATERATED) IN THE DIRECTION OF THE DB CONTRACTORS CONSULTANT. THIS SHALL BE ACCOMPLISHED BY AUGERING THE SOIL IN A GRID PATTERN TO WITHIN 2' OF TRUNK AND TO 10' BEYOND THE DRIP LINE. A 2" TO 3" HAND OPERATED AUGUR SHALL BE USED TO DRILL HOLES TO A MINIMUM DEPTH OF 12". WORK SHALL BE ACCOMPLISHED AT NO COST TO THE DB CONTRACTOR.
- REMOVAL OF ALL TREE PROTECTION FENCING AND SIGNAGE SHALL BE DONE BY THE SUBCONTRACTOR WHEN PERMITTED BY THE DB CONTRACTORS C.C. REPRESENTATIVE. RESTORATION OF ALL AREAS DISTURBED BY THE FENCING AND/OR SIGNAGE WILL BE THE SUBCONTRACTORS RESPONSIBILITY.
- INSPECTIONS
 - ALL PROTECTED TREES DESIGNATED TO REMAIN SHALL BE INSPECTED BY THE DB CONTRACTOR ONE YEAR FOLLOWING COMPLETION OF THE PROJECT TO INSURE THAT THEY ARE SURVIVING IN A HEALTHY CONDITION.
 - PROTECTED TREES WHICH REQUIRE REPAIRS SHALL BE DETERMINED BY THE DB CONTRACTOR.
 - ANY PROTECTED TREE DESIGNATED TO REMAIN WHICH IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED ACCORDING TO ACCEPTED INTERNATIONAL SOCIETY OF ARBORICULTURE PRACTICES, OR REPLACED SUCH THAT THE TOTAL CALIPER (DBH + DIAMETER AT GREAT DIAMETER) MEASURED AT 4.5 FEET ABOVE GROUND OF THE REPLACEMENT TREES) MEETS OR EXCEEDS THE TOTAL CALIPER OF THE PROTECTED TREE.

ARCHITECTURE
ENGINEERING
LAND SURVEYING

GYMCO

REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW YORK

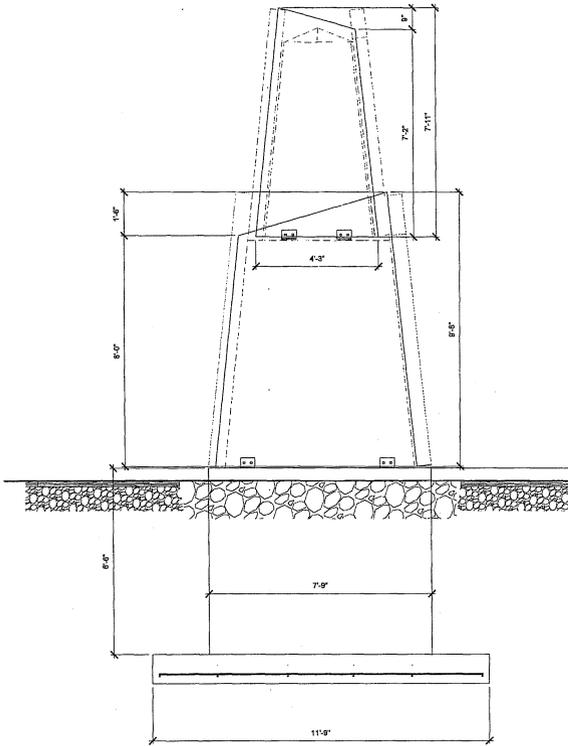
EXPIRES 12/31/2014

PROJECT NO. 2014
SCALE: AS NOTED
DATE: 5-28-15
DRAWN BY: MMX
CHECKED BY: EDO
DATE REVISION: 7-16-15
DREW NO.

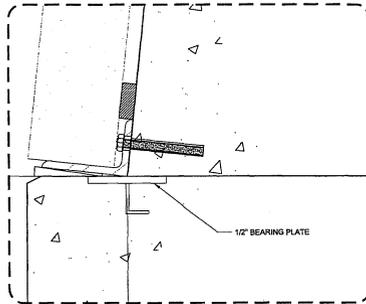
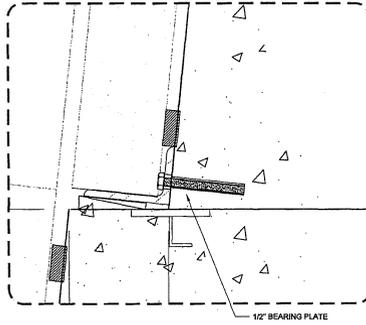
SITE DETAILS

HONOR THE MOUNTAIN MONUMENT
THOMPSON PARK
WATERTOWN, NEW YORK 13601

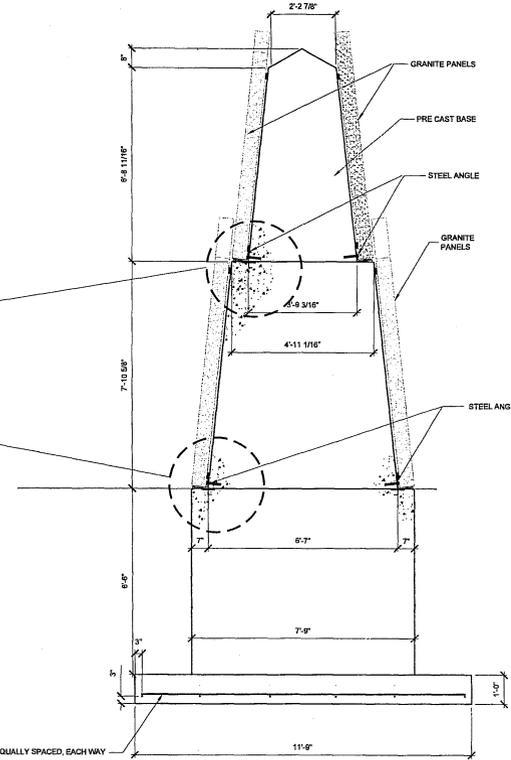
C-502



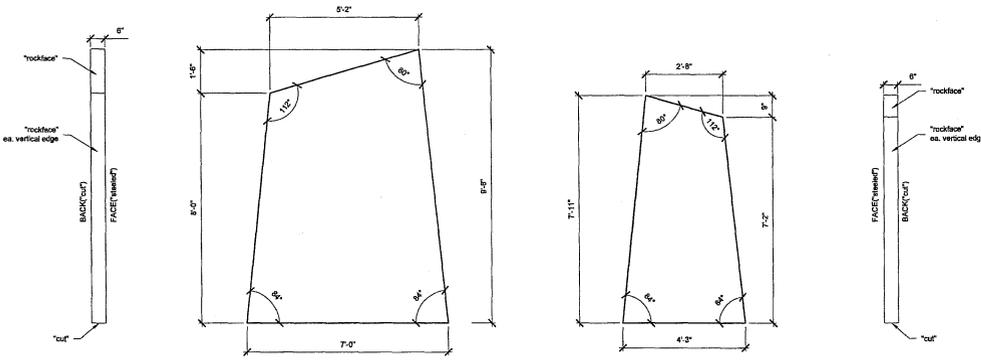
GRANITE PANEL SECTIONS
 SCALE: 1/2"=1'-0"



(6) #5 BARS EQUALLY SPACED, EACH WAY



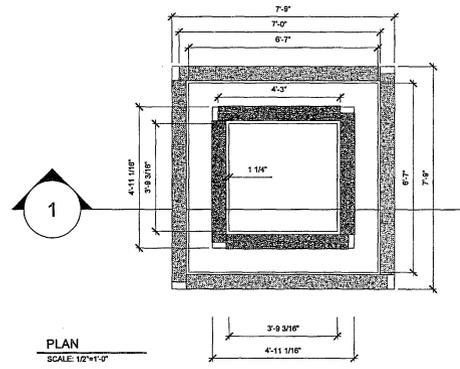
1 PRE CAST BASE SECTION
 SCALE: 1/2"=1'-0"



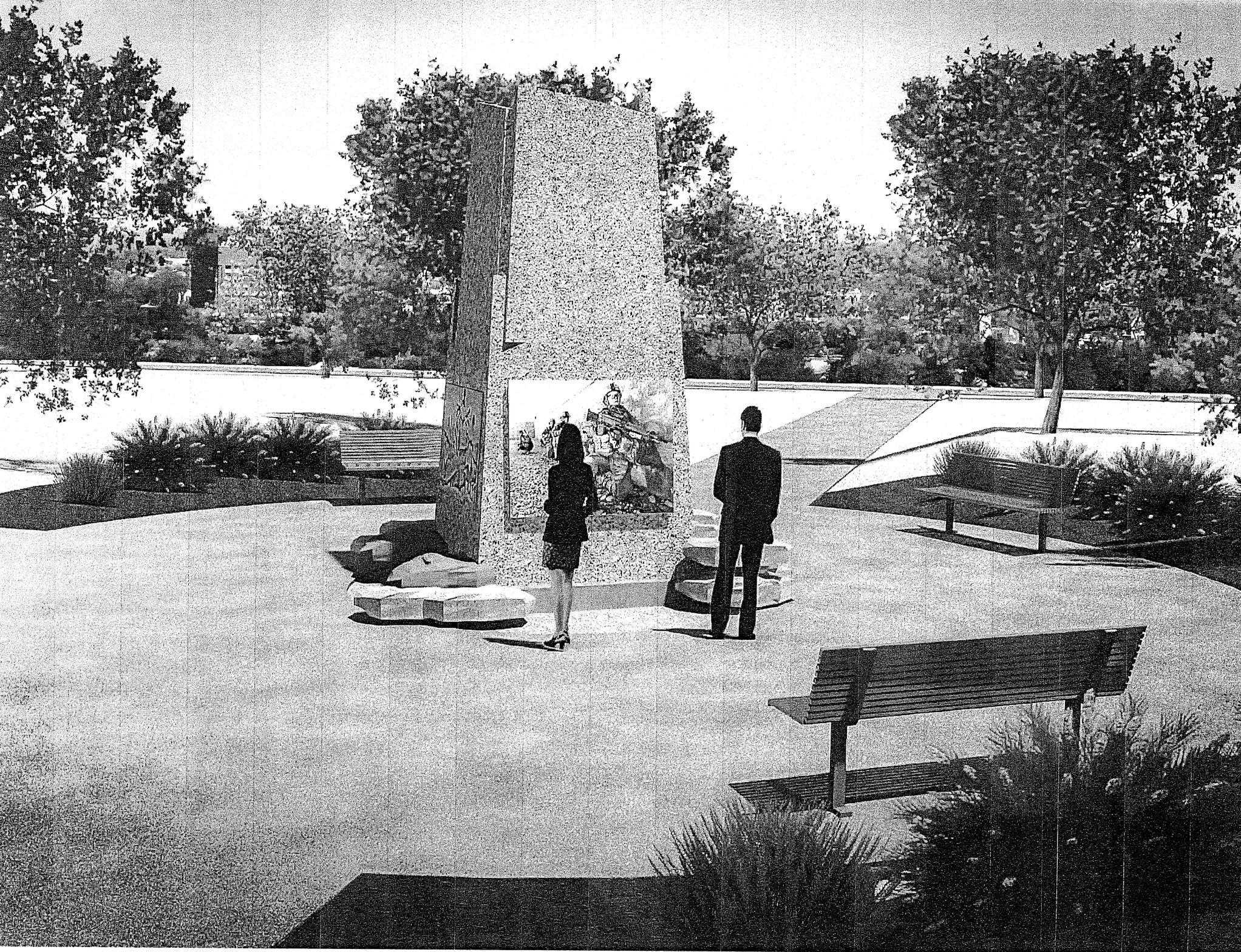
LOWER PANEL (4 PANELS)

UPPER PANEL (4 PANELS)

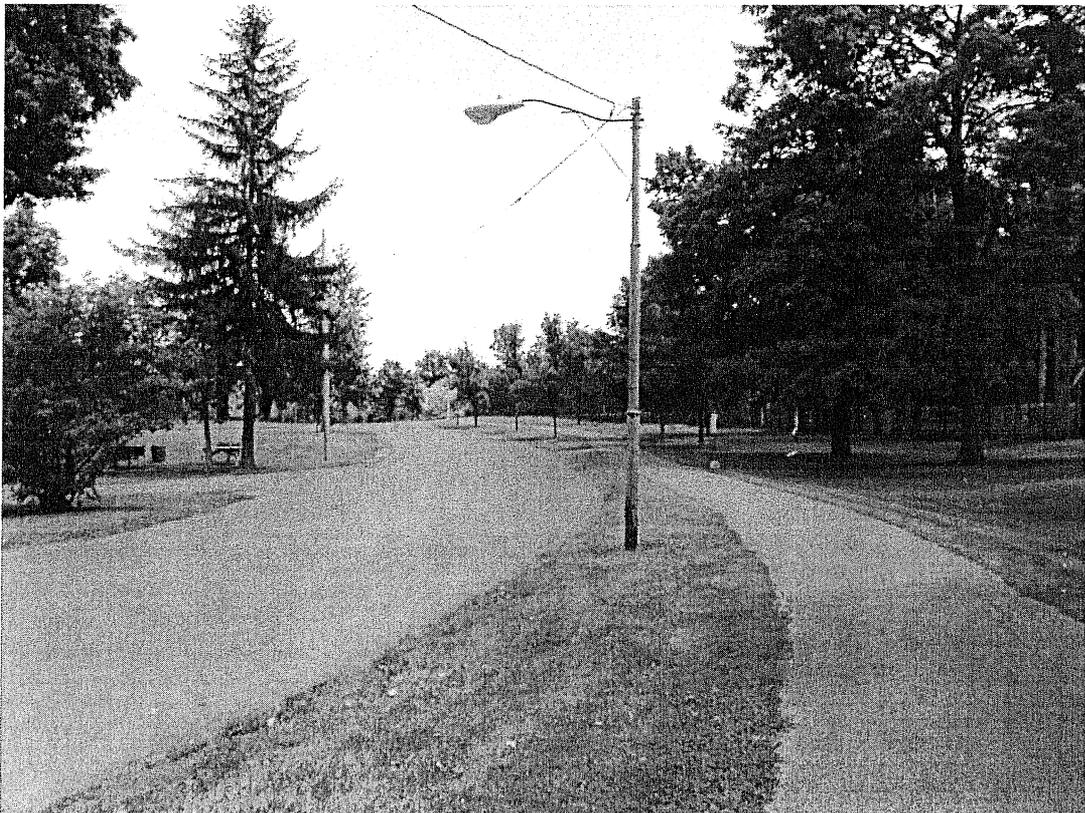
GRANITE PANELS
 SCALE: 1/2"=1'-0"



PLAN
 SCALE: 1/2"=1'-0"



Examples of Various Lighting Fixtures in Thompson Park



Examples of Various Lighting Fixtures in Thompson Park



DESCRIPTION

LED technology combined with the Icon luminaires unique form creates the choice solution for modern site lighting applications. The Icon luminaires gentle curves and sleek profile create a shape that is beyond common. Two unique arm choices combined with structural element options provide no limitations in bridging to the architectural application.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

HOUSING: Heavy wall, one-piece, die-cast aluminum housing has precise tolerance control and repeatability in manufacturing. Integral aluminum heat sink provides superior heat transfer in +40°C ambient environment. **DOOR:** One-piece, die-cast aluminum construction with tool-less release latch. Door swings down and is retained on heavy duty leaf/pin hinge. **GASKET:** Continuous gasket provided to seal housing to door. **HARDWARE:** Tool-less release button latches are stainless steel/aluminum construction, painted to match housing and allow access to internal housing and electrical components.

Optics

DISTRIBUTION: Choice of twelve patented, high efficiency AccuLED Optics™, featuring designs that maximize light collection and directional distribution onto the application region. Each optical lens is precision manufactured via injection-molding, then precisely arranged and sealed to the board media. LightBAR assembly features an IP66 enclosure rating. **LEDs:** High output LEDs offered standard in 4000K (+/- 275K) CCT and nominal 70 CRI. 90% lumen maintenance at 60,000 hours per IESNA TM-21.

Electrical

DRIVER: LED drivers are potted and thermally managed for optimal performance and prolonged life. Standard drivers feature electronic universal voltage (120-277V/50-60Hz), >0.9 power factor, <20% harmonic distortion and feature ambient temperature range of +40°C (104°F) down to minimum starting temperature of -30°C (-22°F). Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 10kV of transient line surge. All LED LightBARs™ and drivers are mounted to dedicated mounting trays and are easily replaced by use of quick disconnects for ease of wiring. Options to control light levels, power consumption and egress capabilities (separate circuit) are available. Optional integral occupancy sensor is available.

Mounting

UPSWEEP ARM: Manufactured of heavy wall cast aluminum. Internal bolt guides provided for positioning arm to housing and pole. **LINEAR ARM:** Manufactured of heavy wall extruded aluminum. Arm features internal bolt guides for positioning arm to housing and pole. **STRUCTURAL MOUNT:** Die-cast aluminum cleat, factory mounted and finished in luminaire color. Stainless steel structural rod measures 1/2" in diameter and is provided in luminaire finish or

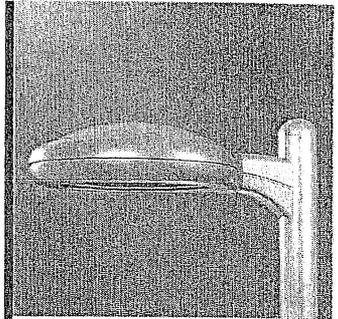
optional natural finish. Product functions in conjunction with linear arm. INVUE poles provided pre-drilled for suspension mount applications. See INVUE pole brochure for complete selection of matching poles. **STRUCTURAL WALL MOUNT:** Die-cast aluminum cleat, factory mounted to luminaire and finished in luminaire color. Stainless steel structural rod measures 1/2" in diameter and is provided in luminaire finish or optional natural finish. Wall bracket works in conjunction with linear arm. Mounting arms ordered separately.

Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty

Five-year warranty.



ICM ICON SITE MEDIUM LED

1 - 6 LightBARs
Solid State LED

ARCHITECTURAL LED AREA/SITE LUMINAIRE



CERTIFICATION DATA

UL/cUL Listed
ISO 9001
IP66 LightBARs
LM79 / LM80 Compliant
3G Vibration Tested
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
-30°C Minimum Temperature
40°C Ambient Temperature Rating

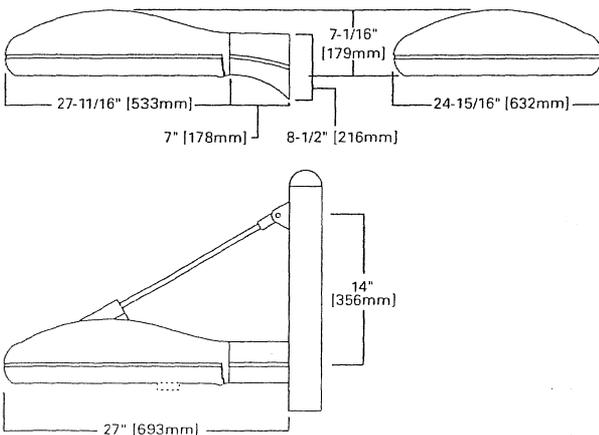
EPA

Effective Projected Area (Sq. Ft.):
Single: 1.09
Single Structural: 1.11

SHIPPING DATA

(Approximate)
Net Weight (lbs.): 50
Volume (cu. ft.): 4.00

DIMENSIONS



POWER AND LUMENS BY BAR COUNT

Number of LightBARs	DISTRIBUTION													
	Power (Watts)	Current @ 120V (A)	Current @ 277V (A)	T2	T3	T4	SL2	SL3	SL4	5MQ	5WQ	5XQ	RW	SLR/SL
7 LED LIGHTBAR														
C01	27	0.23	0.13	1,819	1,798	1,811	1,805	1,746	1,734	1,923	1,930	1,868	1,834	1,660
C02	54	0.46	0.21	3,509	3,469	3,495	3,484	3,368	3,347	3,711	3,724	3,605	3,540	3,203
C03	77	0.65	0.29	5,291	5,230	5,269	5,252	5,078	5,046	5,594	5,614	5,436	5,337	4,829
C04	101	0.86	0.37	6,983	6,902	6,954	6,932	6,703	6,660	7,383	7,410	7,174	7,043	6,373
C05	131	1.11	0.50	8,362	8,265	8,327	8,300	8,026	7,975	8,841	8,872	8,590	8,434	7,631
C06	154	1.30	0.58	10,119	10,002	10,077	10,045	9,712	9,651	10,699	10,737	10,396	10,206	9,235
21 LED LIGHTBAR														
B01	27	0.23	0.13	2,237	2,211	2,228	2,220	2,147	2,133	2,365	2,374	2,298	2,256	2,041
B02	51	0.43	0.20	4,317	4,267	4,299	4,285	4,143	4,117	4,564	4,580	4,435	4,354	3,940
B03	73	0.62	0.28	6,508	6,433	6,481	6,460	6,246	6,207	6,881	6,906	6,686	6,564	5,939
B04	95	0.81	0.35	8,589	8,490	8,554	8,526	8,244	8,192	9,081	9,114	8,824	8,663	7,839
B05	124	1.05	0.48	10,285	10,166	10,242	10,209	9,871	9,809	10,874	10,913	10,566	10,373	9,386
B06	146	1.24	0.56	12,446	12,302	12,395	12,355	11,946	11,871	13,159	13,207	12,786	12,554	11,359

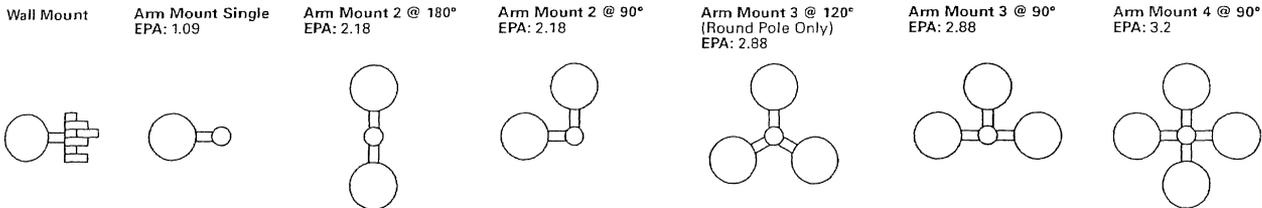
LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.04
15°C	1.03
25°C	1.00
40°C	0.96

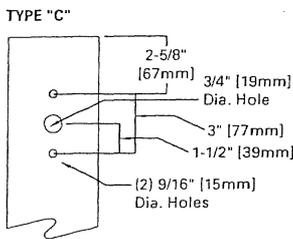
LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C	> 90%	> 170,000

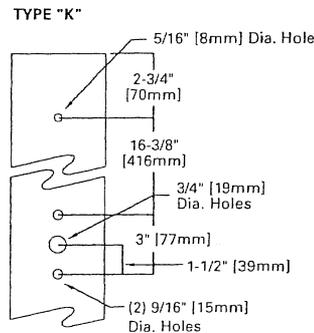
MOUNTING VARIATIONS



ARM DRILLING



STRUCTURAL MOUNT



ORDERING INFORMATION

Sample Number: ICM-B06-LED-E1-T3-GM

Product Family ^{1,2}	Number of LightBARs ^{3,4}	Lamp Type	Voltage	Distribution	Color ⁶
ICM=Icon Site Medium	B01=(1) 21 LED LightBAR B02=(2) 21 LED LightBARs B03=(3) 21 LED LightBARs B04=(4) 21 LED LightBARs B05=(5) 21 LED LightBARs B06=(6) 21 LED LightBARs C01=(1) 7 LED LightBAR C02=(2) 7 LED LightBARs C03=(3) 7 LED LightBARs C04=(4) 7 LED LightBARs C05=(5) 7 LED LightBARs C06=(6) 7 LED LightBARs	LED=Solid State Light Emitting Diode	E=Universal (120-277V) 347=347V 480=480V ⁵	T2=Type II T3=Type III T4=Type IV 5MQ=Type V Square Medium 5WQ=Type V Square Wide 5XQ=Type V Square Extra Wide RW=Rectangular Wide SL2=Type II with Spill Control SL3=Type III with Spill Control SL4=Type IV with Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Structural Options ^{2,7}		Options (Add as Suffix)		Accessories (Order Separately) ¹⁵	
Pole Mount PRCP=Strut Rod and Clevis Set for Square Pole (Painted to match fixture. Does not include arm) ⁸ PRCS=Stainless Strut Rod and Clevis Set for Square Pole (Clevis painted to match fixture. Does not include arm) ⁸ PRCP=Strut Rod and Clevis Set for Round Pole (Painted to match fixture. Does not include arm) ⁸ PRCS=Stainless Strut Rod and Clevis Set for Round Pole (Clevis painted to match fixture. Does not include arm) ⁸ Wall Mount WRCP=Strut Rod and Clevis Set (Painted to match fixture. Does not include arm) ¹⁰ WRCS=Stainless Steel Strut Rod and Clevis Set (Clevis painted to match fixture. Does not include arm) ¹⁰		PC=Button Type Photocontrol (Specify Voltage) 2L=Two Circuits ¹¹ LCF=LightBAR Cover Plate Matches Housing Finish 7060=70 CRI / 6000K CCT ¹² 8030=80 CRI / 3000K CCT ¹² L90=Optics Rotated Left 90° R90=Optics Rotated Right 90° MS-LXX=Motion Sensor for ON/OFF Operation ¹³ MS/X-LXX=Motion Sensor for Bi-Level Switching ¹⁴		VA1003-XX=Wall Mount Kit w/Upsweep Arm ¹⁶ VA1004-XX=Wall Mount Kit w/Linear Arm ¹⁶ VA1011-XX=Upsweep Arm for Square Pole VA1012-XX=Upsweep Arm for Round Pole VA1014-XX=Linear Arm for Square Pole VA1015-XX=Linear Arm for Round Pole VA1018-XX=Mast Arm Adapter Kit VA1074-XX=ICM Structural Mount/Wall Mount Arm ¹⁷ VA1033-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon VA1034-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon VA1035-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon VA1036-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon VA1037-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon VA1038-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon VA1039-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon VA1040-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon VA1041-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon VA1042-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon VA1043-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon VA1044-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon VA1045-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon VA1046-XX=2@120° Tenon Adapter for 3-1/2" O.D. Tenon OA/RA1016=NEMA Photocontrol - Multi-Tap OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V MA1253=10kV Circuit Module Replacement	

NOTES:

- DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Arm not included. Order separately.
- Standard 4000K CCT and greater than 70 CRI.
- 21 LED LightBAR powered at 350mA, 7 LED LightBAR powered at 1A.
- Not to be used with ungrounded-systems.
- Custom and RAL color matching available upon request. Consult your customer service representative for more information.
- Add as suffix in the order shown.
- Compatible with VA1014 linear arm only.
- Compatible with VA1015 linear arm only.
- Wall mount structural options do not include arm assembly (See accessories). Compatible with VA1074 linear arm only.
- Low-level output varies by bar count. Consult factory. Requires two or more light bars.
- Consult customer service for lead times and lumen multipliers.
- Sensor mounted to the luminaire. Available in B01-B06 and C01-C06 configurations. Replace XX with mounting height in feet for proper lens selection (e.g., MS-L25). Consult factory for more information.
- Sensor mounted to the luminaire. Available in B02-B06 and C02-C06 configurations. Replace X with number of light bars operating at low output mode and replace XX with mounting height in feet for proper lens selection (e.g., MS/3-L25). Maximum four light bars in low output mode. Consult factory for more information.
- Replace XX with color designation.
- For use in downlighting applications only.
- Includes arm only. Must specify WRCP or WRCS in fixture ordering logic. Downlighting applications only.

Res No. 5

July 29, 2015

To: The Honorable Mayor and City Council

From: Sharon Addison, City Manager

Subject: Approving Intent to Enter into a Franchise Agreement Between the City of Watertown and Top Shelf Hockey, LLC

Top Shelf Hockey, LLC, the owners of the Watertown Wolves hockey team, has chosen to keep their team dormant for the 2015-16 hockey season while the City of Watertown renovates the Watertown Municipal Arena.

As stated in Superintendent Erin Gardner's attached report, Top Shelf Hockey, LLC has every intention of playing their 2016-17 season at the Watertown Municipal Arena. Ms. Gardner is pleased with the positive relationship built between the Watertown Wolves and the Parks and Recreation Department, as well as within the community. In order to assist the team with soliciting sponsorship and advertising for the next season, they have asked us to provide them with a resolution assuring them of our intent to enter into a Franchise Agreement for the 2016-17 season.

A resolution is attached for Council consideration.

RESOLUTION

Page 1 of 1

Approving Intent to Enter into a Franchise Agreement Between the City of Watertown and Top Shelf Hockey, LLC

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS the City of Watertown owns and operates a facility known as the Watertown Municipal Arena, a community recreational facility presently undergoing reconstruction, and

WHEREAS the City of Watertown desires to promote recreational activities at the Watertown Municipal Arena for the valid public purpose of the benefit, recreation, entertainment, amusement, convenience and welfare of the people of the City, and

WHEREAS in pursuit of that valid public purpose, the City of Watertown desires to enter into a Franchise Agreement with Top Shelf Hockey, LLC, upon completion of the renovations, and

WHEREAS Top Shelf Hockey, LLC owns and operates a semi-professional hockey team, as a member and franchise of the Federal Hockey League, and

WHEREAS Top Shelf Hockey, LLC desires to enter into a Franchise Agreement with the City of Watertown to have its team play hockey games within the confines of the Watertown Municipal Arena for the 2016-17 season,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby approves the Intent to Enter into a Franchise Agreement between the City and Top Shelf Hockey, LLC, upon completion of the Watertown Municipal Arena for the 2016-17 season.

Seconded by

7/29/2015

To: Ms. Sharon Addison, City Manager
From: Erin E. Gardner, Superintendent of Parks and Recreation
Subject: 2016-2017 Wolves Hockey Season

As Superintendent of the City of Watertown Parks and Recreation Department, I recommend that we draft a resolution to express our intent to enter into a franchise agreement with Top Shelf Hockey, LLC for the 2016-2017 hockey season. The positive relationship between the Watertown Wolves and the Parks and Recreation Department is one of the many reasons for this recommendation. The City's intent to host the Wolves for the 2016-17 season will allow the Wolves to solicit sponsorship and advertising, as well as enable them to negotiate a team within the league.

The team gained a tremendous amount of community support, and the Parks and Recreation Department, as well as many members of our community, are looking forward to having them back in the 2016-2017 season.

July 28, 2015

To: The Honorable Mayor and City Council
From: Sharon Addison, City Manager
Subject: Staffing for Adequate Fire and Emergency Response (SAFER) Grant

The SAFER Grant Program provides funding to assist in increasing the number of firefighters to help fire departments meet industry minimum standards and attain 24-hour staffing to protect communities from fire and fire related hazards and to fulfill traditional missions of fire departments.

On February 17, 2015, the City Council authorized, by resolution, Fire Chief Dale Herman to submit a grant application for the available total funding of \$340,000,000 to the US Department of Homeland Security (DHS) for the Security Staffing for Adequate Fire and Emergency Response (SAFER) Grant. The City Council further resolved that approval of accepting the grant would be subject to City Council vote.

On July 10, 2015, DHS notified Chief Herman that the City of Watertown was approved to receive \$287,948.00, with a zero match requirement, for the hiring of two firefighters. The funding for two firefighter positions was not an arbitrary award, but predicated upon the identification in the original application submitted by the Fire Chief in March 2015 for filling two positions vacated through attrition and consequent promotions. Subsequently, in May 2015, the Council adopted the FY2015-16 Annual Budget which deleted the vacant firefighter positions based on the Center for Public Safety Management's Fire study recommendations for staff adjustments in the Fire and Code departments. The City Council must approve or decline this award within 30 days of notification.

Should the Council elect to accept this grant, the City would be eligible for reimbursement of the firefighters' normal work schedule and fringe benefits for a period of performance of up to 24 months. Eligibility for reimbursement relies on compliance with federal financial and program reporting requirements.

Although the grant award appears attractive for the short term from a monetary and cost-savings perspective, the implication of increasing and maintaining operational (first-responder) staffing for a period of two years during ongoing negotiations with the Fire union goes against the City's proposal to restore management rights and responsibilities with management and, further, to eliminate minimum manning and related manning clauses from the collective bargaining agreement. Said differently,

it is essential and vital that the City address the immediate concern that the Fire department's current structure is financially unsustainable. Inherently, the challenge at hand is to propose an organizational structure that provides the required fire and emergency services. It would be imprudent to delay any efforts to address minimum staffing and overstaffing practices that are codified in the current collective bargaining agreement. I believe the City can achieve economic benefits well beyond the grant award for the long term, provided that we stay the course we have started.

It is my opinion that the City of Watertown's Fire Department has sufficient operational staffing to protect our community from fire and fire related hazards and to fulfill traditional missions. It is fact that the implementation of staffing is severely restricted by several clauses in the City's collective bargaining and subsequent settlement agreements with the Watertown Professional Firefighters' Association, Local 191. Adding two additional firefighters via the grant award will not resolve the root problem of efficiently staffing operations. Conversely, accepting the grant contradicts the City's position in negotiations, with one condition of accepting the grant being that we cannot reduce staffing levels for two years. I do not take lightly the forfeiture of almost \$300,000. Given the long-term ramifications of approving a grant which directly contradicts our bargaining goals, I am left with no choice but to recommend that we do not pursue this grant.

It is my recommendation that the City Council decline acceptance of the SAFER grant award and continue its efforts to negotiate, in good faith, an agreement that allows the Fire Chief the flexibility to staff the City's Fire response to emergency situations.



Michael J. Sligar
Superintendent

Julie Bailey
Principal Account Clerk

Water Department **City of Watertown, New York**

Municipal Building, Suite 202
245 Washington Street
Watertown, New York 13601

Phone: (315) 785-7757
Fax: (315) 785-7738
Email: msligar@watertown-ny.gov

Aaron T. Harvill
Chief Plant Operator
Water Treatment

R. Mark Crandall
Chief Plant Operator
Wastewater Trmt

Kevin Patchen
Supervisor
Water Distribution

Date: July 30, 2015
To: Sharon Addison, City Manager
From: Michael J. Sligar, Superintendent of Water
Subject: **Town of Pamela Water District No. 11**

Both the City and the Town of Pamela have approved the final language of the agreement between the City and the Town for the supply of water to the district. The agreement is predicated upon a closed loop system of delivery, connecting outer Bradley Street (NYS Route 12) and Outer West Main (NYS Route 12E). The agreement stipulates that the first "tenant" may be developed prior to the second connection (thus completing the loop), but the completion of the loop must precede all subsequent site developments.

The Developer (Purcell Construction Corporation) at no fault of its own has encountered difficulties and is proposing an alternative to the above (see attached letter from Purcell Construction dated July 27, 2015). The owner of the Trailer Park, that is, the property separating the Purcell development from NYS Route 12E, is not interested in participating in the installation of the necessary components of the water line to complete the second connection of the loop at NYS Route 12E.

Purcell Construction Corporation proposes as an alternative the completion of a loop by connecting the project's water main to the Superior Street water main immediately south of the development. The Project Site Plan also attached indicates the alternative via an orange marker. The original plan was to run the water main (indicated by a black line shown on the site plan) in an east/west alignment traversing the Purcell Parcel at its approximate centerline. Purcell Construction also indicates that it will preserve the ability for the owner of the Trailer Park to ultimately connect to the Purcell infrastructure at some future date should the owner change his current position in the matter. The alternative does achieve the goals of both the recirculation of fresher water and the safety feature of a two point feed source to the development. And while enabling the ultimate completion of the hoped for plan, it does not at this time address the "dead end" nature of the West Main extension.

With consent of the City Council, the wording in the agreement can be modified to enable the above as an alternative to the currently agreed upon proposal. Given all the above, this is my recommendation.

July 27, 2015

City of Watertown
Water Department
245 Washington St.
Watertown, New York, 13601

Attn: Mr. Michael J. Sligar

Dear Mr. Sligar,

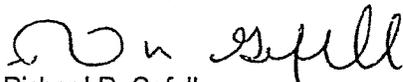
Thank you very much for taking the time this morning to discuss the issues that we are having with the water service to our Bradley St. Commerce Park.

We have received a copy of the Water Service Agreement that has been proposed for the Town of Pamaelia Water District No. 11 that will serve our development. The language in this agreement will allow only one connection to the system. No additional connections will be permitted until the complete loop has been installed and connected to a point on West Main St. The line would pass through an existing trailer park property prior to the connection point on West Main. As we discussed, the owner of the trailer park is not interested in participating in the installation of this line.

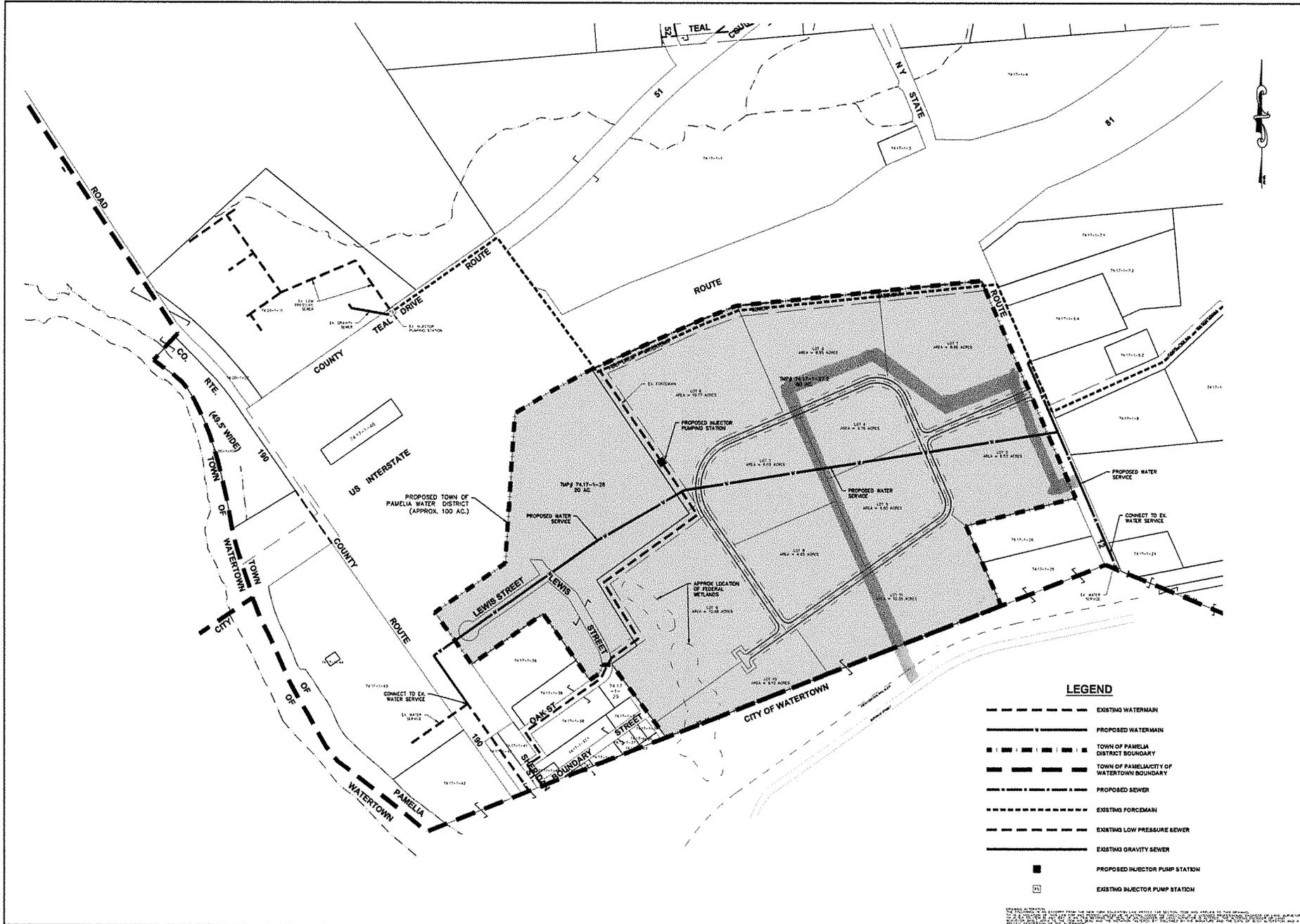
As a result of the trailer parks lack of interest in this water line we propose the following:

- Purcell Construction will install a loop through our development and make a second connection point to the exiting line on Superior St.
- Purcell Construction will provide a connection point at a location where the line could be extended to the West Main St. connection point at some time in the future.
- Purcell Construction would agree to any necessary easements for the extension of the water line to the adjoining property line.

Thank you very much.



Richard R. Gefell
Project Manager/Business Development



<p>Project Title: TOWN OF PAMELIA SEWER DISTRICT #9</p> <p>Project Location: JEFFERSON CO. NEW YORK</p> <p>Project Description: DISTRICT MAP</p>	<p>Drawn By: AS</p> <p>Checked By: ME</p> <p>Date: 8/2007</p> <p>Scale: AS SHOWN</p> <p>Notes: Revisions and Descriptions:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISIONS AND DESCRIPTIONS</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	REVISIONS AND DESCRIPTIONS	BY	DATE				
NO.	REVISIONS AND DESCRIPTIONS	BY	DATE						
<p>MRB group</p> <p>Engineering, Architecture, Surveying, P.C.</p> <p>The Colburn Building, 100 West 11th Street, New York, New York 10011-4209, Tel: 212-693-2000</p> <p>110 West 11th Street, 11th Floor, New York, New York 10011-4209, Tel: 212-693-2000</p> <p>www.mrbgroup.com</p>									
<p>Sheet No. FIG. 2</p> <p>Project No. 1608.14001</p>									



**CITY OF WATERTOWN, NEW YORK
BUREAU OF CODE ENFORCEMENT**

Suite 105, City Hall
245 Washington Street
Watertown, New York 13601-3380

Telephone (315) 785-7735
Facsimile (315) 785-7854

MEMORANDUM

DATE: July 22, 2015

TO: Justin Wood, City Engineer
Sharon Addison, City Manager
James Mills, City Comptroller

FROM: Shawn McWayne, Code Enforcement Supervisor 

SUBJECT: City Owned Properties

We have completed the inspection of the properties located as follows:

125 Casey Street

The South foundation wall has deteriorated to the point a portion of it has collapsed. The roof system has also begun to fail. There is mold throughout the structure and it appears from the smell the entire structure has been used as a large litter box. The cost to rehabilitate the structure in this condition and location outweighs any value this area can support. If the structure is removed the lot is large enough to house a single family home.

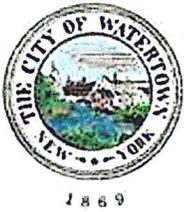
521 Jefferson Street

The property is in decent shape and could be rehabilitated. Unfortunately, it is located in a substandard lot, 38x42, with no off street parking and located very close to neighboring structure.

602 Lansing Street

This property is also in decent shape but again built on a substandard lot, 47x72, and located very close to the neighboring structure.

In summary, I would recommend the demolition of 125 Casey Street due to the condition and the probable cost to rehabilitate. This lot could then be considered for in-fill through Neighbors of Watertown or a Habitat type program. The other two (2) properties that are located on substandard lots could be sold.



Property Description Report For: 125 Casey St, Municipality of City of Watertown



Status:	Active
Roll Section:	Taxable
Swis:	221800
Tax Map ID #:	9-14-122.000
Account #:	03017560
Property Class:	210 - 1 Family Res
Site:	RES 1
In Ag. District:	No
Site Property Class:	210 - 1 Family Res
Zoning Code:	RB - Residential B
Neighborhood Code:	00435
School District:	Watertown
Total Assessment:	2015 - \$30,800 2014 - \$30,800
Legal Property Desc:	99x99 914122
Deed Page:	10126
Grid North:	1449421

Total Acreage/Size:	99 x 99
Land Assessment:	2015 - \$10,900 2014 - \$10,900
Full Market Value:	2015 - \$35,000 2014 - \$35,000
Equalization Rate:	2015 - N/A 2014 - N/A
Deed Book:	2015
Grid East:	990549

Area

Living Area:	918 sq. ft.	First Story Area:	736 sq. ft.
Second Story Area:	0 sq. ft.	Half Story Area:	182 sq. ft.
Additional Story Area:	0 sq. ft.	3/4 Story Area:	0 sq. ft.
Finished Basement:	0 sq. ft.	Number of Stories:	1.5

Structure

Building Style:	Old style	Bathrooms (Full - Half):	1 - 0
Bedrooms:	3	Kitchens:	1
Fireplaces:	0	Basement Type:	Partial
Porch Type:	Porch-enclsd	Porch Area:	60.00
Basement Garage Cap:	0	Attached Garage Cap:	0.00 sq. ft.
Overall Condition:	Fair	Overall Grade:	Average
Year Built:	1900		

Owners

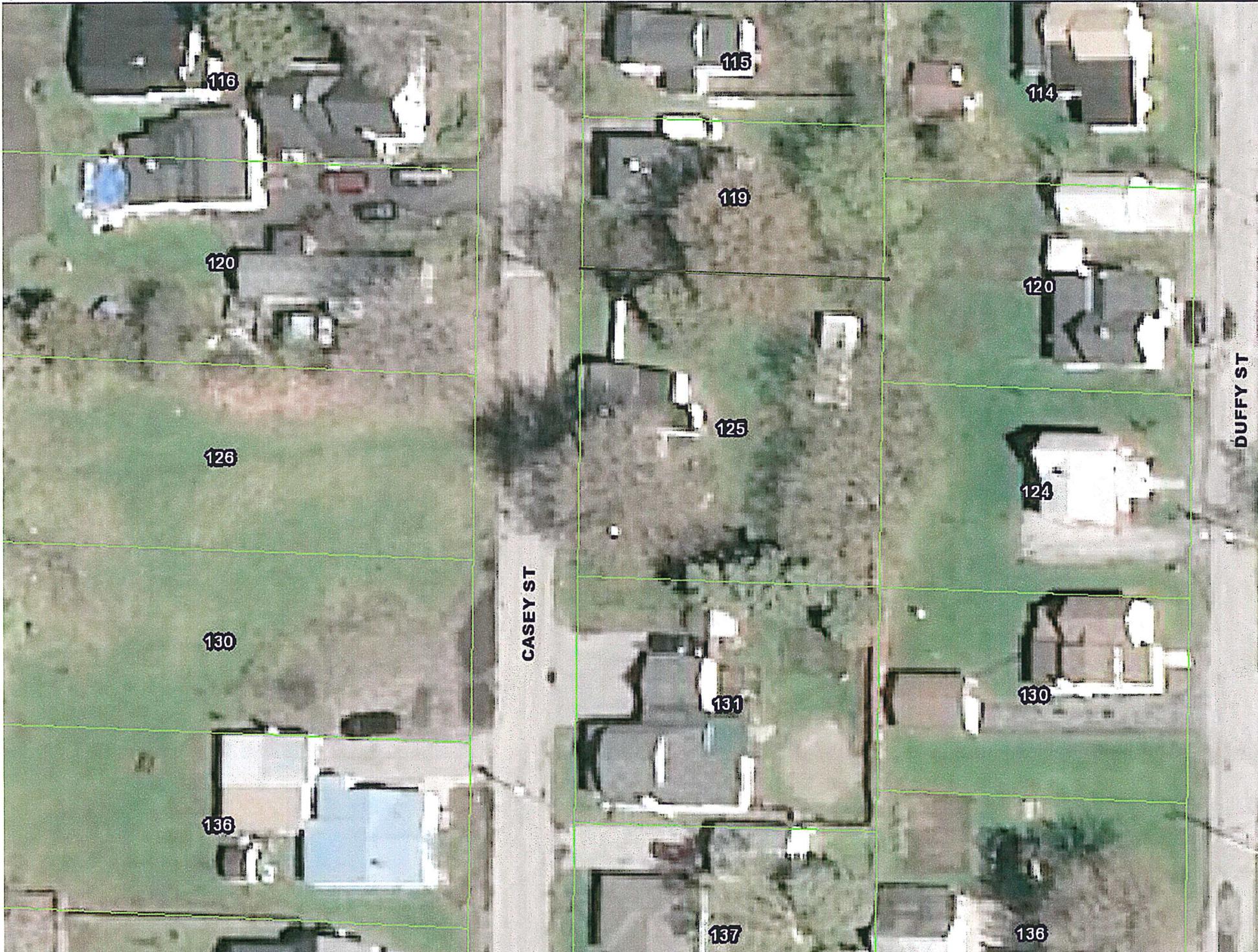
City of Watertown
245 Washington St
Watertown NY 13601

Sales

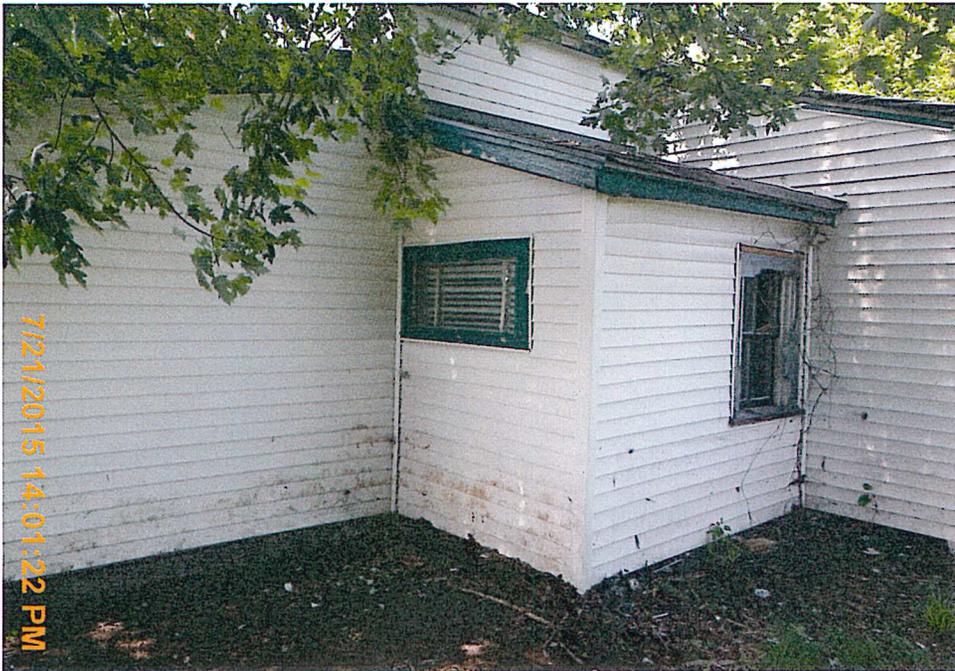
Sale Date	Price	Property Class	Sale Type	Prior Owner	Value Usable	Arms Length	Add. Parcels	Deed Book and Page
6/26/2015	\$996	210 - 1 Family Res	Land & Building	Harten, Brian C	No	No	No	2015/10126
6/19/1996	\$32,000	210 - 1 Family Res	Land & Building	Crump, Charles	No	Yes	No	1514/9
2/1/1994	\$13,000	210 - 1 Family Res	Land & Building	Crump, Charles	Yes	Yes	No	1380/350

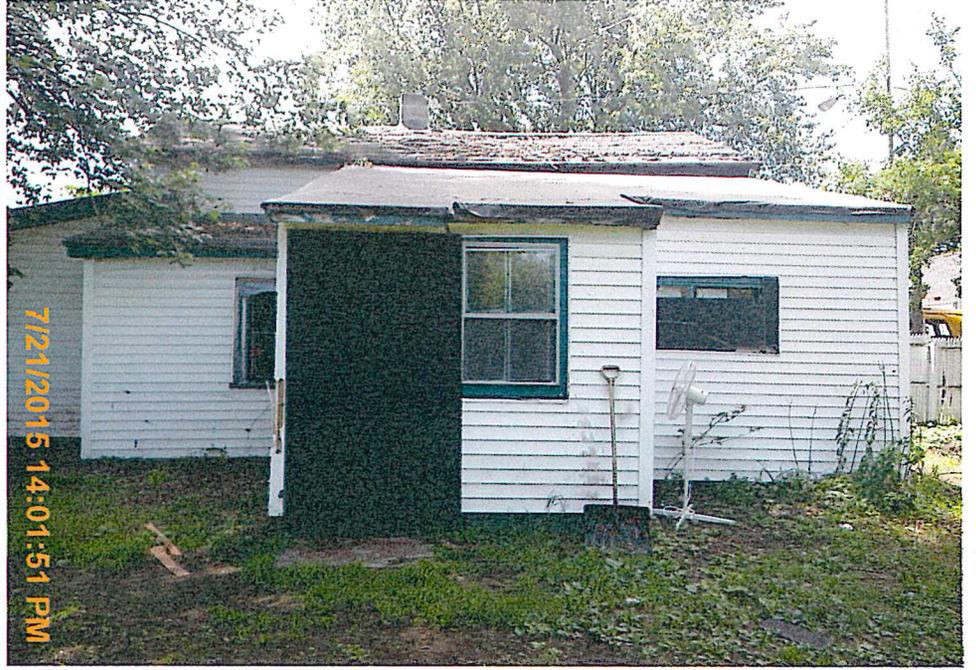
Utilities

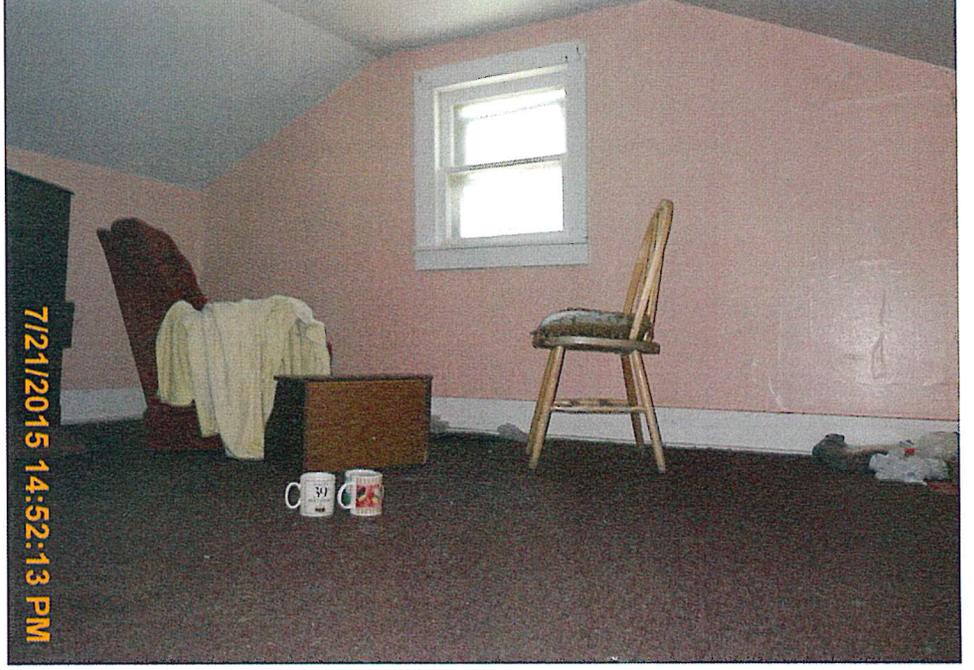
Sewer Type:	Comm/public	Water Supply:	Comm/public
Utilities:	Gas & elec	Heat Type:	Hot air
Fuel Type:	Natural Gas	Central Air:	No

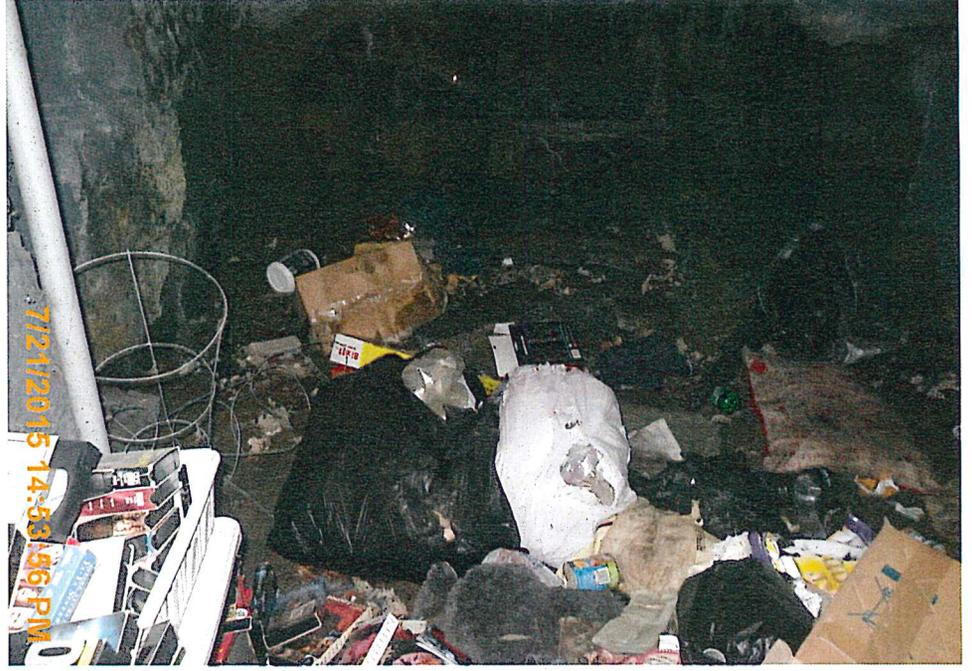


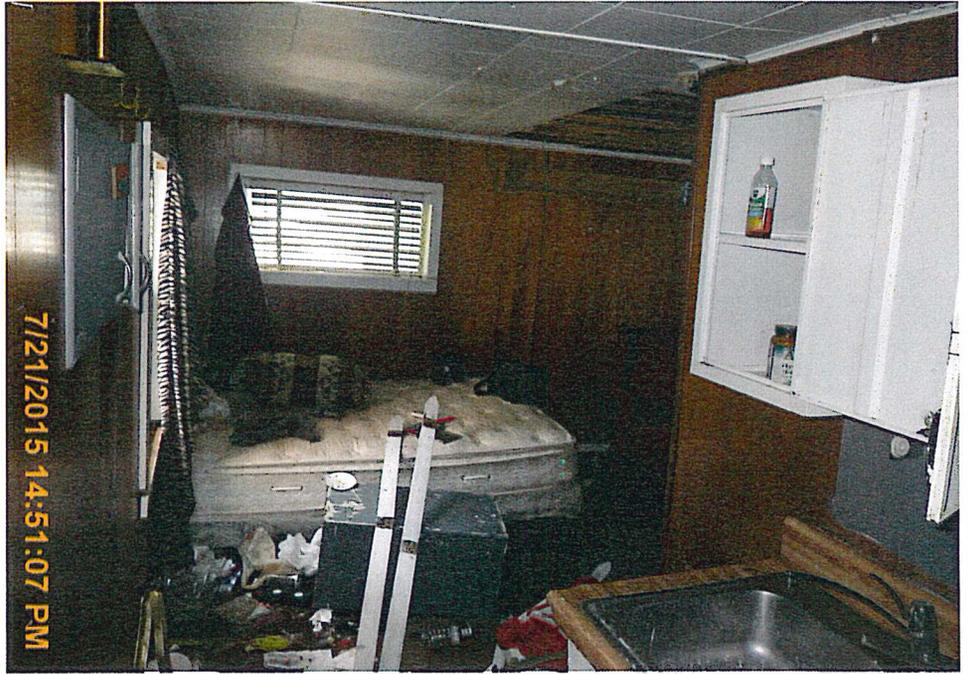
125 Cassey St.

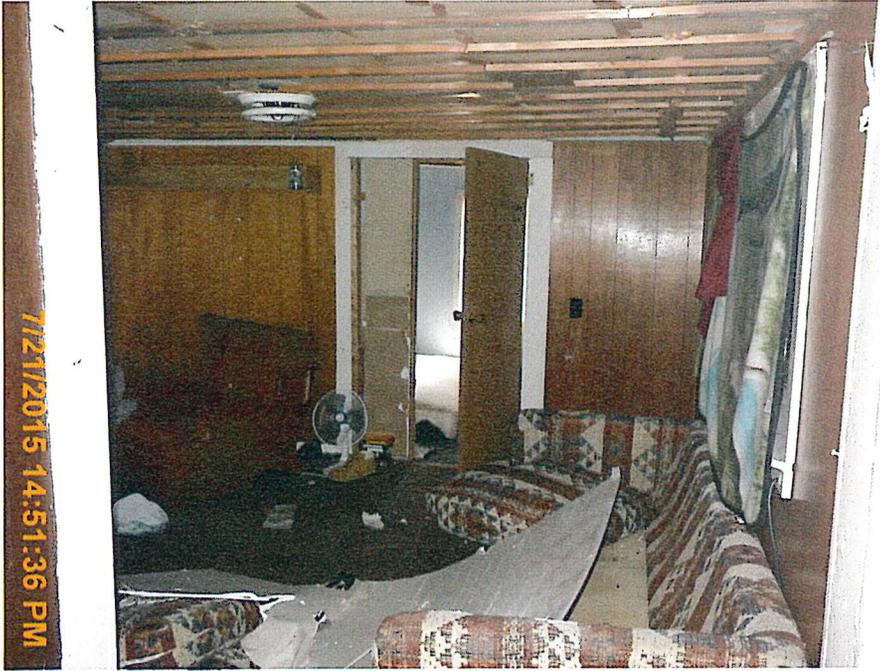












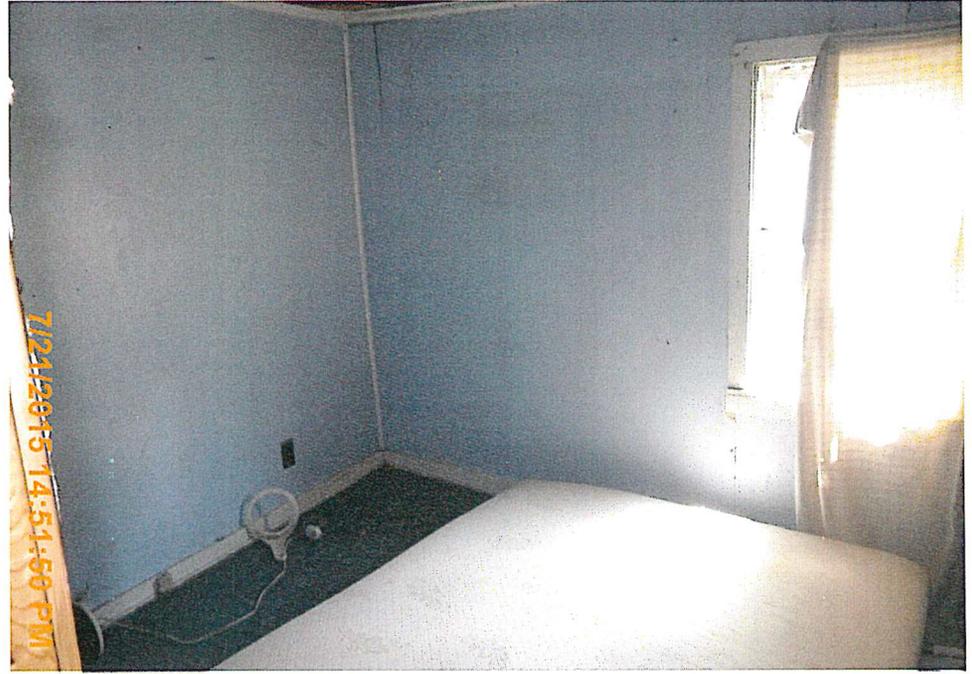
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7/21/2015 14:54:50 PM



Property Description Report For: 521 Jefferson St, Municipality of City of Watertown



Total Acreage/Size: 38 x 42
Land Assessment: 2015 - \$3,500
 2014 - \$3,500
Full Market Value: 2015 - \$43,864
 2014 - \$43,864
Equalization Rate: 2015 - N/A
 2014 - N/A
Deed Book: 2015
Grid East: 999390

Status: Active
Roll Section: Taxable
Swis: 221800
Tax Map ID #: 6-04-210.000
Account #: 10060530
Property Class: 210 - 1 Family Res
Site: RES 1
In Ag. District: No
Site Property Class: 210 - 1 Family Res
Zoning Code: RC - Residential C
Neighborhood Code: 00708
School District: Watertown
Total Assessment: 2015 - \$38,600
 2014 - \$38,600
Legal Property Desc: 38x42 604210
Deed Page: 10125
Grid North: 1449579

Area

Living Area: 1,304 sq. ft.
Second Story Area: 0 sq. ft.
Additional Story Area: 0 sq. ft.
Finished Basement: 0 sq. ft.
First Story Area: 783 sq. ft.
Half Story Area: 132 sq. ft.
3/4 Story Area: 389 sq. ft.
Number of Stories: 1.7

Structure

Building Style: Old style
Bedrooms: 3
Fireplaces: 0
Porch Type: Porch-enclsd
Basement Garage Cap: 0
Overall Condition: Normal
Year Built: 1900
Bathrooms (Full - Half): 1 - 0
Kitchens: 1
Basement Type: Full
Porch Area: 108.00
Attached Garage Cap: 0.00 sq. ft.
Overall Grade: Economy

Owners

City of Watertown
 245 Washington St
 Watertown NY 13601

Sales

Sale Date	Price	Property Class	Sale Type	Prior Owner	Value Usable	Arms Length	Add. Parcels	Deed Book and Page
6/26/2015	\$177	210 - 1 Family Res	Land & Building	Kiblin, Justin	No	No	No	2015/10125
2/11/2015	\$0	210 - 1 Family Res	Land & Building	Kiblin, Justin	No	No	No	2015/1926
12/30/2014	\$0	210 - 1 Family Res	Land & Building	Gowing, Francis R	No	No	No	2014/18440

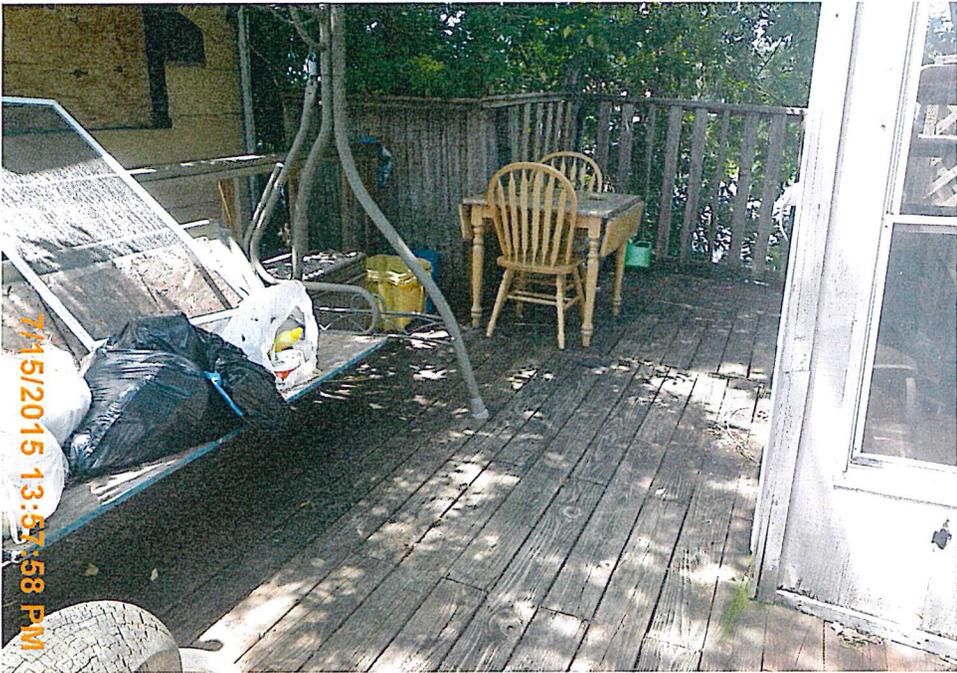
Utilities

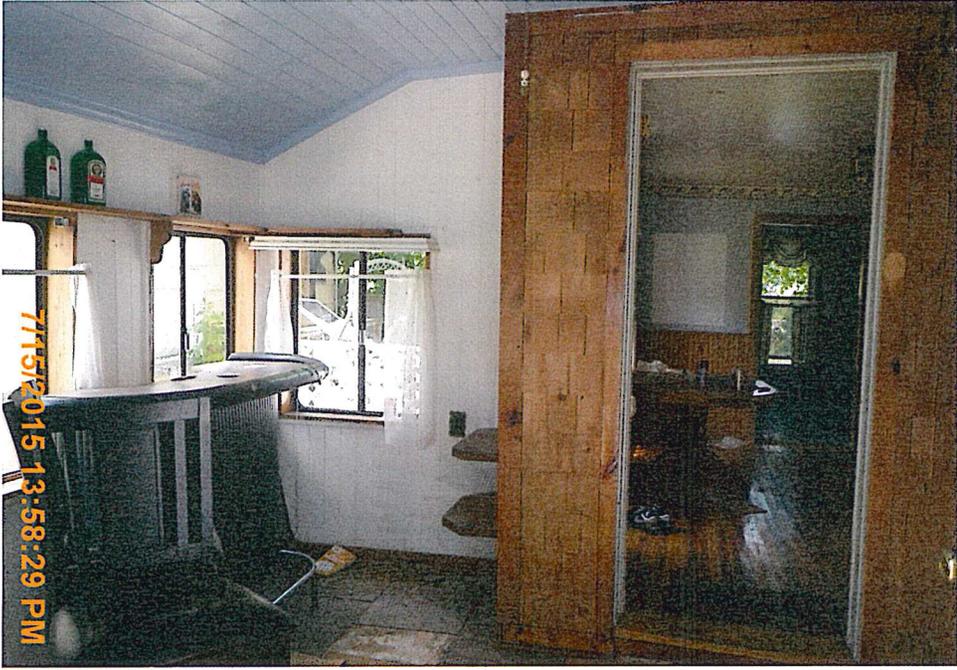
Sewer Type:	Comm/public	Water Supply:	Comm/public
Utilities:	Gas & elec	Heat Type:	Hot air
Fuel Type:	Natural Gas	Central Air:	No



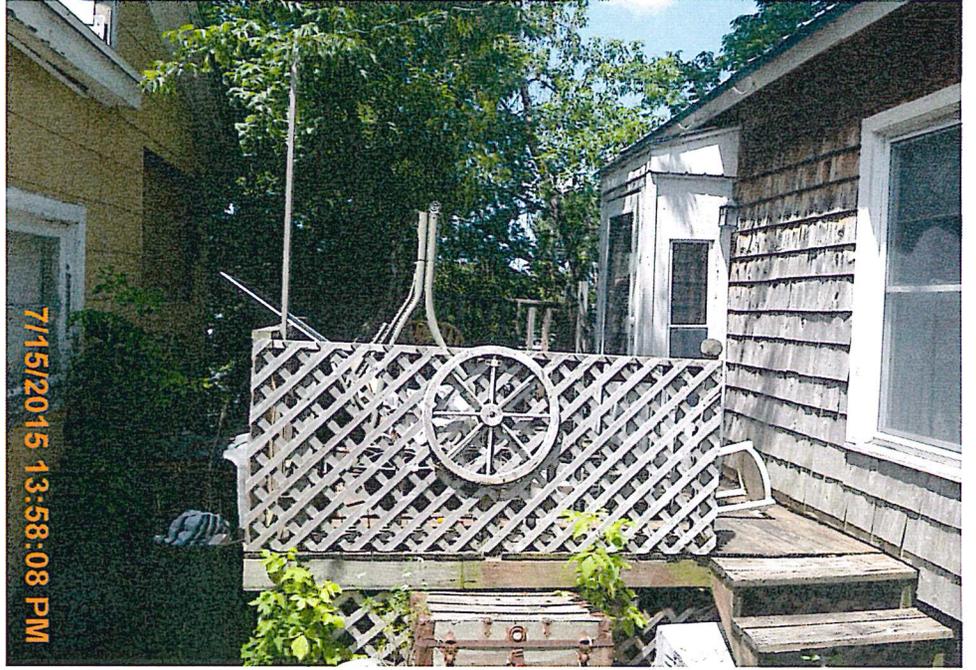
521 Jefferson St







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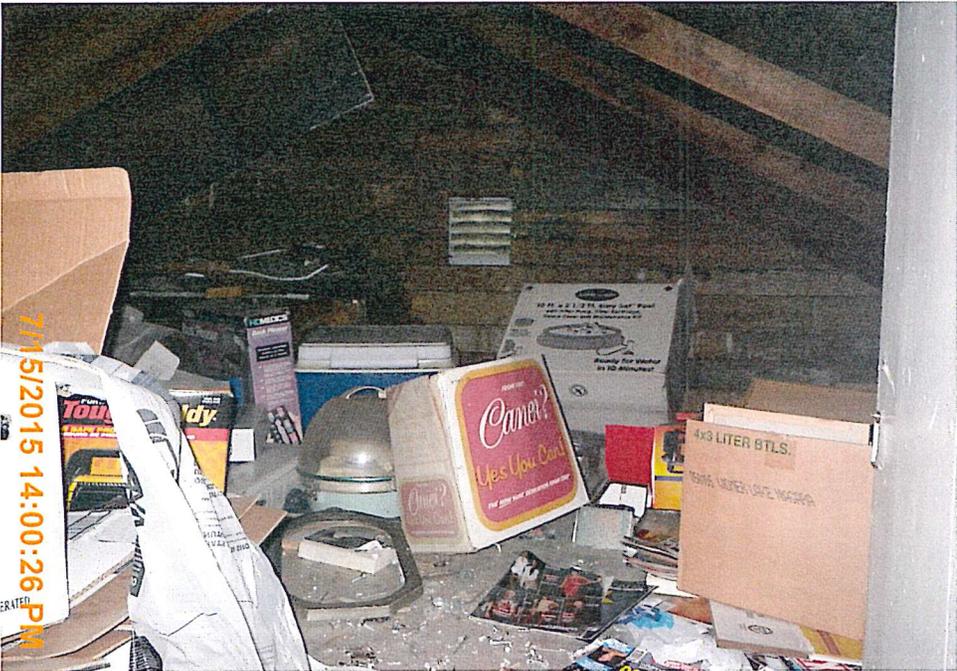


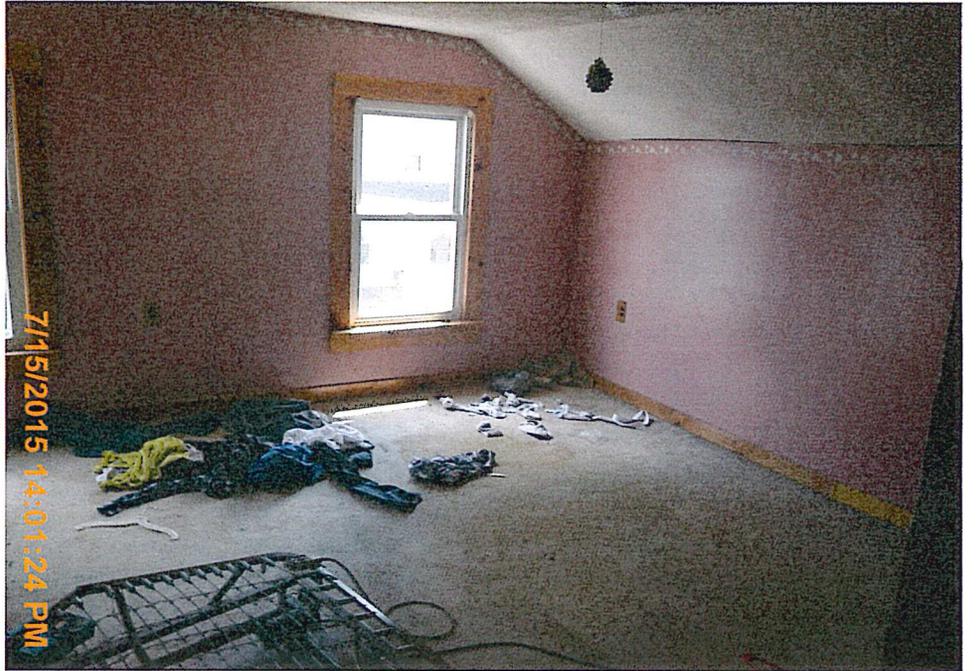
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July 20, 2015

To: The Honorable Mayor and City Council
From: James E. Mills, City Comptroller
Subject: Property tax cap for FY 2016-17

The Office of the State Comptroller released the attached two reports regarding the property tax cap. Municipalities with calendar year budgets will be faced with the allowable tax levy growth factor component of the property tax cap calculation being set at 0.73 percent. The allowable tax levy growth factor used is the lesser of two percent or CPI. A local law must be passed to override the tax cap.

Although this is not the percentage the City will use for the tax cap imposed on the FY 2016-17 budget, it is certainly something to be aware of as we start FY 2015-16.

New York State Office of the State Comptroller

Thomas P. DiNapoli • State Comptroller



Property Tax Cap

Inflation and Allowable Levy Growth Factors

Inflation Factors and Allowable Levy Growth Factors by Fiscal Year										
Fiscal Year	Fiscal Years Beginning									
	2012		2013		2014		2015		2016	
	Inflation Factor	Allowable Levy Growth Factor	Inflation Factor	Allowable Levy Growth Factor	Inflation Factor	Allowable Levy Growth Factor	Inflation Factor	Allowable Levy Growth Factor	Inflation Factor	Allowable Levy Growth Factor
Jan 1 - Dec 31	2.01%	1.0200	2.93%	1.0200	1.66%	1.0166	1.56%	1.0156	0.73%	1.0073
Mar 1 - Feb 28	2.43%	1.0200	2.57%	1.0200	1.70%	1.0170	1.58%	1.0158		
Apr 1 - Mar 31	2.65%	1.0200	2.42%	1.0200	1.63%	1.0163	1.62%	1.0162		
Jun 1 - May 31	3.04%	1.0200	2.17%	1.0200	1.48%	1.0148	1.68%	1.0168		
Jul 1 - Jun 30	3.16%	1.0200	2.07%	1.0200	1.46%	1.0146	1.62%	1.0162		
Aug 1 - Jul 31	3.26%	1.0200	1.96%	1.0196	1.46%	1.0146	1.48%	1.0148		
Oct 1 - Sep 30	3.32%	1.0200	1.79%	1.0179	1.40%	1.0140	1.25%	1.0125		

As defined in law, the allowable levy growth factor is the lesser of one plus the inflation factor or one and two-one-hundredths of a percent. Since July 31, 2013 the inflation factor has been less than 2 percent, therefore the allowable levy growth factor has been equal to one plus the inflation factor.



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Local Government Snapshot



NEW YORK STATE OFFICE OF THE STATE COMPTROLLER

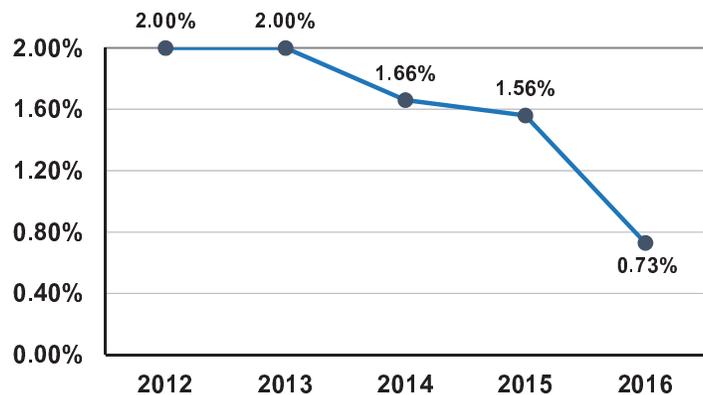
Thomas P. DiNapoli • State Comptroller

July 2015

Tax Cap Tightens As Inflation Drops: Local Governments Will Need to Prepare for Little or No Levy Growth

- Generally, the State's property tax cap law limits local government and school district levy growth to the lesser of 2 percent or the rate of inflation.¹ Since 2014, these entities have been dealing with the stark reality of a "less than 2 percent" scenario. Now, they face a "significantly less than 2 percent" scenario.
- Based on the newly released Consumer Price Index (CPI) data, the downward trend in inflation means that local governments operating on a December 31 fiscal year end will see the inflation factor decrease to 0.73 percent, thereby causing a significant reduction over prior years in an important component of their tax cap calculation (the allowable levy growth factor).
- Although the allowable levy growth factor represents only one component of the complex, multi-step calculation of the tax cap, it's an important one. In fact, OSC estimates that these calendar year local governments will have roughly \$88.3 million less in available tax levy growth compared to what they had in 2015 when the factor was 1.56 percent, and \$135.1 million less than they would have had when the factor was at 2 percent as it was in 2012 and 2013.

Allowable Levy Growth for Local Governments with Fiscal Years Ending 12/31



Estimated Reduction in Allowable Levy Limit (\$ Millions)

Local Governments with 12/31 Fiscal Year End

Cities (44 of 61)	\$5.9
Counties	\$44.9
Fire Districts	\$6.0
Towns	\$31.1
Villages (10 of 552)	\$0.3
Total (12/31 FYE)	\$88.3

Note: The estimate was generated by applying the 2016 inflation factor of 0.73% to the 2015 data filed by local governments that operate on a calendar year fiscal year. We re-calculated the tax levy limit using the lower 2016 allowable levy growth factor and subtracted this amount from the 2015 tax levy limit (which was based on a 1.56% growth factor). The difference represents the levy impact of the lower allowable levy growth factor.

Local Government Snapshot

- If these trends continue, it is possible that some local governments with fiscal years beginning later in 2016 could even be faced with zero allowable levy growth.
- For example, in school districts (which have fiscal years beginning July 1), the impact of a more restrictive allowable levy growth factor on the tax levy could range from a loss of \$182.7 million, assuming an inflation factor of 0.73 percent similar to calendar year local governments, to a loss of \$332.6 million, assuming an inflation factor of zero. These potential losses reflect comparisons to 2015-16, when the factor was at 1.62 percent.²
- The “Big Four Cities” of Buffalo, Rochester, Syracuse and Yonkers (all having fiscal years beginning July 1) face the possibility of losing from \$7.2 million to \$13.1 million as a result of the potential lower cap in 2016, while villages (most of which have fiscal years beginning June 1) could lose from \$12.6 to \$22.3 million.
- New policy developments at the State level, such as the Tax Freeze and the newly enacted Circuit Breaker program, mean that both local governments and school districts face added pressure to stay under the cap, since overriding the cap would render their taxpayers ineligible for these credits.³

¹ General Municipal Law Section 3-c, Education Law Section 2023-a.

² The allowable levy growth factor (ALGF) for school districts (and other localities with a June 30 fiscal year end) will be available in January 2016.

³ “Local governments can legally exceed the tax levy limit by passing a local law (counties, cities, towns and villages) or a resolution (fire districts and others) to override the cap. An override requires at least a 60 percent supermajority vote of the governing board in order to pass. School districts may seek an override of the tax levy limit as well, but this override requires approval from at least 60 percent of the voters.

New York State Office of the State Comptroller
Division of Local Government and School Accountability
110 State Street, 12th Floor • Albany, New York 12236



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Follow us on Twitter @nyscomptroller

July 29, 2015

To: The Honorable Mayor and City Council
From: Kenneth A. Mix, Planning & Community Development Coordinator
Subject: 158 Academy Street Demolition

The City Council discussed the disposition of 158 Academy Street on June 1, 2015. After considering the recommendation of the Code Enforcement Supervisor, it was the consensus of the Council to demolish the building.

The Council also discussed using Community Development Block Grant (CDBG) funds for the demolition. There is \$100,000 in Program Year 2014 available for demolition. While there seemed to be interest in using these funds, Council members had a couple of questions about the cost and black mold abatement. The Code Enforcement Supervisor obtained some estimates from contractors and the cost should be between \$60,000 and \$70,000. Unlike asbestos, there is no abatement protocol for black mold. It is taken care of by disposing the demolition debris in the landfill.

Regardless of the funding source, the demolition will have to be put out for competitive bid, because of its expected cost. State prevailing wage rates will apply, because it is city-owned property. Demolition that does not lead to construction is exempt from Federal wage rates.

If CDBG funds are used, then a Federal environmental review will have to be completed. That can be done concurrently with the bid specification preparation.

Staff is requesting final direction on the use of CDBG funds for the demolition of 158 Academy Street.