

**CITY OF WATERTOWN, NEW YORK
AGENDA**

This shall serve as notice that the next regularly scheduled meeting of the City Council will be held on Monday, May 20, 2013, at 7:00 p.m. in the City Council Chambers, 245 Washington Street, Watertown, New York.

MOMENT OF SILENCE

PLEDGE OF ALLEGIANCE

ROLL CALL

ADOPTION OF MINUTES

COMMUNICATIONS

PRIVILEGE OF THE FLOOR

RESOLUTIONS

- Resolution No. 1 - Approving Plan Document and Summary Plan Description; Vision and Dental City Employee Welfare Benefits Plan

- Resolution No. 2 - Approving the Site Plan for the Construction of an Approximately 90,000 Square Foot Dormitory on Various Parcels Located on the Jefferson Community College Campus, South of Rand Drive and East of Cannoneer Loop

- Resolution No. 3 - Approving the Site Plan for the Construction of a 3,384 Square Foot Convenience Store and Gas Station, Plus Parking Lot and Landscaping, at 508 Mill Street, Parcels 3-03-406 and 3-03-405

- Resolution No. 4- Approving the Site Plan Submitted by NY Air Brake for the Construction of a Loading Dock, Storage Area, and Associated Driveway at 748 Starbuck Avenue, Parcel 4-09-102

- Resolution No. 5 - Authorizing Application to the North Country Regional Economic Development Council Municipal Water and Waste Water Infrastructure Fund; 250,000 Gallon Water Storage Tank at Thompson Park

- Resolution No. 6 - Authorizing Application to the North Country Regional Economic Development Council Municipal Water and Waste Water Infrastructure Fund; Waste Water Treatment Plant Disinfection Facility
- Resolution No. 7 - Authorizing Application to the North Country Regional Economic Development Council Municipal Water and Waste Water Infrastructure Fund; Water Meter Replacement Program
- Resolution No. 8 - Accepting a Bid for the Flower Memorial Library Masonry Restoration and Fountain Construction Project from Raymond E. Kelley, Inc.
- Resolution No. 9 - Establishing Property Tax Rate for Fiscal Year 2013-14
- Resolution No. 10 - Approving 2013-14 Operating Budgets, City of Watertown, New York
- Resolution No. 11 - Approving 2013-14 through 2017-18 Capital Program Budget, City of Watertown, New York
- Resolution No. 12 - Amendment No. 89 to the Management and Management Confidential Pay Plan
- Resolution No. 13 - Request to Amend STREAM Parking Lot Lease Agreement

ORDINANCES

- Ordinance No. 1 - An Ordinance Amending the Ordinance Dated February 21, 2012, as Amended January 22, 2013, Authorizing the Issuance of \$460,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay Part of the \$750,000 Estimated Maximum Cost of the Design of a Disinfection System at the City's Wastewater Treatment Plant, to Increase the Amount of Bonds Authorized to \$485,000 and the Estimated Maximum Cost Thereof to \$775,000

LOCAL LAW

PUBLIC HEARING

- 7:30 p.m. 2013-14 Operating Budgets
- 7:30 p.m. 2013-14 through 2017-18 Capital Budget

OLD BUSINESS

Tabled - An Ordinance Amending the Ordinance Dated February 21, 2012, as Amended January 22, 2013, Authorizing the Issuance of \$460,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay Part of the \$750,000 Estimated Maximum Cost of the Design of a Disinfection System at the City's Wastewater Treatment Plant, to Increase the Estimated Maximum Cost Thereof to \$800,000

Tabled - Ordinance Amending the Code of the City of Watertown, §310-1, Definition of Family and §310-34, Accessory Uses in Residence Districts

STAFF REPORTS

1. Knowlton Technologies' Request for Parking Lease
2. Fee Proposals – Parks and Recreation Department
3. Sales Tax Revenue – April 2013
4. Quarterly Financial Report

NEW BUSINESS

EXECUTIVE SESSION

WORK SESSION

ADJOURNMENT

NEXT REGULARLY SCHEDULED CITY COUNCIL MEETING IS MONDAY, JUNE 3, 2013.

Res No. 1

May 14, 2013

To: The Honorable Mayor and City Council

From: Elliott B. Nelson, Confidential Assistant to the City Manager

Subject: City Employee Vision and Dental Insurance Plan

As Council is aware, the City of Watertown has recently elected to allow its employees to participate in a vision and dental insurance plan, which is available to all City employees at no cost to the City. Employee enrollment occurred in late-March, 2013 with approximately 180 individuals or family units electing to purchase coverage for a one-year period. This plan, provided through the Guardian Network and administered by Relph Benefit Advisors, became effective April 1, 2013.

Attached for Council's review and approval is the Plan Document and Summary Plan Description for the above-referenced vision and dental plan.

May 20, 2013

RESOLUTION

Page 1 of 1

Approving Plan Document and
Summary Plan Description;
Vision and Dental City Employee
Welfare Benefits Plan

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS the City of Watertown has elected to allow its employees to participate in a vision and dental insurance policy as an Employee Welfare Benefits Plan within the meaning of the ERISA, which benefit will be available to all City employees, and

WHEREAS such vision and dental insurance plan makes available both individual and family premium rates for employees and their dependents to participate in said Employee Welfare Benefits Plan, and

WHEREAS participating City of Watertown employees will pay 100% of all premiums and deductibles associated with this Employee Welfare Benefits Plan, with no additional costs borne by the City of Watertown, and

WHEREAS the City of Watertown will deduct said insurance premiums from participating employees' payroll and will otherwise serve as the plan's Administrator and Sponsor;

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby approves this Plan Document and Summary Plan Description, attached hereto and made part of this resolution, and

BE IT FURTHER RESOLVED that City Manager Sharon Addison is hereby authorized and directed to execute this Plan Document and Summary Plan Description on behalf of the City of Watertown.

Seconded by



City of Watertown

Plan Document & Summary Plan Description

Welfare Benefits Plan

Amended and Restated Effective April 1, 2013

The Plan Sponsor reserves the right to amend this Plan at any time or from time-to-time without the consent of any Employee or Participant. Although the Plan Sponsor expects to continue the Plan indefinitely, it is not legally bound to do so, and it reserves the right to terminate the Plan or any Plan feature or component at any time without liability.

City of Watertown — Welfare Benefits Plan

Plan Document & Summary Plan Description

Effective April 1, 2013.

This document, together with the provider contracts identified in Schedule A, and their respective policies, descriptions and other materials (either written or electronic), constitute the written plan and the summary plan description as required by Section 102 of the Employee Retirement Income Security Act of 1974 (ERISA) and U.S. Department of Labor Regulation Sections 2520.102-2 and 2520.102-3 for City of Watertown's Welfare Benefits Plan.

The policies, contracts or booklets for each underlying Plan feature govern the benefits to be provided and include more details on how the Plan features operate. If there is any conflict between this plan document and such policies, contracts or booklets, then such other documents will control. Participants and beneficiaries should not rely on any oral description of the Plan because the written terms of the Plan will always govern.

A. General Information about the Plan

This section contains general information that you may need to know about the Plan.

1. General Plan Information

The Plan Sponsor has assigned Plan Number 520 to the Plan.

Plan Feature	Plan No.	ERISA Plan Year End
Group Dental Benefits	520	March 31
Group Vision Benefits	520	March 31

2. Employer Information

The Plan Sponsor's name, address, and identification number are:

City of Watertown
245 Washington Street
Suite 203
Watertown, New York 13601
E.I.N.: 15-6000419

3. Plan Administrator Information

The Plan Administrator's name, address, and telephone number is:

City of Watertown
245 Washington Street
Suite 203
Watertown, New York 13601
Telephone: 315-785-7755

The Plan Administrator keeps the records for the Plan and is responsible for the administration of the Plan. The Plan Administrator will also answer any questions you may have about the Plan.

4. Service of Legal Process

The name and address of the Plan's agent for service of legal process is:

City of Watertown
245 Washington Street
Suite 203
Watertown, New York 13601

Service of legal process may also be made upon the Plan Administrator.

5. Type of Welfare Plan

The Plan is intended to be an "employee welfare benefit plan" within the meaning of ERISA Section 3(a).

6. Type of Administration

Benefits furnished under the Plan are administered by the providers/insurers from which benefits are purchased, in the case of insured benefits; by a Third Party Administrator in the case of self-insured benefits. The name and address of each provider/insurer, and/or third party administrator (as applicable), is set out in Schedule A. Unless otherwise indicated, all benefits furnished under the Plan are provided under the contracts of insurance identified in Schedule A, and the respective issuers identified therein provide all necessary administrative services.

7. Amendment and Termination

The Plan Sponsor reserves the right to amend any one or more of the underlying Plan features or component benefits of the Plan at any time without the consent of any Employee or Participant. Although the Plan Sponsor expects to continue the Plan indefinitely, it is not legally bound to do so, and it reserves the right to terminate the Plan or any Plan feature at any time without liability. Upon the termination of the Plan or Plan feature, as the case may be, all elections and reductions in compensation relating to the Plan or the applicable Plan feature will terminate.

B. Eligibility and Benefits

1. Eligibility Requirements

Each Plan feature has its own eligibility requirements that are set forth in the provider contracts or other plan documents identified in Schedule A, and their respective policies, descriptions, plan materials and participant communications.

To the extent that the Plan and/or a Plan feature's provider contracts and/or other plan documents refer to the eligibility of "employees," only individuals classified as "employees" by the Plan Sponsor are eligible to participate in such Plan feature. Independent contractors, freelancers and individuals hired through staffing firms shall not be eligible even if they are subsequently determined to be common law employees for any purpose, including without limitation, for wage, labor or tax purposes by the Internal Revenue Service, the Department of Labor or any other Federal or state agency, administrative body or court. Any such determination should have a prospective effect only.

Note: If you apply for or continue coverage for anyone who is not an eligible dependent, it may be considered fraud or intentional misrepresentation and your and your family's coverage may be rescinded to the extent permitted by law. You may also be subject to discipline up to and including termination of employment. In addition, if the Plan expends funds for coverage of ineligible individuals, you may be liable for premiums and all costs related to coverage for such individuals who are not eligible dependents.

2. Special Enrollment Rights

If you do not enroll yourself and your dependents in a group health plan after you become eligible or during annual enrollment, you may be able to enroll under the special enrollment rules under the Health Insurance Portability and Accountability Act of 1996 ("HIPAA") that apply when an individual initially declines coverage and later wishes to elect it.

Generally, special enrollment is available if:

- a) you initially declined coverage because you had other health care coverage that you have now lost through no fault of your own (for example, due to death, divorce, termination of employment or reduction in hours, or employer contributions to your other health care coverage terminate); or
- b) since declining coverage initially you have acquired a new dependent (through marriage or the birth or adoption of a child) and wish to cover that person; or
- c) cessation of dependent status (such as attaining the maximum age to be eligible as a dependent child under the plan); or
- d) loss of coverage because an individual no longer resides, lives or works in the service area (whether or not within the choice of the individual), and no other benefit package is available to the individual; or
- e) a situation in which an individual incurs a claim that would meet or exceed a lifetime limit on all benefits; or
- f) a situation in which a plan no longer offers any benefits to the class of similarly situated individuals.

When you have previously declined coverage, you must have given (in writing) the alternative coverage as your reason for waiving coverage when you declined to participate. In either case, as long as you meet the necessary requirements, you can enroll both yourself and all eligible dependents in the group health plan within 30 days after you lose your alternative coverage or the date of your marriage or the birth, adoption, or placement for adoption of your child. See the Plan Administrator for details about special enrollment: City of Watertown at 245 Washington Street Suite 203, Watertown NY 13601 or by calling 315-785-7755.

4. Plan Benefits

The Plan provides for (i) Group Dental Benefits, (ii) Group Vision Benefits; all as more fully described (and subject to the limitations contained) in the provider contracts and related materials referred to in Schedule A.

5. Loss of Benefits

As noted above, the Plan Sponsor reserves the right to change or eliminate any Plan feature under the Plan and may amend or terminate the Plan. Except in the case of certain health care continuation rights under Federal law, all benefits terminate when your active employment terminates or when you are no longer eligible or when the group insurance policy terminates, whichever occurs first.

6. Plan Costs

Each Participant pays the full cost of the Group Dental, and Group Vision Plans.

7. Emergency Services

No prior authorization for emergency services or higher cost-sharing for out of network emergency services can be requested and/or charged.

Responsibilities for Plan Administration

8. Plan Administrator

The Plan Administrator has (i) the power and authority in its sole, absolute and uncontrolled discretion to control and manage the operation and administration of the Plan and (ii) all powers necessary to accomplish these purposes.

The Plan Administrator will administer the Plan in accordance with established policies, interpretations, practices, and procedures and in accordance with the requirements of ERISA and other applicable laws. With respect to the Plan, the Plan Administrator has discretion (i) to interpret the terms of the Plan, (ii) to determine factual questions that arise in the course of administering the Plan, (iii) to adopt rules and regulations regarding the administration of the Plan, (iv) to determine the conditions under which benefits become payable under the Plan and (v) to make any other determinations that the Plan Administrator believes are necessary and advisable for the administration of

the Plan. Subject to any applicable claims procedure, any determination made by the Plan Administrator will be final, conclusive and binding on all parties. The Plan Administrator may delegate all or any portion of its authority to any person or entity.

Despite any plan provision to the contrary, the policies, contracts or booklets for each underlying plan feature govern the benefits to be provided, and the insurers (as applicable) for each plan feature are responsible for making benefit determinations under each such plan feature, not the plan administrator. If there is any conflict between this plan document and such policies, contracts or booklets, then such other documents will control.

9. Duties of the Plan Administrator

The Plan Administrator will (i) administer the Plan in accordance with its terms, (ii) decide disputes which may arise relative to a Plan Participant's rights, (iii) keep and maintain the Plan documents and all other records pertaining to the Plan, (iv) pay or arrange for the payment of claims, (v) with respect to each group health plan covered under the Plan, establish and communicate procedures to determine whether a medical child support order is qualified under Section 609 of ERISA, and (vi) perform all necessary reporting as required by ERISA.

10. Plan Administrator Compensation

While the Plan Administrator serves without compensation, all expenses for administration, including compensation for hired services, will be paid by the Plan unless paid by the Plan Sponsor.

11. Fiduciary Duties

A fiduciary must carry out his or her duties and responsibilities for the purpose of providing benefits to the Employees and their dependents and defraying reasonable expenses of plan administration. These duties must be carried out with care, skill, prudence and diligence under the given circumstances that a prudent person, acting in a like capacity and familiar with such matters, would use in a similar situation and in accordance with Plan documents to the extent that they are consistent with ERISA.

12. Named Fiduciary

The Plan Administrator is a "named fiduciary" with respect to the Plan. A named fiduciary can appoint others to carry out fiduciary responsibilities (other than as a trustee) under the Plan. These other persons become fiduciaries themselves and are responsible for their acts under the Plan. To the extent that the named fiduciary allocates its responsibility to other persons, the named fiduciary will not be liable for any act or omission of such person unless either (i) the named fiduciary has violated its duties under ERISA in appointing the fiduciary, establishing the procedures to appoint the fiduciary or continuing either the appointment or the procedures or (ii) the named fiduciary breached its fiduciary responsibility under ERISA Section 405(a).

C. Certificate of Coverage under a Group Health Plan

Certificates of coverage are written documents provided by a group health plan (or another source that offers health care coverage) to show the type of health care coverage a person had (e.g., employee only, employee plus spouse, etc.) and how long the coverage lasted. Under Federal law, most group health plans must provide these certificates automatically when a person's coverage terminates. If you do not receive a certificate, however, you have the right to request one from the Plan Administrator at City of Watertown at 245 Washington Street Suite 203, Watertown NY 13601 or by calling 315-785-7755. Certificates apply to both participants and dependents. The primary purpose of the certificates is to show the amount of "Creditable Coverage" that you had under a group health plan or other health insurance coverage because this can reduce or eliminate the length of time that any preexisting condition clause in a new plan otherwise might apply to you. Each group health plan covered under this Plan that is required by law to provide certificates of coverage will automatically provide you a certificate after you lose coverage (whether regular coverage or COBRA continuation coverage) and will make reasonable efforts to provide on the certificate the names of your dependents who were also covered. Each applicable group health plan will provide automatic certificates for your dependents when it has reason to know that they are no longer covered. In addition, each applicable group health plan will provide a certificate for you (or your dependents) upon request if you make the request within 24 months after your coverage terminates. The Plan Administrator can give you forms to make such a request. Contact the Plan Administrator at City of 245 Washington Street Suite 203, Watertown NY 13601 or by calling 315-785-7755 for information.

D. Uniformed Services Reemployment Rights

Your right to continued participation in a group health plan during leaves of absence for active military duty is protected by the Uniformed Services Employment and Reemployment Rights Act (USERRA). Accordingly, if you are absent from work due to a period of active duty in the military for less than 31 days, your plan participation will not be interrupted. If the absence is for more than 31 days and not more than 12 weeks, you may continue to maintain your coverage under a group health plan by paying premiums in the manner specified by the Plan Sponsor.

If you do not elect to continue to participate in a group health plan during an absence for military duty that is more than 31 days, or if you revoke a prior election to continue to participate for up to 12 weeks after your military leave began, you and your covered family members will have the opportunity to elect continuation coverage under a group health plan for up to the 24-month period that begins on the first day of your leave of absence. You must pay the premiums for continuation coverage with after-tax funds, subject to the rules that are set out in the applicable Plan features.

USERRA continuation coverage is considered alternative coverage for purposes of COBRA. Therefore, if you elect USERRA continuation coverage, COBRA coverage will generally not be available.

E. Family Medical Leave Act ("FMLA")

If you take a leave of absence (i) for your own serious health condition, (ii) to care for family members with a serious health condition, (iii) to care for a newborn or adopted child, (iv) to care for an injured or ill covered service member of the Armed Forces or (v) due to a qualifying exigency arising out of a covered service member's active duty, you may be able to continue your health coverage under the Plan. If you drop your health coverage during the leave, you can also have your health coverage reinstated on the date you return to work assuming you pay any contributions required for the coverage. See the Plan Administrator for more information about your FMLA rights.

F. COBRA

1. Introduction

The right to COBRA continuation coverage was created by a Federal law, the Consolidated Omnibus Budget Reconciliation Act of 1985 (COBRA). COBRA continuation coverage can become available to you and to other members of your family who are covered under the Plan when you would otherwise lose your group health coverage. The following generally explains COBRA continuation coverage, when it may become available to you and your family, and what you need to do to protect the right to receive it. This notice gives only a summary of your COBRA continuation coverage rights. For more information about your COBRA rights and obligations under the Plan and under Federal law, you should ask the Plan Administrator.

The Plan Administrator is responsible for administering COBRA continuation coverage.

2. COBRA Continuation Coverage

COBRA continuation coverage is a continuation of group health plan coverage when coverage would otherwise end because of a life event known as a "qualifying event." Specific qualifying events are listed later. COBRA continuation coverage must be offered to each person who is a "qualified beneficiary." A qualified beneficiary is someone who will lose coverage under the Plan because of a qualifying event. Depending on the type of qualifying event, employees, spouses of employees, and dependent children of employees may be qualified beneficiaries. Domestic partners and same-sex spouses, however, are not considered "qualified beneficiaries" under COBRA. Under the group health plan, qualified beneficiaries who elect COBRA continuation coverage must pay for COBRA continuation coverage.

If you are an employee, you will become a qualified beneficiary if you will lose your coverage under the group health plan because either one of the following qualifying events happens:

- Your hours of employment are reduced; or
- Your employment ends for any reason other than your gross misconduct.

If you are the spouse of an employee, you will become a qualified beneficiary if you will lose your coverage under the group health plan because any of the following qualifying events happens:

- Your spouse dies;
- Your spouse's hours of employment are reduced;
- Your spouse's employment ends for any reason other than his or her gross misconduct;
- Your spouse becomes entitled to Medicare (Part A, Part B, or both); or
- You become divorced or legally separated from your spouse.

Your dependent children will become qualified beneficiaries if they will lose coverage under the group health plan because any of the following qualifying events happens:

- The parent-employee dies;
- The parent-employee's hours of employment are reduced;
- The parent-employee's employment ends for any reason other than his or her gross misconduct;
- The parent-employee becomes entitled to Medicare (Part A, Part B, or both);
- The parents become divorced or legally separated; or
- The child stops being eligible for coverage under the plan as a "dependent child."

The group health plan will offer COBRA continuation coverage to qualified beneficiaries only after the Plan Administrator has been notified that a qualifying event has occurred. When the qualifying event is the end of employment or reduction of hours of employment, death of the employee, or entitlement of the employee to Medicare (Part A, Part B, or both), the Plan Sponsor must notify the Plan Administrator of the qualifying event within 30 days of the date the event occurs or the date you would otherwise lose coverage under group health plan due to a qualifying event, whichever is later.

For the other qualifying events (divorce or legal separation of the employee and spouse or a dependent child's losing eligibility for coverage as a dependent child), you must notify the Plan Administrator. The group health plan requires you to notify the Plan Administrator within 60 days after the qualifying event occurs or the date you would otherwise lose coverage under group health plan due to a qualifying event, whichever is later. You must send this notice to the Plan Administrator in accordance with the procedures set forth below under "Furnishing Notice to Plan Administrator."

Within 14 days of the Plan Administrator receiving notice (in accordance with the procedures set forth below under "Furnishing Notice to Plan Administrator") that a qualifying event has occurred, the Plan Administrator will send out an election notice, offering COBRA continuation coverage to each of the qualified beneficiaries. For each qualified beneficiary who elects COBRA continuation coverage, COBRA continuation coverage will begin on the date that group health plan coverage would otherwise have been lost.

COBRA continuation coverage is a temporary continuation of coverage. When the qualifying event is the death of the employee, enrollment of the employee in Medicare (Part A, Part B, or both), your divorce or legal separation, or a dependent child losing eligibility as a dependent child, COBRA continuation coverage lasts for up to 36 months.

The maximum COBRA continuation coverage period is 24 months for employees on military leave who are covered by USERRA.

When the qualifying event is the end of employment or reduction of the employee's hours of employment, COBRA continuation coverage lasts for up to 18 months. There are two ways in which this 18-month period of COBRA continuation coverage can be extended. For fully insured plans offered in the state of New York: Notwithstanding the foregoing, when the qualifying event is the end of employment or reduction of the employee's hours of employment, COBRA continuation coverage lasts for up to 36 months from the date of the qualifying event. This 36 month period may not be further extended by either a disability or second qualifying event.

Disability extension of 18-month period of continuation coverage

If you or anyone in your family covered under the group health plan is determined by the Social Security Administration to be disabled at any time during the first 60 days of COBRA continuation coverage and you notify the Plan Administrator in a timely fashion, you and your entire family can receive up to an additional 11 months of COBRA continuation coverage, for a total maximum of 29 months. You must make sure that the Plan Administrator is notified of the Social Security Administration's determination within 60 days of the latest of the date of the determination, the date of the qualifying event or the date you would otherwise lose coverage under group health plan due to a qualifying event, and before the end of the 18-month period of COBRA continuation coverage. This notice should be sent to the Plan Administrator in accordance with the procedures set forth below under "Furnishing Notice to Plan Administrator."

Second qualifying event extension of 18-month period of continuation coverage

If your family experiences another qualifying event while receiving COBRA continuation coverage, and such event would result in loss of health coverage if the first qualifying event had not already occurred, the spouse and dependent children in your family can get additional months of COBRA continuation coverage, up to a maximum of 36 months. This extension is available to the spouse and dependent children if the former employee dies, becomes entitled to Medicare (Part A, Part B, or both), or gets divorced or legally separated.

The extension is also available to a dependent child when that child stops being eligible under the group health plan as a dependent child. In all of these cases, you must make sure that the Plan Administrator is notified of the second qualifying event within 60 days of the second qualifying event or the date you would otherwise lose coverage under group health plan due to a qualifying event, whichever is later. This notice must be sent to the Plan Administrator in accordance with the procedures set forth below under "Furnishing Notice to Plan Administrator."

Furnishing Notice to Plan Administrator

You should follow these procedures when notifying the plan administrator of a qualifying event or a disability determination. Failure to follow these procedures may cause loss of coverage.

When furnishing a notice to the Plan Administrator with respect to the occurrence of a qualifying event or with respect to a disability determination by the Social Security Administration, such notices will be delivered to the Human Resources department of the Plan Administrator (i) by hand-delivery, (ii) via facsimile, followed by written confirmation by first class mail, or (iii) by registered or certified mail, return receipt requested. Such notices will include the name(s) of the covered employee and/or qualified beneficiaries, as applicable, a general description of, and circumstances surrounding, the qualifying event or disability determination, and the date of such qualifying event or disability determination. Once the Plan Administrator receives such notice, it reserves the right to make further inquiry to verify the circumstances surrounding such qualifying event or disability determination.

If you have questions

If you have questions about your COBRA continuation coverage, you should contact the Plan Administrator or you may contact the nearest Regional or District Office of the U.S. Department of Labor's Employee Benefits Security Administration (EBSA). Addresses and phone numbers of Regional and District EBSA Offices are available through EBSA's website at www.dol.gov/ebsa.

Keep your plan informed of address changes

In order to protect your family's rights, you should keep the Plan Administrator informed of any changes in the addresses of family members. You should also keep a copy, for your records, of any notices you send to the Plan Administrator.

G. Funding Policy

Benefits furnished hereunder are provided through the purchase of insurance policies and contracts, unless otherwise indicated in Schedule A. The Plan Sponsor will collect employee premiums and will pay when due all premiums required to keep such policies and contracts in force. Funding is derived from the funds of the Plan Sponsor and contributions made by the employees. The level of any employee contributions is set by the Plan Sponsor, and the Plan Sponsor reserves the right to modify employee contribution amounts. Employee contributions will be used in funding the cost of the Plan benefits as soon as practicable after they have been received from the employee or withheld from the employee's pay through payroll deduction.

H. Plan is Not an Employment Contract

The Plan will not be construed as a contract for or of employment.

I. HIPAA Privacy and Security Provisions

1. Disclosure of Information

- a) The Plan Sponsor may only use and/or disclose Protected Health Information (as such term is defined in 45 C.F.R. §160.103) as permitted by the “Standards for Privacy of Individually Identifiable Health Information” under the Health Insurance Portability and Accountability Act of 1996, P.L.104-191, and applicable guidance (the “Privacy Rule”).
- b) The Plan will disclose Protected Health Information to the Plan Sponsor only upon its receipt of a certification by the Plan Sponsor that the Plan Sponsor agrees to:
 - (i) Not use or further disclose the information other than as permitted or required by the Plan documents or as required by law;
 - (ii) Ensure that any agents, including subcontractors, to whom it provides Protected Health Information received from the Plan agree to the same restrictions and conditions that apply to the Plan Sponsor with respect to such information;
 - (iii) Not use or disclose the Protected Health Information for employment-related actions and decisions or in connection with any other benefit or employee benefit plan of the Plan Sponsor;
 - (iv) Report to the Plan any use or disclosure of the Protected Health Information that is inconsistent with the uses or disclosures permitted by the Privacy Rule of which it becomes aware;
 - (v) Make available Protected Health Information based on HIPAA’s access requirements in accordance with 45 C.F.R. §164.524;
 - (vi) Make available Protected Health Information for amendment and incorporate any amendments to Protected Health Information in accordance with 45 C.F.R. §164.526;
 - (vii) Make available the information required to provide an accounting of disclosures in accordance with 45 C.F.R. §164.528;
 - (viii) Make its internal practices, books, and records relating to the use and disclosure of Protected Health Information received from the Plan available to the Secretary of Health and Human Services for purposes of determining compliance by the Plan with the Privacy Rule;
 - (ix) If feasible, return or destroy all Protected Health Information received from the Plan that the Plan Sponsor still maintains in any form and retain no copies of such information when no longer needed for the purpose for which disclosure was made, except that, if such return or destruction is not feasible, limit further uses and disclosures to those purposes that make the return or destruction of the information infeasible; and
 - (x) Ensure that adequate separation of the Plan and the Plan Sponsor is established as required by 45 C.F.R. 164.504(f)(2)(iii) as described below.

2. Certification of the Plan Sponsor

The Plan (or a health insurance issuer or HMO with respect to the Plan, if applicable) will disclose Protected Health Information to the Plan Sponsor only upon the receipt of a certification by the Plan Sponsor that the Plan has been amended to incorporate the provisions of 45 C.F.R. §164.504(f)(2)(ii), and that the Plan Sponsor agrees to the conditions of disclosure set forth in Section J.1. The Plan will not disclose and may not permit a health insurance issuer or HMO to disclose Protected Health Information to the Plan Sponsor as otherwise permitted herein unless the statement required by 45 C.F.R. §164.520(b)(1)(iii)(C) is included in the appropriate notice.

3. Separation of Plan and the Plan Sponsor

- a) Only designated employees in the human resources/finance departments of the Plan Sponsor (“Permitted Employees”), which term includes individuals with the following job titles: *Fringe Benefits Manager*, will be given access to the Protected Health Information. Despite the foregoing, any employee or person not described above who receives Protected Health Information relating to payments under, health care operations of, or other matters pertaining to the Plan in the ordinary course of business, will also be included in the definition above of Permitted Employees.
- b) The Permitted Employees may only use the Protected Health Information for Plan administrative functions that the Plan Sponsor performs for the Plan.

4. Security of Electronic Protected Health Information

In accordance with 45 C.F.R. §164.314(b)(2), to the extent as may be required by law, the Plan Sponsor agrees to:

- a) Implement administrative, physical, and technical safeguards that reasonably and appropriately protect the confidentiality, integrity, and availability of the electronic Protected Health Information that the Plan Sponsor may create, receive, maintain, or transmit on behalf of the Plan;
- b) Ensure that the adequate separation required by 45 C.F.R. §164.504(f)(2)(iii) is supported by reasonable and appropriate security measures;
- c) Ensure that any agents, including subcontractors, to whom it provides electronic Protected Health Information agrees to implement reasonable and appropriate security measures to protect the information; and
- d) Report to the Plan any security incident of which it becomes aware with respect to electronic Protected Health Information.

J. Subrogation and Rights of Recovery

The Plan is designed to only pay covered expenses under each Plan feature for which payment is not available from anyone else, including any insurance company or any other health or welfare plan. In order to help you and your covered dependents in a time of need, however, the Plan may pay covered expenses that may be or become the responsibility of another person, provided that the Plan later receives reimbursement for those payments (hereinafter called “Reimbursable Payments”).

Therefore, by enrolling in the Plan, as well as by applying for payment of covered expenses, you and your dependents are subject to, and agree to, the following terms and conditions with respect to the amount of covered expenses paid by the Plan.

1. Assignment of Rights (Subrogation)

City of Watertown — Welfare Benefits Plan — Schedule A

Employee Costs Per Pay Period as of April 1, 2013

(i) Group Dental Benefits — The Guardian, 7 Hanover Square, New York NY 10004

Policy #	486450	484726 Fire Fighters
Single	\$24.18	\$24.18
Family	\$60.08	\$60.08

(ii) Group Vision Benefits — The Guardian, 7 Hanover Square, New York NY 10004

Policy #	486450	484726 Fire Fighters
Single	\$7.19	\$7.19
Family	\$15.45	\$15.45

Res No. 2

May 14, 2013

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, Planning & Community Development Coordinator

Subject: Approving the Site Plan for the Construction of an Approximately 90,000 Square Foot Dormitory on Various Parcels Located on the Jefferson Community College Campus, South of Rand Drive and East of Cannoneer Loop

A request has been submitted by Joseph Thesier of Bernier Carr & Associates, on behalf of the JCC Faculty-Student Association, for the above subject site plan approval.

The City Planning Board reviewed the request on April 9, 2013 and May 7, 2013 and at the latter meeting voted to recommend that City Council approve the site plan subject to the conditions listed in the resolution. Attached are copies of the reports on the request prepared for the Planning Board and excerpts from the minutes of the relevant meetings.

The Jefferson County Planning Board recommended approval on April 30, 2013.

A revised plan has been submitted since the last Planning Board meeting that responds to seven of the conditions recommended by the Planning Board. A copy is included with each Council Member's agenda.

This project is a Type I Action pursuant to SEQRA, therefore the Environmental Assessment Form was forwarded to all Involved Agencies. They have all responded that they concur with the City of Watertown assuming the role of Lead Agency. The City Council must respond to the questions in Part 2 of the Full Environmental Assessment Form before it may vote on the resolution.

The resolution prepared for City Council consideration states that the project will not have a significant negative impact on the environment, and approves the site plan submitted to the City Engineering Department on April 26, 2013, and revised on May 14, 2013, with six of the conditions recommended by the Planning Board.

RESOLUTION

Page 1 of 3

Approving the Site Plan for the Construction of an Approximately 90,000 Square Foot Dormitory on Various Parcels Located on the Jefferson Community College Campus, South of Rand Drive and East of Cannoneer Loop

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS Joseph Thesier of Bernier, Carr, & Associates, on behalf of the Jefferson Community College Faculty-Student Association, has submitted a request for site plan approval of an approximately 90,000 square foot dormitory on various parcels located on the Jefferson Community College Campus, south of Rand Drive and east of Cannoneer Loop, and

WHEREAS the Planning Board of Jefferson County reviewed the request at their April 30, 2013 meeting and voted to recommend approval, and

WHEREAS the Planning Board of the City of Watertown reviewed the site plan at its meetings held on April 9, 2013 and May 7, 2013, and at the latest meeting voted to recommend that the City Council of the City of Watertown approve the site plan as submitted on April 26, 2013, with the following conditions:

- 1) The applicant shall provide a sidewalk from the northeast corner of the building eastward to Rand Drive.
- 2) The applicant shall provide pedestrian crossing warning signage along Cannoneer Loop.
- 3) The applicant shall coordinate with the City Engineer when locating any proposed light poles to ensure that they do not impede fire department access.
- 4) The applicant shall provide the Engineering Department with copies of all correspondence with NYSDEC regarding the SWPPP.
- 5) The applicant shall provide a rip rap apron at the storm sewer outlet.
- 6) The applicant shall revise the labeling of the manhole/catch basin at the south end of the fire road on C103 and C104.

RESOLUTION

Page 2 of 3

Approving the Site Plan for the Construction of an Approximately 90,000 Square Foot Dormitory on Various Parcels Located on the Jefferson Community College Campus, South of Rand Drive and East of Cannoneer Loop

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

- 7) The applicant shall provide copies of all correspondence with NYSDEC regarding the SPDES permit.
- 8) The applicant shall provide an updated landscaping plan that includes a selection of diversified tree species and quantities for approval by the City Planning Office. The approved landscaping shall be installed prior to issuance of a Certificate of Occupancy.
- 9) The applicant shall assemble all impacted parcels prior to issuance of a building permit.
- 10) The applicant shall provide an original survey, stamped and signed by a NYS licensed surveyor.
- 11) The applicant shall update the plans to depict existing tax parcel lines and labels.
- 12) The applicant shall revise the plans to provide the Fire Department access to the entire exterior of the building, subject to approval by Code Enforcement.
- 13) The applicant shall provide KNOX boxes at all secured building entrances.

And,

WHEREAS the applicant submitted revised plans on May 14, 2013 which meet some of the above listed conditions, and

WHEREAS the City Council has reviewed the Full Environmental Assessment Form, responding to each of the questions contained in Part 2, and has determined that the project, as submitted, is a Type I Action and will not have a significant effect on the environment,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown declares that the proposed construction and site plan constitute a Type I Action for the purposes of SEQRA and hereby determines that the project, as proposed, will not have a significant effect on the environment, and

RESOLUTION

Page 3 of 3

Approving the Site Plan for the Construction of an Approximately 90,000 Square Foot Dormitory on Various Parcels Located on the Jefferson Community College Campus, South of Rand Drive and East of Cannoneer Loop

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

BE IT FURTHER RESOLVED that it is an express condition of this site plan approval that the applicant provide the City Engineer with a copy of any change in stamped plans forming the basis for this approval at the same time such plans are provided to the contractor. If plans are not provided as required by this condition of site plan approval, the City Code Enforcement Officer shall direct that work on the project site shall immediately cease until such time as the City Engineer is provided with the revised stamped plans. Additionally, any change in the approved plan which, in the opinion of the City Engineer, would require Amended Site Plan approval, will result in immediate cessation of the affected portion of the project work until such time as the amended site plan is approved. The City Code Enforcement Officer is requested to periodically review on-site plans to determine whether the City Engineer has been provided with plans as required by this approval, and

BE IT FURTHER RESOLVED by the City Council of the City of Watertown that site plan approval is hereby granted to Joseph Thesier of Bernier, Carr, & Associates, on behalf of the Jefferson Community College Faculty-Student Association, for construction of an approximately 90,000 square foot dormitory on various parcels located on the Jefferson Community College Campus, south of Rand Drive and east of Cannoneer Loop, as submitted on April 26, 2013 and revised on May 14, 2013, contingent on the applicant meeting the Planning Board's conditions number 3, 4, 7, 8, 9, and 13 as listed above.

Seconded by

FACULTY STUDENT ASSOCIATION

of Jefferson Community College, Inc.

March 19, 2013

Jeffrey E. Graham, Mayor
and Watertown City Council
City of Watertown
245 Washington Street, Room 302A
Watertown NY 13601



Re: Jefferson Community College Residence Hall

Dear Honorable Mayor and City Council:

The Faculty-Student Association at Jefferson Community College, (FSA) is proposing the development of a Residence Hall on County property adjacent to the current Jefferson Community College (JCC) campus. The proposed facility will consist of two (2), four (4) story housing wings interconnected by a single-story common area. The total housing units encompassed within this facility will be sixty four (64) suites totaling 290 beds.

The location of this proposed development is at the corner of Cannoneer Loop and Rand Drive on the JCC Campus. The lands on which this project is proposed are currently owned by the County of Jefferson. The FSA is in the process of acquiring the 6.55 acre parcel from the County. This parcel of land is currently undeveloped and consists of dense scrub brush and some larger trees. This parcel of land has been re-zoned by the City of Watertown from Residence "A" to Residence "C" to allow for the development of dormitory style housing.

The FSA is confident that this is a viable project, based on studies performed by outside consultants. These studies focused on the housing needs of the College, and the number of beds that the College's student population could support. Also, on-campus housing is a growing trend among community colleges. For JCC to be competitive, in the community college market, there is an opinion that on-campus housing is a necessity.

Should there be a need for any questions or updates on meeting information, I can be contacted by phone at (315) 786-2353 or by email at dschissler@sunyjefferson.edu, or Joseph L. Thesier, P.E. with Bernier Carr & Associates by phone at (315) 782-8130 or by email at jthesier@thebcgroup.com.

Thank you for your assistance in this matter.

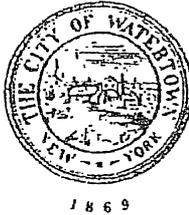
Very truly yours,

A handwritten signature in black ink, appearing to be "D Schissler".

David Schissler
Executive Director, Faculty-Student Association

COFFEEN STREET WATERTOWN, NEW YORK 13601-1897

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**CITY OF WATERTOWN
SITE PLAN APPLICATION
AND
SHORT ENVIRONMENTAL
ASSESSMENT FORM, PART 1**



**** Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in not making the agenda for the upcoming Planning Board meeting.**

PROPERTY LOCATION

Proposed Project Name: JCC Residence Hall
Tax Parcel Number: 8-34- (various)
Property Address: No 911 address at this time.
Existing Zoning Classification: Residence C

OWNER OF PROPERTY

Name: County of Jefferson Attn: Michael E. Kaskan, Deputy Co. Admin.
Address: 195 Arsenal Street
Watertown, NY 13601
Telephone Number: 315-785-3075
Fax Number: 315-785-5070

APPLICANT

Name: Faculty-Student Association Attn: David Schissler, Ex. Dir.
Address: 1220 Coffeen Street
Watertown, NY 13601
Telephone Number: 315-786-2353
Fax Number: _____
Email Address: dschissler@sunyjefferson.edu

ENGINEER/ARCHITECT/SURVEYOR

Name: Bernier, Carr & Assoc. Attn: Joseph L. Thesier, P.E.
Address: 327 Mullin Street
Watertown, NY 13601
Telephone Number: 315-782-8130
Fax Number: 315-782-7192
Email Address: jthesier@thebcgroup.com

PROJECT DESCRIPTION

Describe project and proposed use briefly:

Construction of a four (4) story residence hall.

Is proposed Action:

New Expansion Modification/Alteration

Amount of Land Affected:

Initially: 4.99 Acres Ultimately: 4.99 Acres

Will proposed action comply with existing zoning or other existing land use restrictions?

Yes No If no, describe briefly

What is present land use in vicinity of project?

Residential Industrial Commercial Agriculture
 Park/Forest/Open Space Other

Describe: College Campus

Does project involve a permit approval, or funding, now or ultimately from any other Governmental Agency (Federal, State or Local)?

Yes No If yes, list agency(s) and permit/approval(s)
NYSDEC-SWPPP Permit, NYSDOH-Approval of public water supply main.
~~Jefferson County for land disposition.~~

Jefferson County Civic Facility Development Corporation for bonding
Does any aspect of the project have a currently valid permit or approval?

Yes No If yes, list agency(s) and permit/approval(s)

As a result of proposed project, will existing permit/approval require modification?

Yes No

Proposed number of housing units (if applicable): 64 Suites totaling 290 beds.

Proposed building area: 1st Floor 32,787 Sq. Ft.

2nd Floor 19,820 Sq. Ft.

3rd Floor 19,820 Sq. Ft.

4th Floor ~~19,820~~ 19,820 Sq. Ft.

Total 61,512 Sq. Ft.

Area of building to be used for the boiler room, heat facilities, utility facilities
and storage: 800 Sq. Ft.

Number of parking spaces proposed: 151

Construction Schedule: July 2013 to July 2014

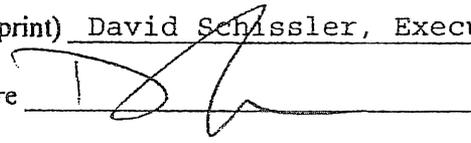
Hours of Operation: 24/7

Volume of traffic to be generated: N/A ADT

SIGNATURE

I certify that the information provided above is true to the best of my knowledge.

Applicant (please print) David Schissler, Executive Director

Applicant Signature  Date: 3/19/13



MEMORANDUM

CITY OF WATERTOWN PLANNING OFFICE
245 WASHINGTON STREET, ROOM 304, WATERTOWN, NY 13601

PHONE: (315) 785-7730 – FAX: (315) 782-9014



TO: Planning Board Members
FROM: Kenneth A. Mix, Planning and Community Development Coordinator
SUBJECT: Site Plan Approval – JCC Dormitory, 1220 Coffeen Street
DATE: March 21, 2013

Request: Site Plan Approval for the construction of an approximately 62,000 square foot dormitory on various parcels located on the Jefferson Community College campus, south of Rand Drive and east of Cannoneer Loop

Applicant: JCC Faculty-Student Association

Proposed Use: Dormitory suites

Property Owner: Jefferson County

Submitted:

Survey: Yes	Preliminary Architectural Drawings: No
Site Plan: Yes	Preliminary Site Engineering Plans: Yes
Vehicle and Pedestrian Circulation Plan: Yes	Construction Time Schedule: Yes
Landscaping and Grading Plan: Yes	Description of Uses, Hours & Traffic Volume: Yes

SEQRA: Type I

County Review: Yes, April 30th

Zoning Information:

District: Residence C	Maximum Lot Coverage: 40%
Setback Requirements: F: 20', S: 5' R: 25'	Buffer Zone Required: None

Project Overview: The applicant proposes to construct a residence hall on the Jefferson Community College campus. The building will be located on a 6.55 acre portion of the campus near the intersection of Rand Drive and Cannoneer Loop. This 6.55 acre proposed parcel was changed from Residence A to Residence C earlier this year. It has not been subdivided, although the applicant had indicated that subdivision may occur in the future.

The 4-story building will contain 64 suites with 290 beds, totaling about 62,000 square feet. Parking lots will be constructed to the north and east of the building.

Parking: According to § 310-47(A), each suite requires one parking space, plus 10%, rounded up. The 64 proposed suites must have at least 71 parking spaces. The applicant provides 151.

The applicant does not show traffic control signs at the parking lot entrances. The applicant shall install stop signs at each parking lot exit, and should consider an additional control sign at the intersection of the two lots near the northeast corner of the building.

The applicant must provide a turn movement plan depicting the fire department's ladder truck negotiating the parking lot areas.

The areas near the fire hydrant must be designated "no parking."

The applicant does not designate a loading area. If regular deliveries will occur, the applicant should designate a location or dock in order to prevent interference with normal traffic flow.

Pedestrians: Two of the handicap accessible parking spaces are not served by a sidewalk. The applicant has included a sidewalk ramp detail, but the ramp locations have not been called out on the plan. The applicant must add pedestrian access to the south fire stair exit.

The applicant should install a sidewalk extending eastward from the northeast corner of the building, crossing the parking lot, and connecting with the Rand Drive walk. All crossings must have painted crosswalks.

Lighting: Some street and parking lot lighting exists in the vicinity of the project. The current set of plans does not show any additional lighting. However, limiting light spillage is of little concern given the remote location of the site. The applicant should install Dark Sky approved fixtures if any lighting is installed.

Light pole locations and heights must be shown on the plan in order to assess fire truck accessibility.

Drainage & Grading: The applicant must provide copies of the SWPPP and related correspondence with NYSDEC.

The applicant shall show inverts for all proposed catch basins and manholes, and slopes, types, and diameters for all proposed pipes. The applicant must also provide detailed drainage area maps with pre/post calculations, as well as stormwater treatment and quantity calculations, details for the basins, and percolation test results. The engineering report will also need to include a traffic, lighting, and landscaping summary.

Also, the applicant must determine and depict what the 16" CPP near the Rand Drive intersection connects to.

The stormwater network should be shown on the grading plan.

The applicant must provide a stone rip rap apron at the outlet of the storm sewer pipes on the north side of Rand Drive. A detail for the design of this apron must be included.

Water: The applicant will extend an 8" water main along Cannoneer Loop to provide water service. The applicant must shift the proposed hydrant so that it is further from the building. The current location at the corner of the parking lot is difficult to access and appears to lie within the building's collapse zone.

The new hydrant location should also be downstream from the building's water service to aid in hydrant flushing.

The applicant will need to provide the City with copies of all correspondence regarding the NYSDOH water supply permit.

Sewer: An 8" existing sanitary sewer line runs along the western side of the building. The applicant will connect to an existing manhole using a 6" PVC pipe. The proposed sewer is designed to convey more than 2,500 gallons per day and thus requires a sanitary sewer extension permit. The applicant must provide copies of all correspondence with NYSDEC regarding the SPDES permit.

The applicant should consider increasing the distance between the sanitary sewer and the proposed gas line.

Landscaping: The existing site is primarily covered with deciduous brush except for the west side of the site which has several mature spruce trees and other larger deciduous trees located along Cannoneer Loop. Much of the site, including the trees along Cannoneer Loop will be cleared for the construction.

The applicant has provided a landscaping plan with limited information. 27 new trees are proposed, and the existing street trees on Rand Drive will either remain, be relocated, or be replaced in kind. Bio-swales will be installed in five locations along the street right-of-way, and will be the functional equivalent of the planting beds recommended by the Landscaping and Buffer Zone Guidelines.

The conceptual landscaping plan generally meets the intent of the Landscaping and Buffer Zone Guidelines, however, the applicant must submit an updated and finalized Landscaping Plan that contains a quantity and species schedule. When preparing the plan, the applicant is reminded to diversify the tree species such that no one tree species accounts for more than 15% of the total. Additional trees around the perimeter of the parking areas should also be added.

The landscaping plan must be submitted to the Planning Office for approval and the approved plan must be installed prior to the issuance of a Certificate of Occupancy.

Miscellaneous: The depicted parcel on which the project is located has not been divided from the rest of the JCC properties, and is in fact a collection of small parcels and paper streets. The applicant must assemble all parcels covered by the building prior to issuance of building permit. A deed describing the assemblage must be filed with the County Clerk and a copy provided to the City Engineer.

If the applicant wishes to divide the project property from the campus, a subdivision approval must be sought from the Board.

The applicant must provide at least one original survey, stamped and signed by a NYS licensed surveyor. Current tax parcel lines and labels, including the paper streets, should be shown in the survey.

If a refuse container or enclosure will be included on site, its location and design must be depicted on the site plan. Refuse containers may not be within 15' of a property line.

The applicant shall revise the preliminary architectural drawings to remove the mirrored text.

The applicant shall revise the plan to include fire apparatus access to the entire exterior of the facility. Code Enforcement cites 503.1.1 from the NYS Fire Code.

The Fire Department has also requested that KNOX boxes be installed at all secured building entrances. These key boxes provide firefighters with quick, non-destructive access to the building in an emergency.

The applicant must obtain the following permits prior to construction: Sanitary Sewer Permit, Water Supply Permit, and Building Permit.

Summary:

1. The applicant shall install stop signs at the parking lot exits

Response: Stop signs have been included at each of the driveway exits and parking areas, these are depicted on the updated Site Plan.

2. The applicant shall provide a turn movement plan showing the City's fire apparatus negotiating the parking lot.

Response: A City of Watertown fire apparatus turning movement 8½"x11" plan is provided.

3. The applicant shall mark a "no parking" area in the vicinity of the fire hydrant.

Response: We are looking at moving the location of the fire hydrant based on comment # 17. The relocation of the fire hydrant will dictate what will be required.

4. The applicant shall provide a loading area if frequent deliveries are expected.

Response: A designated loading area has been provided at the northern building entrance, this loading area is depicted on the updated Site Plan.

5. The applicant shall provide a sidewalk to all handicap parking spaces.

Response: We are currently looking at moving all handicap spaces along the southeast side of the parking lot along the sidewalk. Therefore there will be no need to add additional sidewalk.

6. The applicant shall indicate the locations of all sidewalk ramps.

Response: Sidewalk ramp locations are depicted on the updated Site Plan. The sidewalk in the vicinity of the handicap parking will be depressed to accommodate access.

7. The applicant shall provide a sidewalk to the south fire stair exit.

Response: We are proposing this sidewalk to run in a northwest direction ending at the edge of Cannoneer Loop.

8. The applicant shall provide a sidewalk from the northeast corner of the building eastward to Rand Drive.

Response: We do not believe the installation of a sidewalk in this location will serve a purpose. Pedestrians coming up Rand Drive from the fairgrounds will use the driveway entrance before they walk the extra 50 ft to use a sidewalk.

9. The applicant shall depict painted crosswalks at all sidewalk crossings.

Response: Painted crosswalks are depicted on the updated Site Plan.

10. The applicant shall depict any proposed light pole locations and their heights.

Response: The exterior lighting design has not been completed. It is anticipated that all pole lighting for the parking areas will be outside the pavement areas and will be approximately 25 feet in height. The lighting will not impede the flow of the emergency vehicles through the parking lots. We will coordinate light pole locations with Fire Department access.

11. The applicant shall provide the Engineering Department with copies of all correspondence with NYSDEC regarding the SWPPP.

Response: The Engineering Department shall be copied with all NYSDEC SWPPP correspondence, including the Notice of Intent and Notice of Termination .

12. The applicant shall depict all inverts, slopes, sizes, and materials for the storm water system.

Response: All inverts, slopes, sizes and materials for drainage and stormwater system components have been provided on the updated Utility Plan.

13. The applicant shall provide detailed drainage area maps with pre/post calculations, as well as stormwater treatment and quantity calculations, details for the basins, and percolation test results.

Response: Drainage basin maps, predevelopment and postdevelopment summaries, complete HydroCAD report print-outs and infiltration basin details have been included in the updated Plans and Engineering Report. As discussed with Mr. Justin Wood of the Engineering Department, given that infiltration benefits are anticipated to provide a small portion of water quality and runoff reduction benefits for this site, percolation tests will not be required.

14. The applicant shall determine what the 16" CPP near the Rand Drive intersection connects to.

Response: The 16" CPP storm line appears to be an abandoned or inactive line that does not appear to provide drainage benefits to the site or nearby infrastructure. Should this pronouncement prove to be untrue upon excavation of the line, the Engineering Department shall be notified of any proposed modification.

15. The applicant shall depict the storm sewer network on the grading plan.

Response: The storm sewer network is depicted on the updated Grading Plan.

16. The applicant shall provide a rip rap apron at the storm sewer outlet, and provide a detail therewith.

Response: A rip rap apron has been shown on the storm sewer outlet and is shown on the updated Site Details.

17. The applicant shall shift the hydrant away from the building, avoiding the collapse zone and ensuring the easiest possible access by the Fire Department. The hydrant should be downstream from the building's water service to improve hydrant flushing.

Response: See response for comment # 3.

18. The applicant shall provide copies of all correspondence with NYSDOH regarding the water supply permit, and with NYSDEC regarding the SPDES permit.

Response: Both agencies have been briefed on the scope of the project. In conversation with Mr. Michael Tracy of NYSDOH, a formal review of the plans and specification for the proposed watermain to serve the proposed Residence Hall will not be required due to the City of Watertown Water Department's diligence and oversight in this matter. In conversation with Mr. Steve Botsford of NYSDEC, his agency will require a set of final plans and specifications for review and approval after City site plan approval.

19. The applicant shall increase the distance between the proposed gas line and the existing sanitary sewer.

Response: The proposed gas line has been moved to increase the distance from the existing sanitary sewer main, this is depicted on the updated Utility Plan.

20. The applicant shall provide an updated landscaping plan that includes a selection of diversified tree species and quantities for approval by the City Planning Office. The approved landscaping shall be installed prior to issuance of a Certificate of Occupancy.

Response: In conversation with the City Planning Office, an appropriate landscaping plan will be developed in corroboration with the Planning Office's input and guidance. Approved landscaping shall be installed prior to issuance of a Certificate of Occupancy

21. The applicant shall assemble all impacted parcels prior to issuance of a building permit.

Response: The minor subdivision application will be submitted for review and approval which will include impacted parcels.

22. The applicant shall provide an original survey, stamped and signed by a NYS licensed surveyor.

Response: An original survey bearing the stamp and signature of a NYS licensed surveyor was included in the zoning modification application.

23. The applicant shall update the plans to depict existing tax parcel lines and labels.

Response: The minor subdivision applications will indicate the existing tax parcel lines and labels.

24. If the applicant intends to install a refuse container, it shall be depicted on the site plan and shall not lie within 15 feet of any property line.

Response: A designated refuse area has been depicted on the eastern parking lot area on the updated Site Plan.

25. The applicant shall correct the mirrored text on the architectural plans.

Response: Updated architectural plans depicting the corrected mirrored text have been included in the updated Plans.

26. The applicant shall revise the plans to provide the Fire Department access to the entire exterior of the building.

Response: A fire access road for the rear portion of the building has been provided and will be depicted on the updated site plan.

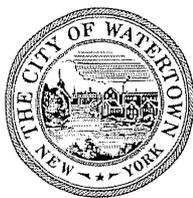
27. The applicant shall provide KNOX boxes at all secured building entrances.

Response: KNOX boxes will be provided at all secured building entrances.

28. The applicant shall provide a Traffic, Lighting, and Landscaping Summary in the Engineering Report.

Response: As discussed with Mr. Justin Wood at the City Engineering Department he had missed the page in the report that had the summaries on. Mr. Wood asked that we include in the traffic summary the traffic generated based on the ITE Trip Generator, this has been included in the updated Engineering Report.

Cc: City Council Members
Robert J. Slye, City Attorney
Justin Wood, Civil Engineer II
Joe Thesier, 327 Mullin St
Michael Kaskan, 195 Arsenal St
David Schissler, 1220 Coffeen St



MEMORANDUM

CITY OF WATERTOWN PLANNING OFFICE

245 WASHINGTON STREET, ROOM 304, WATERTOWN, NY 13601

PHONE: (315) 785-7730 – FAX: (315) 782-9014

TO: Planning Board Members

FROM: Kenneth A. Mix, Planning and Community Development Coordinator

SUBJECT: Site Plan Approval – JCC Dormitory, 1220 Coffeen Street *KAM*

DATE: April 29, 2013

Request: Site Plan Approval for the construction of an approximately 90,000 square foot dormitory on various parcels located on the Jefferson Community College campus, south of Rand Drive and east of Cannoneer Loop

Applicant: JCC Faculty-Student Association

Proposed Use: Dormitory suites

Property Owner: Jefferson County

Submitted:	
Property Survey: Yes	Preliminary Architectural Drawings: No
Site Plan: Yes	Preliminary Site Engineering Plans: Yes
Vehicle and Pedestrian Circulation Plan: Yes	Construction Time Schedule: Yes
Landscaping and Grading Plan: Yes	Description of Uses, Hours & Traffic Volume: Yes

SEQRA: Type I

County Review: Yes, April 30th

Zoning Information:	
District: Residence C	Maximum Lot Coverage: 40%
Setback Requirements: F: 20', S: 5', R: 25'	Buffer Zone Required: None

Project Overview: The applicant proposes to construct a residence hall on the Jefferson Community College campus. The building will be located on a 6.55 acre portion of the campus near the intersection of Rand Drive and Cannoneer Loop. This 6.55 acre proposed parcel was changed from Residence A to Residence C earlier this year.

The 4-story building will contain 64 suites with 290 beds, totaling about 62,000 square feet. Parking lots will be constructed to the north and east of the building.

Parking: The applicant has made all recommended adjustments to the parking layout. The fire hydrant is now located in the Rand Drive margin.

Pedestrians: The applicant has shifted the handicap parking to provide sidewalk access, and has labeled ramps. Crosswalks are depicted on the plan, but are outside the project scope and are presumed to be installed by the College after development of the site.

The applicant should install a sidewalk extending eastward from the northeast corner of the building, crossing the parking lot, and connecting with the Rand Drive walk.

The applicant should install pedestrian crossing signage along Cannoneer Loop.

Lighting: Light pole locations and heights must be shown on the plan in order to assess fire truck accessibility. As previously mentioned, photometrics are not needed. The applicant must coordinate pole locations with the City Engineer.

Drainage & Grading: The applicant must provide copies of the SWPPP and related correspondence with NYSDEC.

The length, depth, and purpose of the 16" CPP near Rand Drive is still not shown. It has been marked for removal on the demolition plan, however.

The applicant must provide a stone rip rap apron at the outlet of the storm sewer pipes on the north side of Rand Drive. A detail was included but it has not been depicted on the plan.

A catch basin on C103 at the south end of the proposed fire road is labeled incorrectly. On C104 it is a manhole.

Sewer: An 8" existing sanitary sewer line runs along the western side of the building. The applicant will connect to an existing manhole using a 6" PVC pipe. The proposed sewer is designed to convey more than 2,500 gallons per day and thus requires a sanitary sewer extension permit. The applicant must provide copies of all correspondence with NYSDEC regarding the SPDES permit.

Landscaping: The existing site is primarily covered with deciduous brush except for the west side of the site which has several mature spruce trees and other larger deciduous trees located along Cannoneer Loop. Much of the site, including the trees along Cannoneer Loop will be cleared for the construction.

The applicant has provided a landscaping plan with limited information. 27 new trees are proposed, and the existing street trees on Rand Drive will either remain, be relocated, or be replaced in kind. Bio-swales will be installed in five locations along the street right-of-way, and will be the functional equivalent of the planting beds recommended by the Landscaping and Buffer Zone Guidelines.

The conceptual landscaping plan generally meets the intent of the Landscaping and Buffer Zone Guidelines, however, the applicant must submit an updated and finalized Landscaping Plan that contains a quantity and species schedule. When preparing the plan, the applicant is reminded to diversify the tree species such that no one tree species accounts for more than 15% of the total. Additional trees around the perimeter of the parking areas should also be added.

Code Enforcement has requested that the planting plan along the west façade of the building be altered to ensure access for the ladder truck. The trees between Cannoneer Loop and the west tower must be reduced in number and size—for example, three small-maturing ornamental deciduous trees instead of the four large-maturing trees currently shown.

The landscaping plan must be submitted to the Planning Office for approval and the approved plan must be installed prior to the issuance of a Certificate of Occupancy.

Miscellaneous: The applicant must provide at least one original survey, stamped and signed by a NYS licensed surveyor. Current tax parcel lines and labels, including the paper streets, should be shown in the survey.

Code Enforcement remains unsatisfied by the proposed fire truck access. They have requested a 26' access road that brings the truck within 75 feet (the reach of the ladder) of all windows and the roof. A walkway from the rear

patio to the fire road is also required. The applicant must revise the plan to include fire apparatus access to the entire exterior of the facility, subject to approval by Code Enforcement.

The Fire Department has also requested that KNOX boxes be installed at all secured building entrances. These key boxes provide firefighters with quick, non-destructive access to the building in an emergency.

The applicant must obtain the following permits prior to construction: Sanitary Sewer Permit, Water Supply Permit, and Building Permit.

Summary:

1. The applicant shall provide a sidewalk from the northeast corner of the building eastward to Rand Drive.
2. The applicant shall provide pedestrian crossing warning signage along Cannoneer Loop.
3. The applicant shall coordinate with the City Engineer when locating any proposed light poles to ensure that they do not impede fire department access.
4. The applicant shall provide the Engineering Department with copies of all correspondence with NYSDEC regarding the SWPPP.
5. The applicant shall provide a rip rap apron at the storm sewer outlet.
6. The applicant shall revise the labeling of the manhole/catch basin at the south end of the fire road on C103 and C104.
7. The applicant shall provide copies of all correspondence with NYSDEC regarding the SPDES permit.
8. The applicant shall provide an updated landscaping plan that includes a selection of diversified tree species and quantities for approval by the City Planning Office. The approved landscaping shall be installed prior to issuance of a Certificate of Occupancy.
9. The applicant shall assemble all impacted parcels prior to issuance of a building permit.
10. The applicant shall provide an original survey, stamped and signed by a NYS licensed surveyor.
11. The applicant shall update the plans to depict existing tax parcel lines and labels.
12. The applicant shall revise the plans to provide the Fire Department access to the entire exterior of the building, subject to approval by Code Enforcement.
13. The applicant shall provide KNOX boxes at all secured building entrances.

cc: City Council Members
Robert J. Slye, City Attorney
Justin Wood, Civil Engineer II
Joe Thesier, 327 Mullin St
Michael Kaskan, 195 Arsenal St
David Schissler, 1220 Coffeen St

Excerpt from 4/9/13 Planning Board Meeting Minutes

SITE PLAN APPROVAL – JCC RESIDENCE HALL 1222 COFFEEN STREET – MANY VARIOUS PARCELS

The Planning Board then considered a request for site plan approval submitted by Joseph Thesier of Bernier Carr & Associates, on behalf of the Jefferson Community College Faculty-Student Association, for the construction of an approximately 62,000 square foot dormitory on various parcels located on the Jefferson Community College campus, south of Rand Drive and east of Cannoneer Loop.

Mr. Thesier approached the Board to discuss the project. He stated that the applicant has no objection to most of the summary items in the Staff Report, but he would like go through the items and discuss a few points. He asked if the Board was familiar with the site.

Mrs. Freda replied that they were.

Mr. Thesier noted that the hydrant was currently located in a crowded area. It is not in the collapse zone because the center portion of the building is only one story. However, the hydrant would probably be moved. Ideally, it will be shifted to the margin of Cannoneer Loop and the new water main would be dedicated to the City. This would put the hydrant downstream of the building's service line, and also simplify maintenance and permitting.

Mr. Katzman asked if the City would want ownership of the water main.

Mr. Thesier stated that the City already maintains many of the water lines on campus.

Mr. Wood clarified that the campus water lines are technically a private loop. The City has performed maintenance, but it has charged JCC for the work, just like they would on a private lateral. Ultimately, accepting the mains would be up to Council to decide.

Mr. Davis asked if JCC could assume responsibility for maintaining the water mains. Mr. Thesier noted that the Department of Health has been getting stricter with regard to permitting private mains. They may require expensive backflow prevention for the entire system. He noted that the site plan does not hinge on acceptance of the main, so this discussion could be delayed.

Mr. Thesier explained that the handicap accessible spaces will be relocated so that they are served by a sidewalk. Ramps will be shown on the final plans. He then explained that deliveries to the building would be weekly at most, so a dedicated loading area is probably not needed. The applicant is considering striping an area near the front door to ease crowding on move-in days.

Mr. Katzman noted that UPS and USPS may come more often, but wouldn't need a loading area either.

Mr. Thesier noted that the Storz connection for the fire suppression system would be moved around the corner so it does not obstruct the egress path. He stated that the light pole locations are still unknown, but would probably be on the perimeter of the lot at 25' in height.

He noted that Summary Item #26 would require an access road around the back of the building. He said it was the architect's understanding that fire truck access can be up to 300 feet away from any part of the building. This requires an exception to the normal standard of 150 feet, which the Dormitory Authority of the State of New York typically grants if the building has a sprinkler system and if local code officials sign off on the waiver. However, the City Code Enforcement Department was not willing to grant the exception and is adamant that the access road be built.

Mrs. Freda asked if exceptions had been made in the past.

Mr. McWayne, Code Enforcement Supervisor, stated that it has not been done in recent history that he is aware of. He noted that due to the number and type of occupants, a fire in this building would need to be fought from both sides.

Mr. Davis pointed out that adding a road around the back of the building would drastically change the site design.

Mr. Thesier replied that it would only need to be a 20-foot wide gravel drive, and could probably be accommodated by the current layout.

Mr. Katzman suggested rotating the building 180 degrees to avoid building the road.

Mr. Thesier replied that the architects and the applicant were already happy with the building location. Adding the road would be easier than moving the building at this point.

Mr. McWayne said that the applicant could also apply to the State for a variance of the building code. The State has the ability to overturn his local decision, but it would add time to the project.

Mrs. Freda said that JCC may not want to pursue the variance anyway, due to the public relations consequences.

Mr. Davis suggested that the applicant consider changing the building shape. He noted that L-shaped buildings with a "knuckle" are always problematic for fire protection, as he has seen on Fort Drum and other military installations.

Mr. Thesier addressed comment #28, stating that trip generation would be added to the Engineering Report.

Mrs. Freda asked where the students would eat. David Schissler, JCC Faculty-Student Association, explained that there would be a small café in the building, but mostly they would be expected to eat at the campus' main dining hall.

Mrs. Gervera left the meeting at 3:27 pm.

Mr. Katzman asked if there would be a kitchen. Mr. Schissler explained that there would be a prep area but not a full kitchen. The college would prefer that the resident students intermix with the commuting students at the main dining hall.

Mrs. Freda asked if, based on their research, the applicant believes that 151 parking spaces are sufficient for 290 students.

Mr. Schissler explained that it was actually above average. Other similar facilities have been shown to work well with parking for about 40% of residents. Further, while parking on campus is always crowded when the semester starts, it usually sorts itself out as time progresses and commuters get accustomed to their class schedules.

Mr. Katzman noted that 290 fewer students would be driving to campus once the project is open.

Mrs. Freda asked what schedule the applicant has in mind for groundbreaking and completion.

Mr. Schissler said that ideally they would be working now, but certain things must be finished first, in addition to just the site plan approval. They are hoping for a July groundbreaking, and to be open for the autumn semester of 2014.

Mrs. Freda asked if County Planning Board review was scheduled. Mr. Nichols replied that it would happen on April 30th.

Mr. Katzman said that he would be willing to have a special meeting if necessary to expedite the project.

Mr. Mix noted that the 30-day window for coordinated SEQRA review does not close until April 24th. The Planning Board could have its second look on May 7th, and City Council would vote on May 20th.

Mr. Katzman moved to table the application until the next regularly scheduled meeting, with the understanding that the applicant will work to remedy the issues listed in the Staff Report and submit revised plans.

Mr. Davis seconded, all voted in favor, except Mr. Coburn, who abstained.

Excerpt from 5/7/13 Planning Board Meeting Minutes

TABLED SITE PLAN – JCC RESIDENCE HALL 1222 COFFEEN ST – VARIOUS PARCELS

The Board then considered the tabled request submitted by Joseph Thesier of Bernier Carr & Associates, on behalf of the Jefferson Community College Faculty-Student Association, for the construction of an approximately 90,000 square foot dormitory on various parcels located on the Jefferson Community College campus, south of Rand Drive and east of Cannoneer Loop.

Mr. Thesier approached the Board to explain changes to the plans. He noted that representatives from JCC were in attendance, including the president, Dr. McCoy.

Mr. Thesier said that, after meeting again with Code Enforcement and the Fire Department, the fire road would be widened to 26' and shifted to be within roughly 50' of the building. Further, a gravel shoulder would be added to Cannoneer Loop to support the aerial truck outriggers. Pedestrian crossings, and any signage, would be installed by the College, since those features lie outside the project area. He also explained that the exterior lighting had not been designed yet, but the lighting plan would be coordinated with City Engineering.

Mr. Katzman asked if raised sidewalks could be used for the pedestrian crossings. Mr. Thesier said that he would have to defer that decision to JCC.

Mr. Katzman asked if a decorative pavement treatment could be used for the access road. Mr. Thesier said that this had yet to be resolved, but it would be a durable surface with meets code requirements. The extra cost for decorative pavement could be prohibitive.

Mrs. Freda asked if measures would be in place to prevent students from using the fire road.

Mr. Thesier said that it would probably remain open, but parking would not be allowed.

Mr. Davis asked if a gate would be used to limit access, and if a sidewalk could be installed along the fire road. He also wondered about maintenance of the gravel shoulder on Cannoneer Loop.

Mr. Thesier said that the gate might block the fire department in an emergency. Pedestrian and vehicle traffic along the fire road would be low, so a sidewalk wouldn't be needed.

Mr. Katzman asked if Mr. McWayne, Code Enforcement Supervisor, who was in the audience, was okay with the fire road design. Mr. McWayne said that he is.

Mr. Katzman then moved recommend that City Council approve the site plan for construction of an approximately 90,000 square foot dormitory on various parcels located on the

Jefferson Community College campus, south of Rand Drive and east of Cannoneer Loop, as submitted by Joseph Thesier of Bernier Carr & Associates, on behalf of the Jefferson Community College Faculty-Student Association, on April 26, 2013, with the following conditions:

1. The applicant shall provide a sidewalk from the northeast corner of the building eastward to Rand Drive.
2. The applicant shall provide pedestrian crossing warning signage along Cannoneer Loop.
3. The applicant shall coordinate with the City Engineer when locating any proposed light poles to ensure that they do not impede fire department access.
4. The applicant shall provide the Engineering Department with copies of all correspondence with NYSDEC regarding the SWPPP.
5. The applicant shall provide a rip rap apron at the storm sewer outlet.
6. The applicant shall revise the labeling of the manhole/catch basin at the south end of the fire road on C103 and C104.
7. The applicant shall provide copies of all correspondence with NYSDEC regarding the SPDES permit.
8. The applicant shall provide an updated landscaping plan that includes a selection of diversified tree species and quantities for approval by the City Planning Office. The approved landscaping shall be installed prior to issuance of a Certificate of Occupancy.
9. The applicant shall assemble all impacted parcels prior to issuance of a building permit.
10. The applicant shall provide an original survey, stamped and signed by a NYS licensed surveyor.
11. The applicant shall update the plans to depict existing tax parcel lines and labels.
12. The applicant shall revise the plans to provide the Fire Department access to the entire exterior of the building, subject to approval by Code Enforcement.
13. The applicant shall provide KNOX boxes at all secured building entrances.

Mr. Davis seconded, all voted in favor.



Department of Planning
175 Arsenal Street
Watertown, NY 13601

Donald R. Canfield
Director of Planning

(315) 785-3144
(315) 785-5092 (Fax)

May 2, 2013

Andrew Nichols, Planner
City of Watertown
245 Washington Street
Watertown, NY 13601

Re: JCC Faculty - Student Association, Site Plan Review for dormitory,
JCDP File # C 3 – 13

Dear Andrew:

On April 30, 2013, the Jefferson County Planning Board reviewed the above referenced project, referred pursuant to General Municipal Law, Section 239m.

The Board adopted a motion recommending approval. The Board stated that the proposed project will strengthen the viability of JCC as a key community and County-wide asset, and is essential to supporting the future growth and success of the County's only institution of higher education.

Furthermore, the County Planning Board has the following local advisory comments:

The proposed sidewalk from the west side of the dorm to Cannoneer Loop should be continued through the existing parking island on the west side of Cannoneer Loop and connect to the sidewalk between the Library and the Jules Center. This will create a safer pedestrian flow between the dorm and the academic campus

The local board should consider a sidewalk at the exit of the south wing of the building for any allowed or emergency use. This sidewalk should connect into existing sidewalks across Cannoneer Loop.

There was no lighting information provided on the site plan. The local board should ensure the lighting provides a safe environment for the residents and minimizes any negative off-site lighting impacts on the road network.

The local board should ensure there is adequate access to the proposed dormitory for all emergency vehicles.

Please note that the advisory comments are not a condition of the County Planning Board's action. They are listed to assist the local board in its review of the project. The local board is free to make its final decision.

General Municipal Law, Section 239m requires the local board to notify the County of its action on this matter within thirty (30) days after taking a final action.

Thank you.

Sincerely,

A handwritten signature in cursive script that reads "Michael J. Bourcy".

Michael J. Bourcy
Senior Planner

MJB

Please return to: City of Watertown Planning Office
245 Washington Street, 3rd Floor
Watertown, NY 13601

anichols@watertown-ny.gov

County of Jefferson hereby concurs with the City of Watertown's assumption of Lead Agency status for the purposes the environmental review the proposed Jefferson Community College Residence Hall project, as required under the provisions of the State Environmental Quality Review Act.

Name: Donald R. Canfield

Signature: 

Title: Director of Planning

Date: March 27, 2013

Signature authorization per Resolution #261 of 1998.



Jefferson County Industrial Development Agency

800 Starbuck Avenue, Suite 800
Watertown, New York 13601

ph: 315.782.5865 / 800.553.4111
fx: 315.782.7915

www.jcida.com

March 28, 2013



Andrew Nichols, Planner
City of Watertown Planning Office
245 Washington Street, 3rd Floor
Watertown, New York 13601

Re: SEQRA Lead Agency Status
Jefferson FSA Auxiliary, LLC – JCC Residence Hall

Dear Mr. Nichols:

Per your letter dated March 25, 2013, enclosed please find a signed acknowledgement for the City of Watertown to assume Lead Agency status for the above mentioned.

Should you have any questions or need further information, please feel free to call the office at 782-5865.

Sincerely,

Donald C. Alexander (pss)

Donald C. Alexander
Chief Executive Officer

pss
Enclosure

Please return to: City of Watertown Planning Office
245 Washington Street, 3rd Floor
Watertown, NY 13601

anichols@watertown-ny.gov

Jefferson Co Industrial Development Agency hereby concurs with the City of Watertown's assumption of Lead Agency status for the purposes of the environmental review of the proposed Jefferson Community College Residence Hall project, as required under the provisions of the State Environmental Quality Review Act.

Name: Donald C. Alexander, CEO.

Signature: D.C. Alexander

Title: CEO

Date: 3/29/13

Please return to: City of Watertown Planning Office
245 Washington Street, 3rd Floor
Watertown, NY 13601

anichols@watertown-ny.gov



NYS Dept of Env. Cons. hereby concurs with the City of Watertown's assumption of Lead Agency status for the purposes the environmental review the proposed Jefferson Community College Residence Hall project, as required under the provisions of the State Environmental Quality Review Act.

Name: THOMAS VOSS

Signature: *Thomas Voss*

Title: EAI

Date: Apr. 11, 2013

Please return to: City of Watertown Planning Office
245 Washington Street, 3rd Floor
Watertown, NY 13601

anichols@watertown-ny.gov

The NYS Health Dept. hereby concurs with the City of Watertown's assumption of Lead Agency status for the purposes the environmental review the proposed Jefferson Community College Residence Hall project, as required under the provisions of the State Environmental Quality Review Act.

Name: Claude Curley, P.E.

Signature: Claude G. Curley

Title: District Engineer

Date: April 12th, 2013



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Appendix A
State Environmental Quality Review
FULL ENVIRONMENTAL ASSESSMENT FORM

Purpose: The full EAF is designed to help applicants and agencies determine, in an orderly manner, whether a project or action may be significant. The question of whether an action may be significant is not always easy to answer. Frequently, there are aspects of a project that are subjective or unmeasurable. It is also understood that those who determine significance may have little or no formal knowledge of the environment or may not be technically expert in environmental analysis. In addition, many who have knowledge in one particular area may not be aware of the broader concerns affecting the question of significance.

The full EAF is intended to provide a method whereby applicants and agencies can be assured that the determination process has been orderly, comprehensive in nature, yet flexible enough to allow introduction of information to fit a project or action.

Full EAF Components: The full EAF is comprised of three parts:

- Part 1:** Provides objective data and information about a given project and its site. By identifying basic project data, it assists a reviewer in the analysis that takes place in Parts 2 and 3.
- Part 2:** Focuses on identifying the range of possible impacts that may occur from a project or action. It provides guidance as to whether an impact is likely to be considered small to moderate or whether it is a potentially-large impact. The form also identifies whether an impact can be mitigated or reduced.
- Part 3:** If any impact in Part 2 is identified as potentially-large, then Part 3 is used to evaluate whether or not the impact is actually important.

THIS AREA FOR LEAD AGENCY USE ONLY

DETERMINATION OF SIGNIFICANCE -- Type 1 and Unlisted Actions

Identify the Portions of EAF completed for this project:

Part 1

Part 2

Part 3

Upon review of the information recorded on this EAF (Parts 1 and 2 and 3 if appropriate), and any other supporting information, and considering both the magnitude and importance of each impact, it is reasonably determined by the lead agency that:

- A. The project will not result in any large and important impact(s) and, therefore, is one which **will not** have a significant impact on the environment, therefore **a negative declaration will be prepared.**
- B. Although the project could have a significant effect on the environment, there will not be a significant effect for this Unlisted Action because the mitigation measures described in PART 3 have been required, therefore **a CONDITIONED negative declaration will be prepared.***
- C. The project may result in one or more large and important impacts that may have a significant impact on the environment, therefore **a positive declaration will be prepared.**

*A Conditioned Negative Declaration is only valid for Unlisted Actions

Name of Action

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

PART 1--PROJECT INFORMATION

Prepared by Project Sponsor

NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

Name of Action JCC Residence Hall

Location of Action (include Street Address, Municipality and County)

Corner of Rand Drive and Cannoneer Loop on the Jefferson Community College campus.

Name of Applicant/Sponsor Faculty-Student Association of JCC Inc.

Address 1220 Coffeen Street

City / PO Watertown State NY Zip Code 13601

Business Telephone 315-786-2353

Name of Owner (if different) _____

Address _____

City / PO _____ State _____ Zip Code _____

Business Telephone _____

Description of Action:

Construction of a four (4) story residence hall.

Please Complete Each Question--Indicate N.A. if not applicable

A. SITE DESCRIPTION

Physical setting of overall project, both developed and undeveloped areas.

1. Present Land Use: Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Other College Campus

2. Total acreage of project area: 6.55 acres.

APPROXIMATE ACREAGE	PRESENTLY	AFTER COMPLETION
Meadow or Brushland (Non-agricultural)	<u>6.55</u> acres	<u>1.56</u> acres
Forested	_____ acres	_____ acres
Agricultural (Includes orchards, cropland, pasture, etc.)	_____ acres	_____ acres
Wetland (Freshwater or tidal as per Articles 24.25 of ECL)	_____ acres	_____ acres
Water Surface Area	_____ acres	_____ acres
Unvegetated (Rock, earth or fill)	_____ acres	_____ acres
Roads, buildings and other paved surfaces	<u>0</u> acres	<u>2.07</u> acres
Other (Indicate type) <u>lawn</u>	<u>0</u> acres	<u>2.92</u> acres

3. What is predominant soil type(s) on project site?

- a. Soil drainage: Well drained _____% of site Moderately well drained 100% of site.
 Poorly drained _____% of site

b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? N/A acres (see 1 NYCRR 370).

4. Are there bedrock outcroppings on project site? Yes No

a. What is depth to bedrock 8-2 (in feet)

5. Approximate percentage of proposed project site with slopes:

- 0-10% 61 % 10- 15% 15 % 15% or greater 24 %

6. Is project substantially contiguous to, or contain a building, site, or district, listed on the State or National Registers of Historic Places? Yes No

7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? Yes No

8. What is the depth of the water table? unknown (in feet)

9. Is site located over a primary, principal, or sole source aquifer? Yes No

10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? Yes No

11. Does project site contain any species of plant or animal life that is identified as threatened or endangered? Yes No

According to:

New York State Department Of Environmental Conservation

Identify each species:

We are in contact with the NYSDEC and awaiting their response to our request to review the proposed site for any threatened or endangered plant or animal life. It is anticipated that the response from the DEC with not be forthcoming until the first week of April.

12. Are there any unique or unusual land forms on the project site? (i.e., cliffs, dunes, other geological formations?)

Yes No

Describe:

13. Is the project site presently used by the community or neighborhood as an open space or recreation area?

Yes No

If yes, explain:

There is a walking trail through the site.

14. Does the present site include scenic views known to be important to the community? Yes No

15. Streams within or contiguous to project area:

N/A

a. Name of Stream and name of River to which it is tributary

N/A

16. Lakes, ponds, wetland areas within or contiguous to project area:

N/A

b. Size (in acres):

17. Is the site served by existing public utilities? Yes No
- a. If YES, does sufficient capacity exist to allow connection? Yes No
- b. If YES, will improvements be necessary to allow connection? Yes No
18. Is the site located in an agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? Yes No
20. Has the site ever been used for the disposal of solid or hazardous wastes? Yes No

B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate).

- a. Total contiguous acreage owned or controlled by project sponsor: 6.55 acres.
- b. Project acreage to be developed: 4.99 acres initially; 4.99 acres ultimately.
- c. Project acreage to remain undeveloped: 1.56 acres.
- d. Length of project, in miles: N/A (if appropriate)
- e. If the project is an expansion, indicate percent of expansion proposed. N/A %
- f. Number of off-street parking spaces existing 0; proposed 151
- g. Maximum vehicular trips generated per hour: unknown (upon completion of project)?
- h. If residential: Number and type of housing units:

	One Family	Two Family	Multiple Family	Condominium
Initially	_____	_____	_____	_____
Ultimately	_____	_____	_____	_____

- i. Dimensions (in feet) of largest proposed structure: 51 ft height; 50 ft width; 330 ft length.
- j. Linear feet of frontage along a public thoroughfare project will occupy is? 1225 ft ft.

2. How much natural material (i.e. rock, earth, etc.) will be removed from the site? unknown tons/cubic yards.

3. Will disturbed areas be reclaimed Yes No N/A

a. If yes, for what intended purpose is the site being reclaimed?

Those areas that will not be building or hard surfaces will be lawn.

- b. Will topsoil be stockpiled for reclamation? Yes No
- c. Will upper subsoil be stockpiled for reclamation? Yes No

4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 4.99 acres.

5. Will any mature forest (over 100 years old) or other locally-important vegetation be removed by this project?

Yes No

6. If single phase project: Anticipated period of construction: 12 months, (including demolition)

7. If multi-phased:

a. Total number of phases anticipated _____ (number)

b. Anticipated date of commencement phase 1: _____ month _____ year, (including demolition)

c. Approximate completion date of final phase: _____ month _____ year.

d. Is phase 1 functionally dependent on subsequent phases? Yes No

8. Will blasting occur during construction? Yes No

9. Number of jobs generated: during construction _____; after project is complete

10. Number of jobs eliminated by this project 0.

11. Will project require relocation of any projects or facilities? Yes No

If yes, explain:

12. Is surface liquid waste disposal involved? Yes No

a. If yes, indicate type of waste (sewage, industrial, etc) and amount _____

b. Name of water body into which effluent will be discharged _____

13. Is subsurface liquid waste disposal involved? Yes No Type _____

14. Will surface area of an existing water body increase or decrease by proposal? Yes No

If yes, explain:

15. Is project or any portion of project located in a 100 year flood plain? Yes No

16. Will the project generate solid waste? Yes No

a. If yes, what is the amount per month? unknown tons

b. If yes, will an existing solid waste facility be used? Yes No

c. If yes, give name DANC landfill : location Rodman, NY

d. Will any wastes not go into a sewage disposal system or into a sanitary landfill? Yes No

e. If yes, explain:

17. Will the project involve the disposal of solid waste? Yes No

a. If yes, what is the anticipated rate of disposal? unknown tons/month.

b. If yes, what is the anticipated site life? unknown years.

18. Will project use herbicides or pesticides? Yes No

19. Will project routinely produce odors (more than one hour per day)? Yes No

20. Will project produce operating noise exceeding the local ambient noise levels? Yes No

21. Will project result in an increase in energy use? Yes No

If yes, indicate type(s)

Electrical and natural gas.

22. If water supply is from wells, indicate pumping capacity N/A gallons/minute.

23. Total anticipated water usage per day 11,600 gallons/day.

24. Does project involve Local, State or Federal funding? Yes No

If yes, explain:

25. Approvals Required:

		Type	Submittal Date
City, Town, Village Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site Plan Approval	3/19/13
City of Watertown, City Council			
City, Town, Village Planning Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site Plan Approval	3/19/13
City of Watertown, Planning Board			
City, Town Zoning Board	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
City, County Health Department	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Other Local Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Other Regional Agencies	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Jefferson County		Land Disposition	
Jefferson County Civic Facility		Bond Issuance	
Development Corporation			
State Agencies	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SWPPP	Not submitted <input checked="" type="checkbox"/>
NYSDEC		Water Supply Extension	Not Submitted <input checked="" type="checkbox"/>
NYSDOH		Sewer Connection	Not Submitted <input checked="" type="checkbox"/>
NYSDEC			
Federal Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Zoning and Planning Information

1. Does proposed action involve a planning or zoning decision? Yes No

If Yes, indicate decision required:

- | | | | |
|---|---|--|--------------------------------------|
| <input type="checkbox"/> Zoning amendment | <input type="checkbox"/> Zoning variance | <input type="checkbox"/> New/revision of master plan | <input type="checkbox"/> Subdivision |
| <input checked="" type="checkbox"/> Site plan | <input type="checkbox"/> Special use permit | <input type="checkbox"/> Resource management plan | <input type="checkbox"/> Other |

2. What is the zoning classification(s) of the site?

Residence "C"

3. What is the maximum potential development of the site if developed as permitted by the present zoning?

N/A

4. What is the proposed zoning of the site?

N/A

5. What is the maximum potential development of the site if developed as permitted by the proposed zoning?

N/A

6. Is the proposed action consistent with the recommended uses in adopted local land use plans? Yes No

7. What are the predominant land use(s) and zoning classifications within a ¼ mile radius of proposed action?

Residence "A", Open Space and Recreation and Waterfront.

8. Is the proposed action compatible with adjoining/surrounding land uses with a ¼ mile? Yes No

9. If the proposed action is the subdivision of land, how many lots are proposed? 1

a. What is the minimum lot size proposed? 6.55 acres

10. Will proposed action require any authorization(s) for the formation of sewer or water districts? Yes No

11. Will the proposed action create a demand for any community provided services (recreation, education, police, fire protection)?

Yes No

a. If yes, is existing capacity sufficient to handle projected demand? Yes No

12. Will the proposed action result in the generation of traffic significantly above present levels? Yes No

a. If yes, is the existing road network adequate to handle the additional traffic. Yes No

D. Informational Details

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

E. Verification

I certify that the information provided above is true to the best of my knowledge.

Applicant/Sponsor Name David Schisler

Date

3/22/13

Signature



Title Executive Director, Faculty-Student Association of JCC, Inc.

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

PART 2 - PROJECT IMPACTS AND THEIR MAGNITUDE

Responsibility of Lead Agency

General Information (Read Carefully)

- ! In completing the form the reviewer should be guided by the question: Have my responses and determinations been **reasonable**? The reviewer is not expected to be an expert environmental analyst.
- ! The **Examples** provided are to assist the reviewer by showing types of impacts and wherever possible the threshold of magnitude that would trigger a response in column 2. The examples are generally applicable throughout the State and for most situations. But, for any specific project or site other examples and/or lower thresholds may be appropriate for a Potential Large Impact response, thus requiring evaluation in Part 3.
- ! The impacts of each project, on each site, in each locality, will vary. Therefore, the examples are illustrative and have been offered as guidance. They do not constitute an exhaustive list of impacts and thresholds to answer each question.
- ! The number of examples per question does not indicate the importance of each question.
- ! In identifying impacts, consider long term, short term and cumulative effects.

Instructions (Read carefully)

- a. Answer each of the 20 questions in PART 2. Answer **Yes** if there will be **any** impact.
- b. **Maybe** answers should be considered as **Yes** answers.
- c. If answering **Yes** to a question then check the appropriate box(column 1 or 2)to indicate the potential size of the impact. If impact threshold equals or exceeds any example provided, check column 2. If impact will occur but threshold is lower than example, check column 1.
- d. Identifying that an Impact will be potentially large (column 2) does not mean that it is also necessarily **significant**. Any large impact must be evaluated in PART 3 to determine significance. Identifying an impact in column 2 simply asks that it be looked at further.
- e. If reviewer has doubt about size of the impact then consider the impact as potentially large and proceed to PART 3.
- f. If a potentially large impact checked in column 2 can be mitigated by change(s) in the project to a small to moderate impact, also check the **Yes** box in column 3. A **No** response indicates that such a reduction is not possible. This must be explained in Part 3.

1	2	3
Small to Moderate Impact	Potential Large Impact	Can Impact Be Mitigated by Project Change

Impact on Land

1. Will the Proposed Action result in a physical change to the project site?

NO YES

Examples that would apply to column 2

- | | | | | |
|--|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Any construction on slopes of 15% or greater, (15 foot rise per 100 foot of length), or where the general slopes in the project area exceed 10%. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Construction on land where the depth to the water table is less than 3 feet. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Construction of paved parking area for 1,000 or more vehicles. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Construction on land where bedrock is exposed or generally within 3 feet of existing ground surface. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Construction that will continue for more than 1 year or involve more than one phase or stage. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Excavation for mining purposes that would remove more than 1,000 tons of natural material (i.e., rock or soil) per year. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change	
--	-------------------------------------	-----------------------------------	--	--

- Construction or expansion of a sanitary landfill. Yes No
- Construction in a designated floodway. Yes No
- Other impacts: Yes No

2. Will there be an effect to any unique or unusual land forms found on the site? (i.e., cliffs, dunes, geological formations, etc.)

NO YES

- Specific land forms: Yes No

Impact on Water

3. Will Proposed Action affect any water body designated as protected? (Under Articles 15, 24, 25 of the Environmental Conservation Law, ECL)

NO YES

Examples that would apply to column 2

- Developable area of site contains a protected water body. Yes No
- Dredging more than 100 cubic yards of material from channel of a protected stream. Yes No
- Extension of utility distribution facilities through a protected water body. Yes No
- Construction in a designated freshwater or tidal wetland. Yes No
- Other impacts: Yes No

4. Will Proposed Action affect any non-protected existing or new body of water?

NO YES

Examples that would apply to column 2

- A 10% increase or decrease in the surface area of any body of water or more than a 10 acre increase or decrease. Yes No
- Construction of a body of water that exceeds 10 acres of surface area. Yes No
- Other impacts: Yes No

1	2	3
Small to Moderate Impact	Potential Large Impact	Can Impact Be Mitigated by Project Change

6. Will Proposed Action alter drainage flow or patterns, or surface water runoff?

NO YES

Examples that would apply to column 2

- | | | | | |
|--|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Proposed Action would change flood water flows | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action may cause substantial erosion. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action is incompatible with existing drainage patterns. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will allow development in a designated floodway. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

IMPACT ON AIR

7. Will Proposed Action affect air quality?

NO YES

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Proposed Action will induce 1,000 or more vehicle trips in any given hour. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will result in the incineration of more than 1 ton of refuse per hour. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Emission rate of total contaminants will exceed 5 lbs. per hour or a heat source producing more than 10 million BTU's per hour. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will allow an increase in the amount of land committed to industrial use. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will allow an increase in the density of industrial development within existing industrial areas. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

IMPACT ON PLANTS AND ANIMALS

8. Will Proposed Action affect any threatened or endangered species?

NO YES

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Reduction of one or more species listed on the New York or Federal list, using the site, over or near the site, or found on the site. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Removal of any portion of a critical or significant wildlife habitat.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Application of pesticide or herbicide more than twice a year, other than for agricultural purposes.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

9. Will Proposed Action substantially affect non-threatened or non-endangered species?

NO YES

Examples that would apply to column 2

• Proposed Action would substantially interfere with any resident or migratory fish, shellfish or wildlife species.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed Action requires the removal of more than 10 acres of mature forest (over 100 years of age) or other locally important vegetation.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON AGRICULTURAL LAND RESOURCES

10. Will Proposed Action affect agricultural land resources?

NO YES

Examples that would apply to column 2

• The Proposed Action would sever, cross or limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Construction activity would excavate or compact the soil profile of agricultural land.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• The Proposed Action would irreversibly convert more than 10 acres of agricultural land or, if located in an Agricultural District, more than 2.5 acres of agricultural land.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• The Proposed Action would disrupt or prevent installation of agricultural land management systems (e.g., subsurface drain lines, outlet ditches, strip cropping); or create a need for such measures (e.g. cause a farm field to drain poorly due to increased runoff).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON AESTHETIC RESOURCES

11. Will Proposed Action affect aesthetic resources? (If necessary, use the Visual EAF Addendum in Section 617.20, Appendix B.)

NO YES

Examples that would apply to column 2

• Proposed land uses, or project components obviously different from or in sharp contrast to current surrounding land use patterns, whether man-made or natural.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed land uses, or project components visible to users of aesthetic resources which will eliminate or significantly reduce their enjoyment of the aesthetic qualities of that resource.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Project components that will result in the elimination or significant screening of scenic views known to be important to the area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON HISTORIC AND ARCHAEOLOGICAL RESOURCES

12. Will Proposed Action impact any site or structure of historic, prehistoric or paleontological importance?

NO YES

Examples that would apply to column 2

• Proposed Action occurring wholly or partially within or substantially contiguous to any facility or site listed on the State or National Register of historic places.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Any impact to an archaeological site or fossil bed located within the project site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed Action will occur in an area designated as sensitive for archaeological sites on the NYS Site Inventory.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON OPEN SPACE AND RECREATION

13. Will proposed Action affect the quantity or quality of existing or future open spaces or recreational opportunities?
 NO YES

Examples that would apply to column 2

• The permanent foreclosure of a future recreational opportunity.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• A major reduction of an open space important to the community.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON CRITICAL ENVIRONMENTAL AREAS

14. Will Proposed Action impact the exceptional or unique characteristics of a critical environmental area (CEA) established pursuant to subdivision 6NYCRR 617.14(g)?
 NO YES

List the environmental characteristics that caused the designation of the CEA.

Examples that would apply to column 2

• Proposed Action to locate within the CEA?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed Action will result in a reduction in the quantity of the resource?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed Action will result in a reduction in the quality of the resource?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed Action will impact the use, function or enjoyment of the resource?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
-------------------------------------	-----------------------------------	--

IMPACT ON TRANSPORTATION

15. Will there be an effect to existing transportation systems?
 NO YES

Examples that would apply to column 2

- | | | | | |
|--|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Alteration of present patterns of movement of people and/or goods. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will result in major traffic problems. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

IMPACT ON ENERGY

16. Will Proposed Action affect the community's sources of fuel or energy supply?
 NO YES

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Proposed Action will cause a greater than 5% increase in the use of any form of energy in the municipality. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two family residences or to serve a major commercial or industrial use. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

NOISE AND ODOR IMPACT

17. Will there be objectionable odors, noise, or vibration as a result of the Proposed Action?
 NO YES

Examples that would apply to column 2

- | | | | | |
|--|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Blasting within 1,500 feet of a hospital, school or other sensitive facility. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Odors will occur routinely (more than one hour per day). | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will produce operating noise exceeding the local ambient noise levels for noise outside of structures. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will remove natural barriers that would act as a noise screen. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Proposed Action will set an important precedent for future projects.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed Action will create or eliminate employment.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

20. Is there, or is there likely to be, public controversy related to potential adverse environment impacts?
 NO YES

If Any Action in Part 2 Is Identified as a Potential Large Impact or If you Cannot Determine the Magnitude of Impact, Proceed to Part 3

Part 3 - EVALUATION OF THE IMPORTANCE OF IMPACTS

Responsibility of Lead Agency

Part 3 must be prepared if one or more impact(s) is considered to be potentially large, even if the impact(s) may be mitigated.

Instructions (If you need more space, attach additional sheets)

Discuss the following for each impact identified in Column 2 of Part 2:

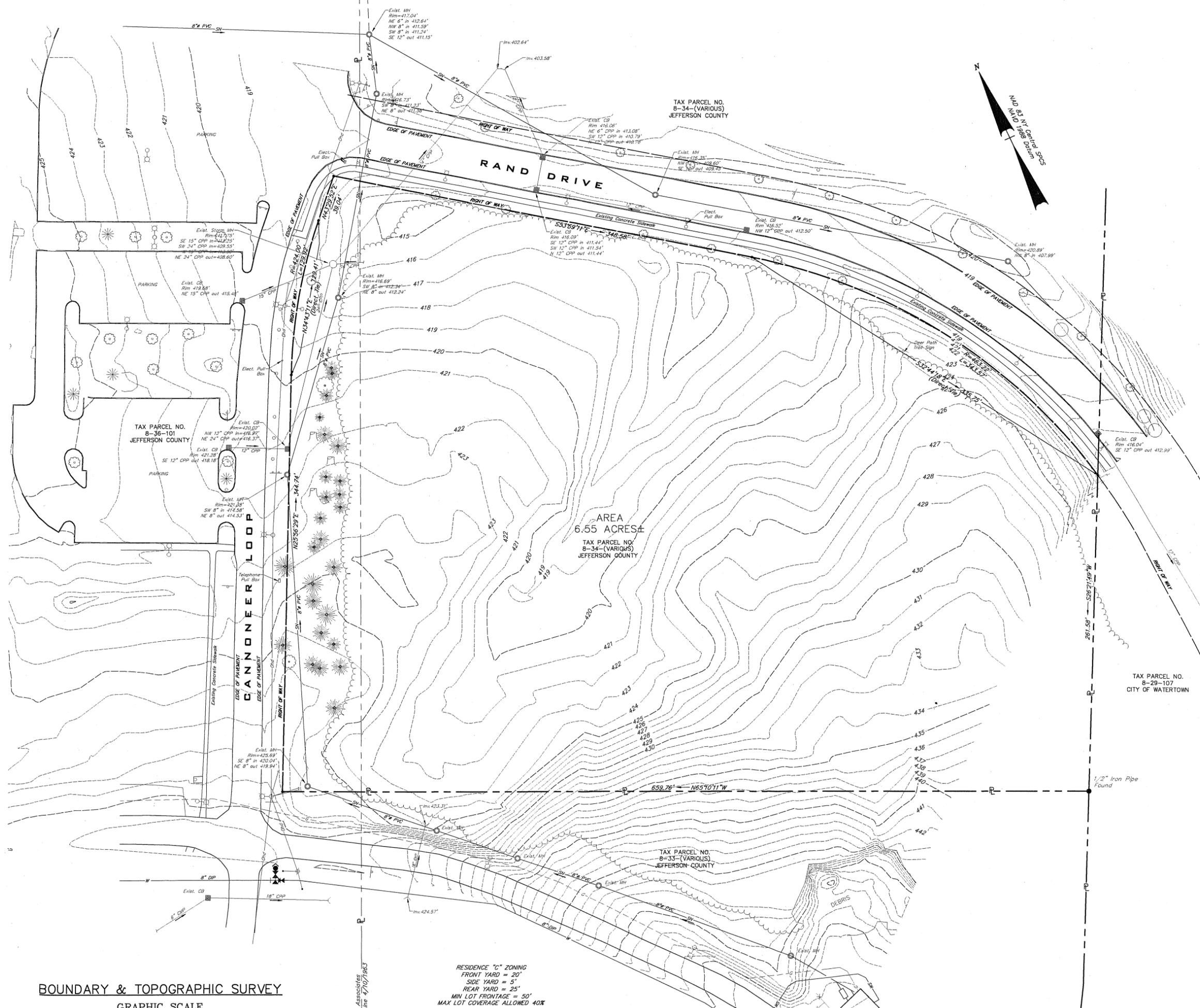
1. Briefly describe the impact.
2. Describe (if applicable) how the impact could be mitigated or reduced to a small to moderate impact by project change(s).
3. Based on the information available, decide if it is reasonable to conclude that this impact is **important**.

To answer the question of importance, consider:

- ! The probability of the impact occurring
- ! The duration of the impact
- ! Its irreversibility, including permanently lost resources of value
- ! Whether the impact can or will be controlled
- ! The regional consequence of the impact
- ! Its potential divergence from local needs and goals
- ! Whether known objections to the project relate to this impact.

LEGEND

- EXISTING MANHOLE
- ⊕ EXISTING CATCH BASIN
- ⊕ F.H. EXISTING FIRE HYDRANT
- ⊕ EXISTING VALVE
- SW — EXISTING SANITARY SEWER LINE
- ST — EXISTING STORM SEWER LINE
- W — EXISTING WATER LINE
- UE — EXISTING UNDERGROUND ELECTRIC
- OE — EXISTING OVERHEAD ELECTRIC
- UT — EXISTING UNDERGROUND TELEPHONE
- G — EXISTING GAS MAIN
- — EXISTING EDGE OF PAVEMENT
- — EXISTING RIGHT OF WAY
- — EXISTING PROPERTY LINE
- — EXISTING CENTERLINE OF ROADWAY
- 421 — EXISTING MINOR CONTOUR
- 420 — EXISTING MAJOR CONTOUR
- — EXISTING FENCE LINE
- — EXISTING SINGLE POST SIGN
- — EXISTING TWO POST SIGN
- — EXISTING POWER POLE
- — EXISTING POWER POLE W/ LIGHT FIXTURE
- — EXISTING LIGHT POLE
- — EXISTING GAS MARKER
- — EXISTING TREES
- — EXISTING TREE LINE



BOUNDARY & TOPOGRAPHIC SURVEY
GRAPHIC SCALE

RESIDENCE "C" ZONING
FRONT YARD = 20'
SIDE YARD = 5'
REAR YARD = 25'
MIN LOT FRONTAGE = 50'
MAX LOT COVERAGE ALLOWED 40%

PURCELL CONSTRUCTION
566 COFFEE STREET
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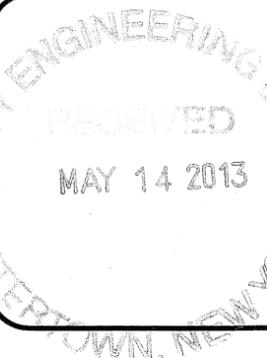
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JEFFERSON COMMUNITY COLLEGE

NEW RESIDENCE HALL
1220 COFFEE STREET
WATERTOWN, NEW YORK 136

KEY PLAN
N.T.S.



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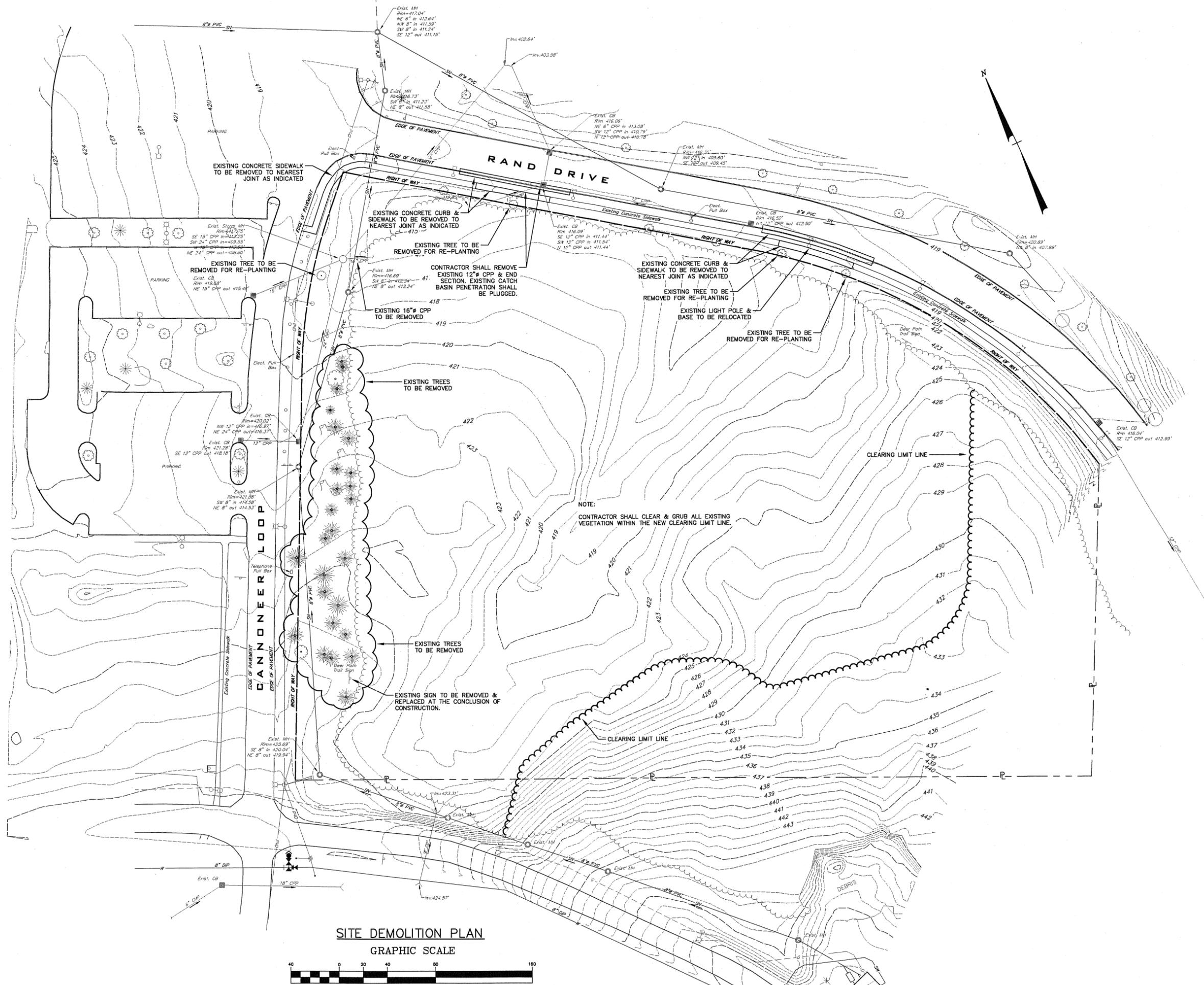
BOUNDARY AND TOPOGRAPHIC SURVEY

- 1.) 4/26/2013 - CITY OF WATERTOWN SITE PLAN RE-SUBMITTAL
- 2.) 5/7/2013 - CITY OF WATERTOWN SITE PLAN RE-SUBMITTAL
- 3.) 5/14/2013 - CITY OF WATERTOWN SITE PLAN RE-SUBMITTAL

REVISION	DATE	BY	CHKD
AS NOTED			
MARCH 19, 2013			
JBE			
12.007			

LEGEND

- EXISTING MANHOLE
- ⊙ EXISTING CATCH BASIN
- ⊕ EXISTING FIRE HYDRANT
- ⊗ EXISTING VALVE
- SW — EXISTING SANITARY SEWER LINE
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- EOP — EXISTING EDGE OF PAVEMENT
- ROM — EXISTING RIGHT OF WAY
- — — EXISTING PROPERTY LINE
- CL — EXISTING CENTERLINE OF ROADWAY
- 421 — EXISTING MINOR CONTOUR
- 420 — EXISTING MAJOR CONTOUR
- — — EXISTING FENCE LINE
- EXISTING SINGLE POST SIGN
- EXISTING TWO POST SIGN
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- EXISTING POWER POLE W/ LIGHT FIXTURE
- EXISTING LIGHT POLE
- EXISTING GAS MARKER
- EXISTING TREES
- EXISTING TREE LINE



SITE DEMOLITION PLAN

GRAPHIC SCALE



PURCELL CONSTRUCTION
566 COFFEEN STREET
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F: 315-782-5820

MACH ARCHITECTURE + ENGINEERING, P.C.
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bc&n
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WATERTOWN, NEW YORK

KEY PLAN
N.T.S.

ENGINEERING RECEIVED
MAY 14 2013

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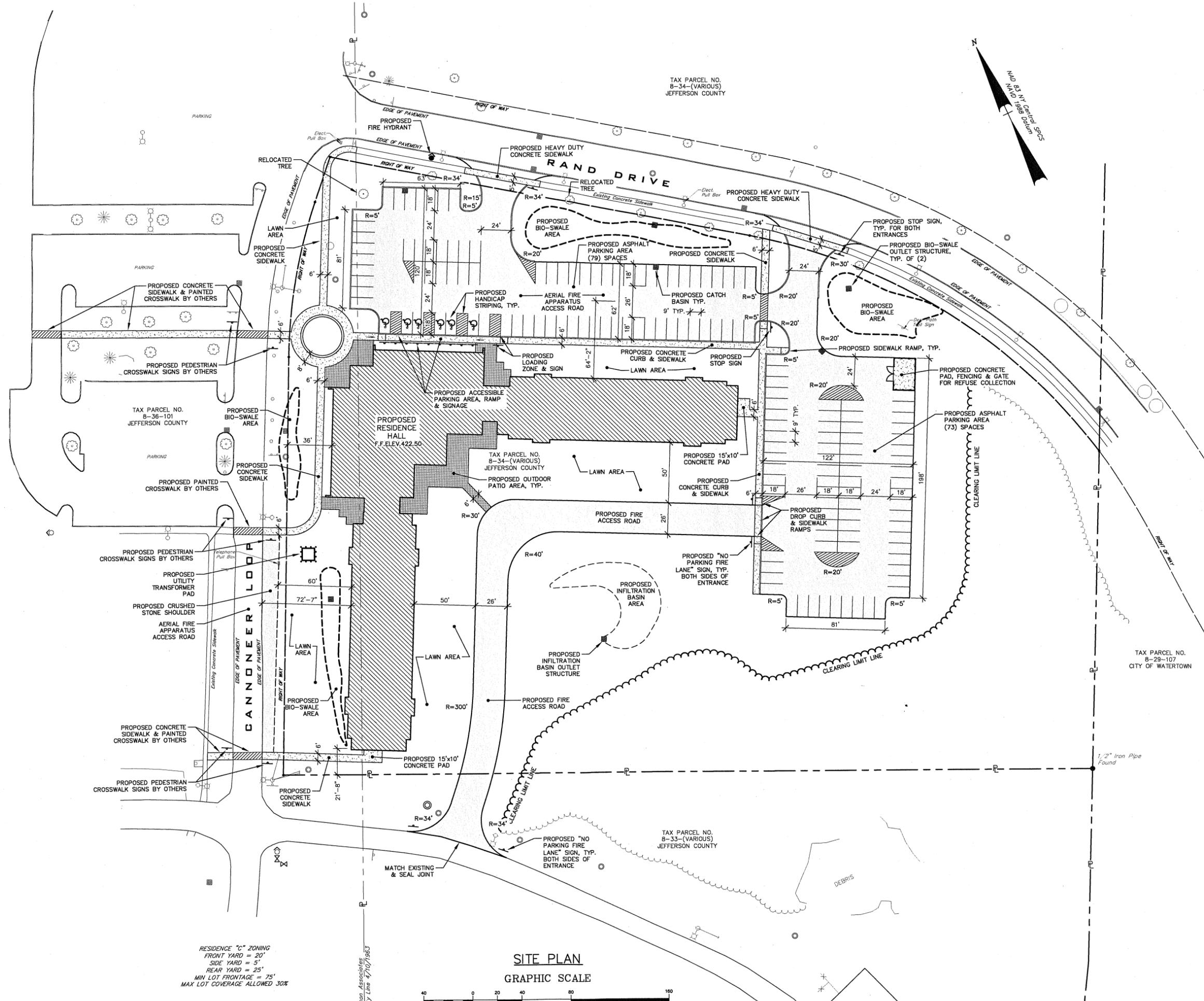
SITE DEMOLITION PLAN

- 1.) 4/26/2013 - CITY OF WATERTOWN SITE
- 2.) 5/7/2013 - CITY OF WATERTOWN SITE
- 3.) 5/14/2013 - CITY OF WATERTOWN SITE

AS NOTED
MARCH 19, 2013
JBE
12.007

LEGEND

—W—	NEW WATER MAIN
—SN—	NEW SANITARY SEWER LINE
—ST—	NEW STORM SEWER LINE
—G—	NEW GAS LINE
—UE—	NEW UNDERGROUND ELECTRIC LINE
—430—	NEW CONTOUR
○	NEW MANHOLE
■	NEW CATCH BASIN
●	NEW FIRE HYDRANT
⊕	NEW WATER VALVE
○	EXISTING MANHOLE
■	EXISTING CATCH BASIN
●	EXISTING FIRE HYDRANT
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○	EXISTING TREES
○	EXISTING TREE LINE



RESIDENCE "C" ZONING
 FRONT YARD = 20'
 SIDE YARD = 5'
 REAR YARD = 25'
 MIN LOT FRONTAGE = 75'
 MAX LOT COVERAGE ALLOWED 30%

SITE PLAN
GRAPHIC SCALE



PURCELL
 566 COFFEEN ST
 WATERTOWN, NEW
 JERSEY
 T: 315-782-1082
 F: 315-782-582

MACH ARCHITECTURE + ENGINEERING
 5500 MAIN STREET
 WILLIAMSVILLE, N.H.
 T: 716-565-1344
 F: 716-565-1338

BERNIER, CARR ASSOCIATES, P.A.
 327 MULLIN STREET
 WATERTOWN, NEW
 JERSEY
 T: 315-782-8133
 F: 315-782-7119

JEFFERSON COMMUNITY COLLEGE

NEW RESIDENCE HALL
 1220 COFFEEN ST
 WATERTOWN, NEW JERSEY

KEY PLAN
 N.T.S.

CITY ENGINEER RECEIVED
 MAY 14 2013

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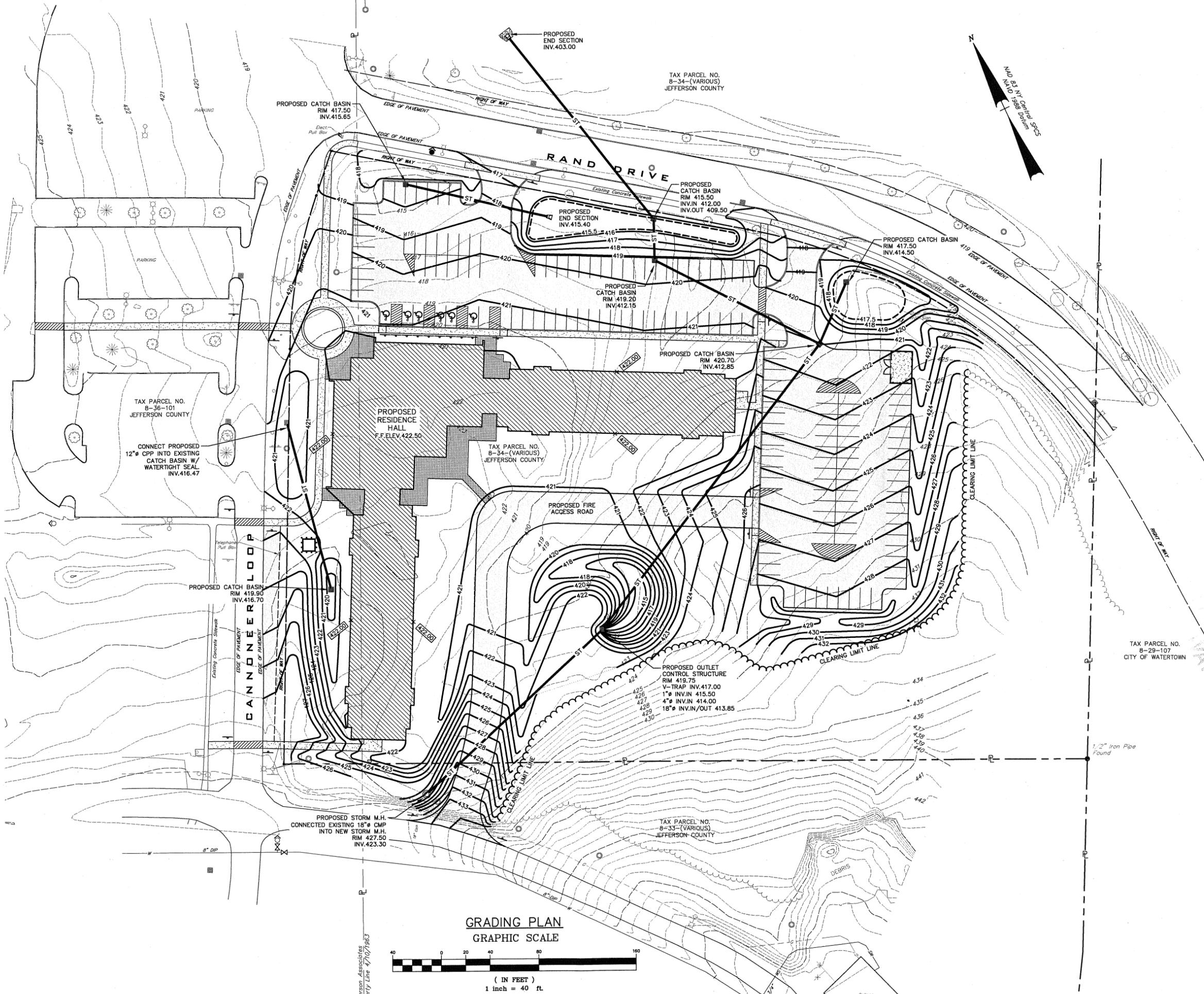
SITE PLAN

- 1.) 4/26/2013 - CITY OF WATERTOWN SITE PLAN
- 2.) 5/7/2013 - CITY OF WATERTOWN SITE PLAN
- 3.) 5/14/2013 - CITY OF WATERTOWN SITE PLAN

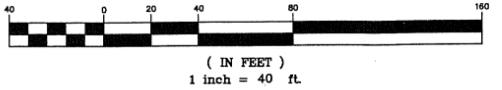
AS NOTED
 MARCH 19, 2013
 JBE
 12.007

LEGEND

- W — NEW WATER MAIN
- SN — NEW SANITARY SEWER LINE
- ST — NEW STORM SEWER LINE
- G — NEW GAS LINE
- UE — NEW UNDERGROUND ELECTRIC LINE
- 430 — NEW CONTOUR
- NEW MANHOLE
- NEW CATCH BASIN
- NEW FIRE HYDRANT
- ⊗ NEW WATER VALVE
- EXISTING MANHOLE
- EXISTING CATCH BASIN
- EXISTING FIRE HYDRANT
- ⊗ EXISTING VALVE
- SN — EXISTING SANITARY SEWER LINE
- ST — EXISTING STORM SEWER LINE
- W — EXISTING WATER LINE
- UE — EXISTING UNDERGROUND ELECTRIC
- OE — EXISTING OVERHEAD ELECTRIC
- UT — EXISTING UNDERGROUND TELEPHONE
- G — EXISTING GAS MAIN
- — EXISTING EDGE OF PAVEMENT
- — EXISTING RIGHT OF WAY
- — EXISTING PROPERTY LINE
- — EXISTING CENTERLINE OF ROADWAY
- 421 — EXISTING MINOR CONTOUR
- 420 — EXISTING MAJOR CONTOUR
- — EXISTING FENCE LINE
- — EXISTING SINGLE POST SIGN
- — EXISTING TWO POST SIGN
- — EXISTING POWER POLE
- — EXISTING POWER POLE W/ LIGHT FIXTURE
- — EXISTING LIGHT POLE
- — EXISTING GAS MARKER
- — EXISTING TREES
- — EXISTING TREE LINE



GRADING PLAN
GRAPHIC SCALE



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NEW RESIDENCE HALL
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WATERTOWN, NEW YORK

KEY PLAN
N.T.S.

ENGINEERING
MAY 14 2013

TAX PARCEL NO. 8-29-107
CITY OF WATERTOWN

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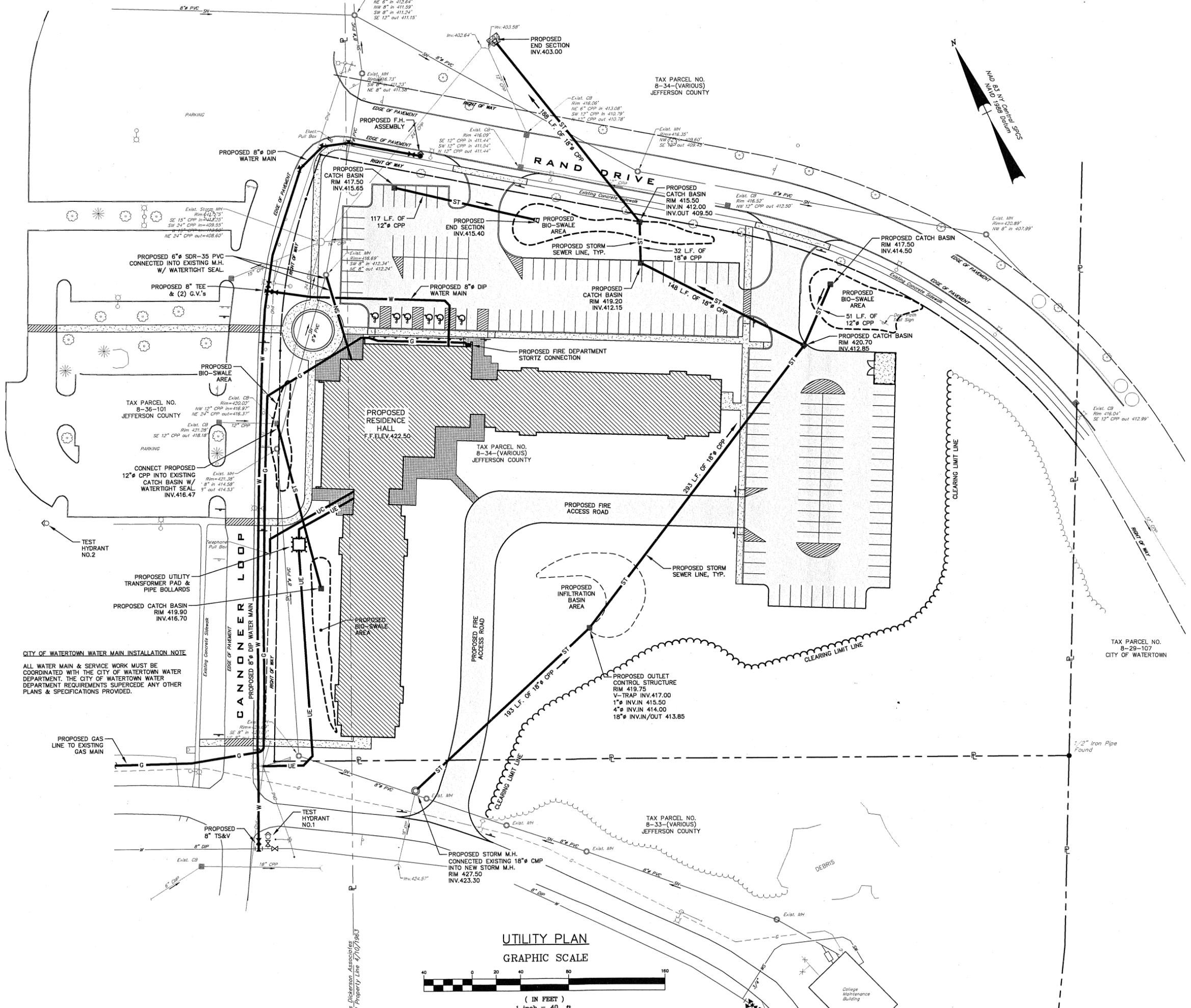
GRADING PLAN

- 1.) 4/26/2013 - CITY OF WATERTOWN SITE
- 2.) 5/7/2013 - CITY OF WATERTOWN SITE
- 3.) 5/14/2013 - CITY OF WATERTOWN SITE

AS NOTED
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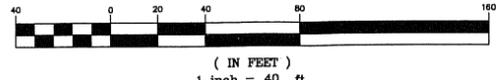
LEGEND

- W — NEW WATER MAIN
- SN — NEW SANITARY SEWER LINE
- ST — NEW STORM SEWER LINE
- G — NEW GAS LINE
- UE — NEW UNDERGROUND ELECTRIC LINE
- ⊙ NEW MANHOLE
- ⊕ NEW CATCH BASIN
- ⊕ NEW FIRE HYDRANT
- ⊕ NEW WATER VALVE
- ⊙ EXISTING MANHOLE
- ⊕ EXISTING CATCH BASIN
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING VALVE
- SW — EXISTING SANITARY SEWER LINE
- ST — EXISTING STORM SEWER LINE
- W — EXISTING WATER LINE
- UE — EXISTING UNDERGROUND ELECTRIC
- OE — EXISTING OVERHEAD ELECTRIC
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- — EXISTING POWER POLE W/ LIGHT FIXTURE
- — EXISTING LIGHT POLE
- — EXISTING GAS MARKER
- — EXISTING TREES
- — EXISTING TREE LINE



CITY OF WATERTOWN WATER MAIN INSTALLATION NOTE
 ALL WATER MAIN & SERVICE WORK MUST BE COORDINATED WITH THE CITY OF WATERTOWN WATER DEPARTMENT. THE CITY OF WATERTOWN WATER DEPARTMENT REQUIREMENTS SUPERCEDE ANY OTHER PLANS & SPECIFICATIONS PROVIDED.

**UTILITY PLAN
 GRAPHIC SCALE**



PURCELL CONSULTANTS
 566 COFFEE STREET
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 T: 315-782-1050
 F: 315-782-5820

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 F: 716-565-1389

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KEY PLAN
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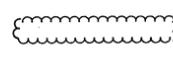
CITY ENGINEER
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 MAY 14
 WATERTOWN, NY

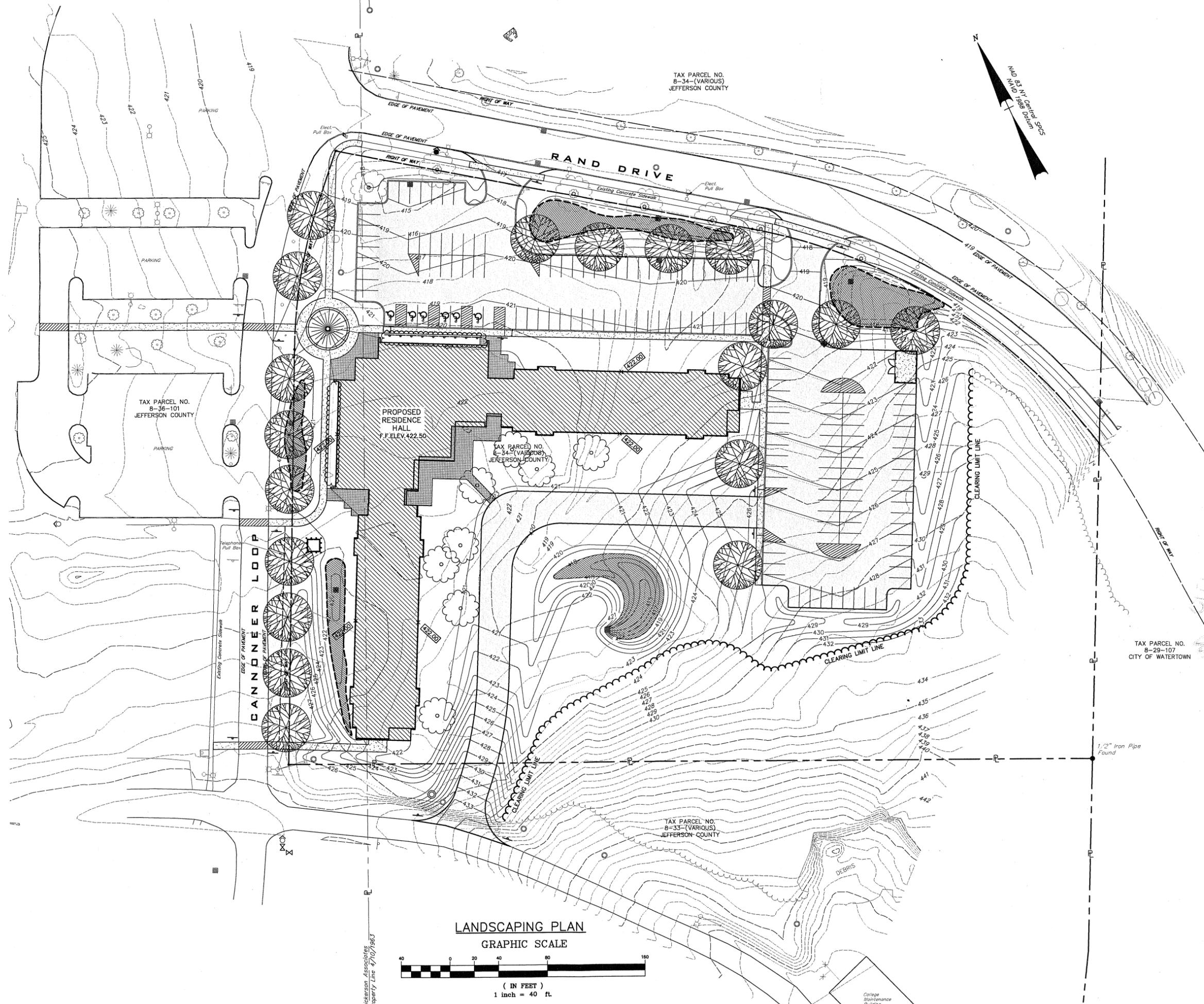
UTILITY PLAN

1.) 4/26/2013 - CITY OF WATERTOWN SITE
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 3.) 5/14/2013 - CITY OF WATERTOWN SITE

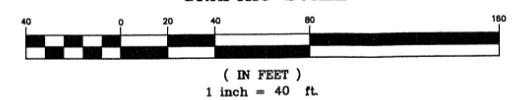
AS NOTED
 MARCH 19, 2013
 JBE
 12.007

LANDSCAPING PLANTING LEGEND

-  EXISTING TREES
-  PROPOSED STREET TREES (LARGE DECIDUOUS)
-  PROPOSED TREES (SMALL DECIDUOUS & SHRUBS)
-  PROPOSED STREET TREES (LARGE CONIFEROUS)
-  PROPOSED PLANTING AREAS CONSISTING OF LARGE ROCKS & COBBLESTONES W/ PERENNIALS & NATIVE WOODY PLANTS
-  PROPOSED PLANTING AREAS CONSISTING OF COBBLESTONES W/ PERENNIALS & SHRUBS



LANDSCAPING PLAN
GRAPHIC SCALE



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KEY PLAN
N.T.S.

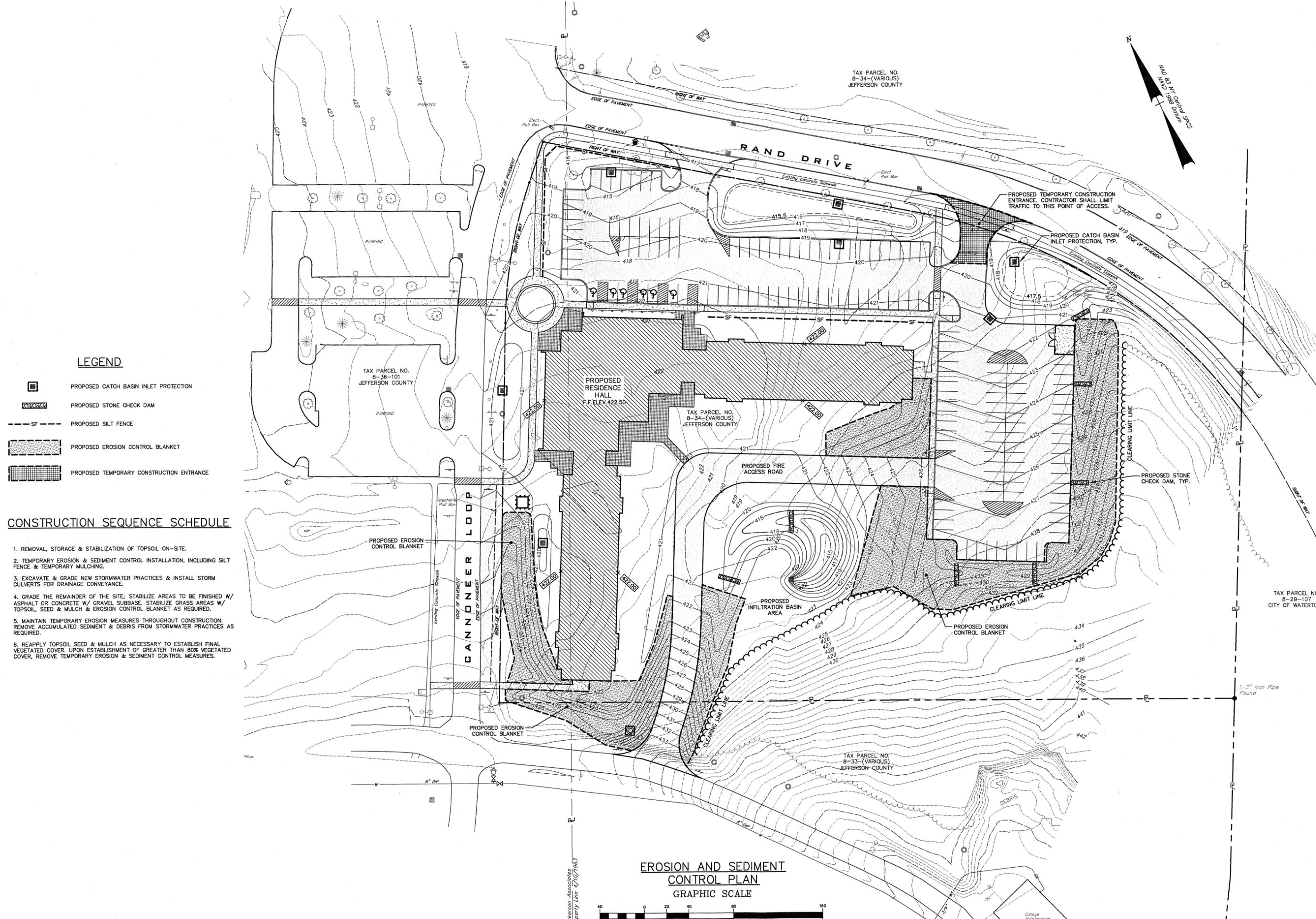
CITY ENGINEER

MAY 13 2013

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- LANDSCAPING PLAN**
- 4/26/2013 - CITY OF WATERTOWN SITE PLAN
 - 5/7/2013 - CITY OF WATERTOWN SITE PLAN
 - 5/14/2013 - CITY OF WATERTOWN SITE PLAN

AS NOTED
MARCH 19, 2013
JBE
12.007



LEGEND

- PROPOSED CATCH BASIN INLET PROTECTION
- PROPOSED STONE CHECK DAM
- PROPOSED SILT FENCE
- PROPOSED EROSION CONTROL BLANKET
- PROPOSED TEMPORARY CONSTRUCTION ENTRANCE

CONSTRUCTION SEQUENCE SCHEDULE

1. REMOVAL, STORAGE & STABILIZATION OF TOPSOIL ON-SITE.
2. TEMPORARY EROSION & SEDIMENT CONTROL INSTALLATION, INCLUDING SILT FENCE & TEMPORARY MULCHING.
3. EXCAVATE & GRADE NEW STORMWATER PRACTICES & INSTALL STORM CULVERTS FOR DRAINAGE CONVEYANCE.
4. GRADE THE REMAINDER OF THE SITE: STABILIZE AREAS TO BE FINISHED W/ ASPHALT OR CONCRETE W/ GRAVEL SUBBASE. STABILIZE GRASS AREAS W/ TOPSOIL, SEED & MULCH & EROSION CONTROL BLANKET AS REQUIRED.
5. MAINTAIN TEMPORARY EROSION MEASURES THROUGHOUT CONSTRUCTION. REMOVE ACCUMULATED SEDIMENT & DEBRIS FROM STORMWATER PRACTICES AS REQUIRED.
6. REAPPLY TOPSOIL SEED & MULCH AS NECESSARY TO ESTABLISH FINAL VEGETATED COVER. UPON ESTABLISHMENT OF GREATER THAN 80% VEGETATED COVER, REMOVE TEMPORARY EROSION & SEDIMENT CONTROL MEASURES.

EROSION AND SEDIMENT CONTROL PLAN
 GRAPHIC SCALE



Dickerson Associates
 Property Line 4/10/1963

1/2" Iron Pipe Found

College Maintenance Building

Res No. 3

May 14, 2013

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, Planning & Community Development Coordinator

Subject: Approving the Site Plan for the Construction of a 3,384 Square Foot Convenience Store and Gas Station, Plus Parking Lot and Landscaping, at 508 Mill Street, Parcels 3-03-406 and 3-03-405

A request has been submitted by Stewart's Shops for the above subject site plan approval.

The City Planning Board reviewed the request on May 7, 2013 and voted to recommend that City Council approve the site plan subject to the conditions listed in the resolution.

Attached are copies of the report on the request prepared for the Planning Board and an excerpt from their minutes.

The City Council must respond to the questions in Part 2 of the Short Environmental Assessment Form before it may vote on the resolution. The resolution prepared for City Council consideration states that the project will not have a significant negative impact on the environment, and approves the site plan submitted to the City Engineering Department on April 23, 2013 with the conditions recommended by the Planning Board.

RESOLUTION

Page 1 of 3

Approving the Site Plan for the Construction of a 3,384 Square Foot Convenience Store and Gas Station, Plus Parking Lot and Landscaping, at 508 Mill Street, Parcels 3-03-406 and 3-03-405

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS Stewart’s Shops has submitted a request for site plan approval for construction of a 3,384 square foot convenience store and gas station, plus parking lot and landscaping, at 508 Mill Street, parcels 3-03-406 and 3-03-405, and

WHEREAS the Planning Board of the City of Watertown reviewed the site plan at its meetings held on May 7, 2013, and voted to recommend that the City Council of the City of Watertown approve the site plan as submitted on April 23, 2013 with the following conditions:

1. The applicant shall revise the grading so that the handicap parking area does not exceed ¼” per foot.
2. The applicant shall shift the proposed sidewalk along Main Street so that the back of the sidewalk follows the street margin line.
3. The applicant shall specify 5,000 psi concrete with a minimum thickness of 5” for all non-driveway sidewalk areas.
4. The applicant shall provide a site-specific detail for the handicap ramp at the corner of Mill Street and Main Street.
5. The applicant shall provide plans to reconcile the elevation difference between a proposed full height curb and the proposed sidewalk, to be approved by the City Engineer.
6. The applicant must specify rubber booted connections for all storm sewer pipes.
7. The applicant must provide pre- and post-development drainage area maps.
8. The applicant must specify Fernco type rubber coupling between the proposed sanitary sewer line and the existing line.

RESOLUTION

Page 2 of 3

Approving the Site Plan for the Construction of a 3,384 Square Foot Convenience Store and Gas Station, Plus Parking Lot and Landscaping, at 508 Mill Street, Parcels 3-03-406 and 3-03-405

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

9. The applicant must include a tree protection detail to prevent damage to the Chinkapin Oak’s root system from compaction by construction equipment.
10. The applicant shall provide a decorative stamped concrete treatment between the sidewalks and the street curb.
11. The applicant shall depict the existing gas main along Main Street.
12. The applicant shall combine the two project parcels by filing a deed with the County Clerk.
13. The applicant shall provide an original survey map of the properties, stamped and signed by a NYS licensed Land Surveyor.
14. The applicant shall provide written certification from a licensed surveyor that the City Monument at the northeast corner of Main St. E. and Mill St. was not disturbed during construction.
15. The applicant shall provide a driveway apron detail depicting the curb terminating at the front and back of the sidewalk.
16. The applicant shall revise the Engineering Report to include all required sections.

And,

WHEREAS the City Council has reviewed the Short Environmental Assessment Form, responding to each of the questions contained in Part 2, and has determined that the project, as submitted, is an Unlisted Action and will not have a significant effect on the environment,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown declares that the proposed construction and site plan constitute an Unlisted Action for the purposes of SEQRA and hereby determines that the project, as proposed, will not have a significant effect on the environment, and

RESOLUTION

Page 3 of 3

Approving the Site Plan for the Construction of a 3,384 Square Foot Convenience Store and Gas Station, Plus Parking Lot and Landscaping, at 508 Mill Street, Parcels 3-03-406 and 3-03-405

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

BE IT FURTHER RESOLVED that it is an express condition of this site plan approval that the applicant provide the City Engineer with a copy of any change in stamped plans forming the basis for this approval at the same time such plans are provided to the contractor. If plans are not provided as required by this condition of site plan approval, the City Code Enforcement Officer shall direct that work on the project site shall immediately cease until such time as the City Engineer is provided with the revised stamped plans. Additionally, any change in the approved plan which, in the opinion of the City Engineer, would require Amended Site Plan approval, will result in immediate cessation of the affected portion of the project work until such time as the amended site plan is approved. The City Code Enforcement Officer is requested to periodically review on-site plans to determine whether the City Engineer has been provided with plans as required by this approval, and

BE IT FURTHER RESOLVED by the City Council of the City of Watertown that site plan approval is hereby granted to Stewart's Shops for construction of a 3,384 square foot convenience store and gas station, plus parking lot and landscaping, at 508 Mill Street, parcels 3-03-406 and 3-03-405, as submitted on April 23, 2013, contingent on the applicant making the revisions and meeting the conditions recommended by the Planning Board as listed above.

Seconded by

A site-specific detail must be provided for the handicap ramp at the corner of Mill St. and Main St.

The adjacent streets have both been paved over multiple times, and thus little or no curb reveal remains. If a full height curb with a 6" reveal is installed, the sidewalk grade would need to be raised to maintain slope and drainage toward the street. The applicant must specify a solution to this problem on the plans, subject to approval by the City Engineer.

Lighting: Two light poles are proposed, one at each curb cut. The canopy will have recessed lighting, and the store will have soffit lighting and wall packs. The photometric plan shows general compliance with the 0.5 footcandle spillage limit. There are two minor exceedances, one near the loading door and one at the northwest corner of the property.

Drainage & Grading: The applicant will use four dry wells to contain runoff onsite. An overflow will be connected to the Mill Street combined sewer.

The catch basin and drywell details on S-7 must depict rubber booting pipe connections.

The applicant must provide pre/post construction drainage area maps.

Water: The applicant will abandon the existing water service on Mill St. and connect to an existing ¾" line on Main St.

Sewer: The applicant proposes to abandon the existing store's sewer lateral and tie into an existing capped stub further east. The sewer will be 6" line. The applicant must provide a detail specifying a Fernco type rubber coupling between the new line and the existing lateral.

Landscaping: A large chinkapin oak near the south driveway will be preserved. Additionally, the applicant will plant 5 red maples along the street frontage and 3 spruces at the northeast corner of the site. Shrubs and perennials are included between the tree plantings, and also in a bed near the northwest corner of the building.

The applicant must include a tree protection detail to prevent damage to the oak's root system from compaction by construction equipment. Calling out a temporary fence extending to the drip line is ideal, but would be impossible due to the large diameter of the crown. Thus, the City recommends that the area between the edge of the existing parking lot pavement and the proposed sanitary sewer service, and between the proposed sidewalk and the proposed parking lot interior curb, be fenced off for the duration of construction.

The applicant does not specify the treatment of the street margins. These should be called out for soil and seed, or decorative pavers.

Miscellaneous: The applicant must depict the existing gas main along the Main Street northern margin.

The applicant must combine the two parcels in the project area by filing a deed with the County Clerk that describes the entire area as a single parcel.

The applicant must provide an original survey map of the properties, stamped and signed by a NYS licensed Land Surveyor. The applicant must also provide written certification from a licensed surveyor that the City Monument at the northeast corner of Main St. E. and Mill St. was not disturbed during construction.

The applicant must provide a driveway apron detail depicting the curb terminating at the front and back of the sidewalk. The Engineering Department can provide further information.

Some of the required sections are missing from the Engineering Report. Contact the Engineering Department for more information.

The applicant must obtain the following permits prior to construction: Sanitary Sewer Permit, Water Supply Permit, General City Permit, and Building Permit.

Summary:

1. The applicant shall revise the grading so that the handicap parking area does not exceed ¼" per foot.
2. The applicant shall shift the proposed sidewalk along Main Street so that the back of the sidewalk follows the street margin line.
3. The applicant shall specify 5,000 psi concrete with a minimum thickness of 5" for all non-driveway sidewalk areas.
4. The applicant shall provide a site-specific detail for the handicap ramp at the corner of Mill Street and Main Street.
5. The applicant shall provide plans to reconcile the elevation difference between a proposed full height curb and the proposed sidewalk, to be approved by the City Engineer.
6. The applicant must specify rubber booted connections for all storm sewer pipes.
7. The applicant must provide pre- and post-development drainage area maps.
8. The applicant must specify Fernco type rubber coupling between the proposed sanitary sewer line and the existing line.
9. The applicant must include a tree protection detail to prevent damage to the Chinkapin Oak's root system from compaction by construction equipment.
10. The applicant shall provide either soil and seed or decorative pavers between the sidewalks and the street curb.
11. The applicant shall depict the existing gas main along Main Street.
12. The applicant shall combine the two project parcels by filing a deed with the County Clerk.
13. The applicant shall provide an original survey map of the properties, stamped and signed by a NYS licensed Land Surveyor.
14. The applicant shall provide written certification from a licensed surveyor that the City Monument at the northeast corner of Main St. E. and Mill St. was not disturbed during construction.
15. The applicant shall provide a driveway apron detail depicting the curb terminating at the front and back of the sidewalk.
16. The applicant shall revise the Engineering Report to include all required sections.

cc: City Council Members
Robert J. Slye, City Attorney
Justin Wood, Civil Engineer II
Larry Rutland, PO Box 171, Middle Grove, NY 12850
Jennifer Howard, PO Box 435, Saratoga Springs, NY 12866

Excerpt from 5/7/13 Planning Board Meeting Minutes

SITE PLAN APPROVAL – STEWART'S 508 MILL ST – PARCEL 3-03-405, 3-03-406

The Board then considered a request for site plan approval submitted by Stewart's Shops for the construction of a 3,384 square foot convenience store and gas station, plus parking lot and landscaping, at 508 Mill Street, parcels 3-03-406 and 3-03-405.

Tom Lewis was in attendance to represent Stewart's.

Mr. Lewis approached the board and briefly explained the project. Stewart's had purchased the former Sugar Creek store and is now looking to upgrade the property. Stewart's has 330 locations and is currently looking to reinvest within its current footprint. He stated that Stewart's is willing to comply with all of the listed summary items.

For #10, concerning landscaping between the sidewalk and curb, he said that the applicant would prefer to soil and seed, for maintenance reasons.

Mr. Katzman said that he would rather see pavers or stamped concrete, because grass often does not thrive so close to the roadway.

There was general discussion regarding possible treatments for the margin—grass, pavers, stamped asphalt, or stamped concrete. The applicant indicated that cost was not a major concern, but maintenance was. The Board agreed that stamped concrete would offer the best compromise between appearance and easy maintenance.

Mrs. Freda asked if Engineering was satisfied with the plan. Mr. Wood noted that the summary items are minor and technical and the plan can move forward.

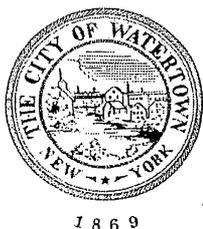
Mr. Lumbis thanked the applicant for being gracious to the Planning staff request to preserve the 40" Chinkapin Oak on site.

Mrs. Gervera then moved to recommend that City Council approve the site plan for construction of a 3,384 square foot convenience store and gas station, plus parking lot and landscaping, at 508 Mill Street, parcels 3-03-406 and 3-03-405, as submitted by Stewart's Shops on April 23, 2013, with the following conditions:

1. The applicant shall revise the grading so that the handicap parking area does not exceed ¼" per foot.
2. The applicant shall shift the proposed sidewalk along Main Street so that the back of the sidewalk follows the street margin line.
3. The applicant shall specify 5,000 psi concrete with a minimum thickness of 5" for all non-driveway sidewalk areas.
4. The applicant shall provide a site-specific detail for the handicap ramp at the corner of Mill Street and Main Street.

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10. The applicant shall provide a decorative stamped concrete treatment between the sidewalks and the street curb.
11. The applicant shall depict the existing gas main along Main Street.
12. The applicant shall combine the two project parcels by filing a deed with the County Clerk.
13. The applicant shall provide an original survey map of the properties, stamped and signed by a NYS licensed Land Surveyor.
14. The applicant shall provide written certification from a licensed surveyor that the City Monument at the northeast corner of Main St. E. and Mill St. was not disturbed during construction.
15. The applicant shall provide a driveway apron detail depicting the curb terminating at the front and back of the sidewalk.
16. The applicant shall revise the Engineering Report to include all required sections.

Mr. Davis seconded, all voted in favor.



**CITY OF WATERTOWN
SITE PLAN APPLICATION
AND
SHORT ENVIRONMENTAL
ASSESSMENT FORM, PART 1**

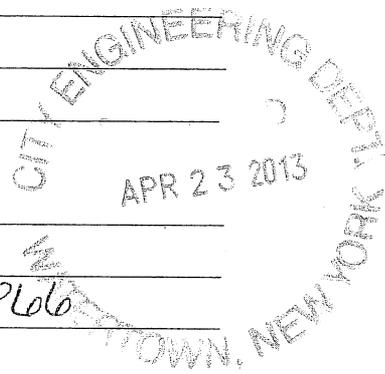
** Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in **not** making the agenda for the upcoming Planning Board meeting.

PROPERTY LOCATION

Proposed Project Name: Stewart's shop #436
Tax Parcel Number: 3-03-406
Property Address: 508 Mill St.
Existing Zoning Classification: Commercial

OWNER OF PROPERTY

Name: Stewart's Shops Corp.
Address: PO Box 435
Saratoga Springs NY 12866
Telephone Number: 518-581-1201 x4415
Fax Number: 518-581-1209



APPLICANT

Name: owner
Address: _____

Telephone Number: _____
Fax Number: _____
Email Address: _____

ENGINEER/ARCHITECT/SURVEYOR

Name: Larry Rutland
Address: PO Box 171
Middle Grove, NY 12850
Telephone Number: _____
Fax Number: _____
Email Address: _____

PROJECT DESCRIPTION

Describe project and proposed use briefly:

construct a 3,384 sq ft conv store
w/ 20' x 84' canopy with three gas pumps.
demolish existing structure upon
construction of new building.

Is proposed Action:

- New
- Expansion
- Modification/Alteration

Amount of Land Affected:

Initially: 1.0227 Acres Ultimately: 1.0227 Acres



Will proposed action comply with existing zoning or other existing land use restrictions?

- Yes
 - No
- If no, describe briefly

What is present land use in vicinity of project?

- Residential
- Industrial
- Commercial
- Agriculture
- Park/Forest/Open Space
- Other

Describe: _____

Does project involve a permit approval, or funding, now or ultimately from any other Governmental Agency (Federal, State or Local)?

- Yes
 - No
- If yes, list agency(s) and permit/approval(s)
Planning Board - site plan, City PWD - curb cuts

Does any aspect of the project have a currently valid permit or approval?

- Yes
 - No
- If yes, list agency(s) and permit/approval(s)
Planning Board - site plan,

As a result of proposed project, will existing permit/approval require modification?

Yes No

Proposed number of housing units (if applicable): NA

Proposed building area: 1st Floor 3384 Sq. Ft.
2nd Floor _____ Sq. Ft.
3rd Floor _____ Sq. Ft.
Total _____ Sq. Ft.

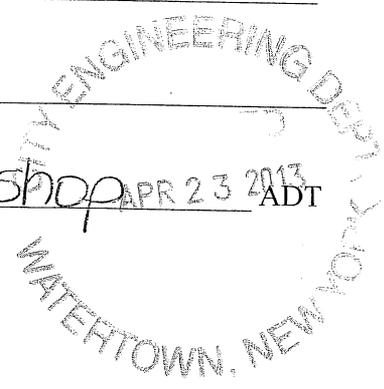
Area of building to be used for the boiler room, heat facilities, utility facilities and storage: 495 Sq. Ft.

Number of parking spaces proposed: 17

Construction Schedule: 16 wks to be detailed upon approval

Hours of Operation: 5am - 12am

Volume of traffic to be generated: existing shop



SIGNATURE

I certify that the information provided above is true to the best of my knowledge.

Applicant (please print) Jennifer L Howard

Applicant Signature Jennifer L Howard Date: 4/22/13

PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? Yes No If yes, coordinate the review process and use the FULL EAF.

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency. Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:

C7. Other impacts (including changes in use of either quantity or type of energy? Explain briefly:

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)?

Yes No If Yes, explain briefly:

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?

Yes No If Yes, explain briefly:

PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question d of part ii was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide, on attachments as necessary, the reasons supporting this determination.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from responsible officer)

Res No. 4

May 15, 2013

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, Planning & Community Development Coordinator

Subject: Approving the Site Plan Submitted by NY Air Brake for the Construction of a Loading Dock, Storage Area, and Associated Driveway at 748 Starbuck Avenue, Parcel 4-09-102

A request has been submitted by Brian Jones of Aubertine & Currier, on behalf of NY Air Brake, for the above subject site plan approval.

The City Planning Board reviewed the request on May 7, 2013 and voted to recommend that City Council approve the site plan subject to the conditions listed in the resolution.

Attached are copies of the report on the request prepared for the Planning Board and an excerpt from their meeting minutes.

A revised site plan showing what was presented at the Planning Board meeting was submitted on May 15, 2013. A copy is included in each City Council Member's agenda.

The City Council must respond to the questions in Part 2 of the Short Environmental Assessment Form before it may vote on the resolution. The resolution prepared for City Council consideration states that the project will not have a significant negative impact on the environment, and approves the site plan submitted to the City Engineering Department on April 23, 2013, and revised on May 15, 2013, subject to the conditions recommended by the Planning Board.

RESOLUTION

Page 1 of 3

Approving the Site Plan Submitted by NY Air Brake for the Construction of a Loading Dock, Storage Area, and Associated Driveway at 748 Starbuck Avenue, Parcel 4-09-102

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS Brian Jones of Aubertine & Currier, on behalf of NY Air Brake, has submitted a request for site plan approval for construction of a loading dock, storage area, and associated driveway at 748 Starbuck Ave, parcel 4-09-102, and

WHEREAS the Planning Board of the City of Watertown reviewed the site plan at its meeting held on May 7, 2013, and voted to recommend that the City Council of the City of Watertown approve the site plan as submitted on April 23, 2013, with revisions as presented during that meeting, subject to the following conditions:

1. The applicant shall reconstruct both ends of the existing crosswalk with ramps to meet ADA standards.
2. The sidewalk along the entire length of the proposed curb cut shall be replaced to City standards. A sidewalk detail shall be provided.
3. The proposed sidewalk and crosswalk shall be depicted on Sheet C101.
4. The applicant shall provide a detail of the trench drain and pump, and show its rim and inverts on the plan.
5. Storm sewer connections to existing structures shall be rubber boot connections.
6. The applicant shall provide pre- and post-development drainage area calculations and maps.
7. The applicant shall provide details for the Concrete Pad Section and the Retaining Wall (with railing).
8. The applicant shall call out curb removal and replacement on the plans, and provide a detail of the same.

RESOLUTION

Page 2 of 3

Approving the Site Plan Submitted by NY Air Brake for the Construction of a Loading Dock, Storage Area, and Associated Driveway at 748 Starbuck Avenue, Parcel 4-09-102

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

9. The applicant shall delineate between the proposed/existing asphalt and the proposed concrete pad.
10. The applicant shall depict contour lines and spot elevations for the loading dock.
11. The applicant shall depict the 21” sanitary sewer main and the 18” storm sewer main along Pearl Street, along with structure rims and inverts within the project area.
12. The applicant shall depict the 12” water main in Pearl Street, and the 10” water main that runs west past the dock area toward the Air Brake property.
13. The applicant shall provide a tree protection detail for the 36” maple near the edge of the proposed curb cut.
14. The applicant shall depict the Pearl Street southern margin on the plans.
15. The applicant shall add labels to delineate between lawn areas and existing and proposed hard surface areas on the plans.
16. The applicant shall delete the old abandoned crosswalk from the plans.
17. The applicant shall provide an Engineering Report with the relevant sections listed in the Site Plan Application.
18. The plans shall be stamped and signed by a NY licensed Professional Engineer or Architect.
19. The applicant shall clean the pavers located in the south margin of Pearl Street.

And,

WHEREAS the applicant submitted revised plans on May 15, 2013, and

WHEREAS the City Council has reviewed the Short Environmental Assessment Form, responding to each of the questions contained in Part 2, and has determined that the project, as submitted, is an Unlisted Action and will not have a significant effect on the environment,

RESOLUTION

Page 3 of 3

Approving the Site Plan Submitted by NY Air Brake for the Construction of a Loading Dock, Storage Area, and Associated Driveway at 748 Starbuck Avenue, Parcel 4-09-102

Council Member BURNS, Roxanne M.

Council Member BUTLER, Joseph M. Jr.

Council Member MACALUSO, Teresa R.

Council Member SMITH, Jeffrey M.

Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown declares that the proposed construction and site plan constitute an Unlisted Action for the purposes of SEQRA and hereby determines that the project, as proposed, will not have a significant effect on the environment, and

BE IT FURTHER RESOLVED that it is an express condition of this site plan approval that the applicant provide the City Engineer with a copy of any change in stamped plans forming the basis for this approval at the same time such plans are provided to the contractor. If plans are not provided as required by this condition of site plan approval, the City Code Enforcement Officer shall direct that work on the project site shall immediately cease until such time as the City Engineer is provided with the revised stamped plans. Additionally, any change in the approved plan which, in the opinion of the City Engineer, would require Amended Site Plan approval, will result in immediate cessation of the affected portion of the project work until such time as the amended site plan is approved. The City Code Enforcement Officer is requested to periodically review on-site plans to determine whether the City Engineer has been provided with plans as required by this approval, and

BE IT FURTHER RESOLVED by the City Council of the City of Watertown that site plan approval is hereby granted to Brian Jones of Aubertine & Currier, on behalf of NY Air Brake, for construction of a loading dock, storage area, and associated driveway at 748 Starbuck Ave, parcel 4-09-102, as submitted on April 23, 2013, and revised on May 15, 2013, contingent on the applicant making the revisions and meeting the conditions recommended by the Planning Board as listed above.

Seconded by

Signage must also be installed on Pearl Street to warn motorists of the pedestrian crossing. The applicant must provide a Pedestrian Crosswalk Signage Plan for approval by the Engineering Department.

Both ends of the existing crosswalk must be rebuilt with ramps to meet ADA standards. The ramp at the south margin of Pearl Street is in particularly bad condition.

The sidewalk along the full length of the new curb cut must be replaced to City standards: 5,000 psi at 6" minimum thickness. A detail is available from the Engineering Department, and must be included on the plans.

The proposed sidewalk and crosswalk must be shown on C101.

Drainage & Grading: The applicant will include a trench drain at the bottom of the loading dock. A sump pump will be necessary to bring this water up into the existing storm system. The applicant must provide a detail of the trench drain and pump, and show its rim and inverts on the plan. Any connection to an existing structure must be a rubber boot connection.

The applicant must provide pre- and post-development drainage area calculations and maps.

The applicant must provide details for the Concrete Pad Section and the Retaining Wall (with railing).

The applicant must call out curb removal and replacement on the plans, and provide a detail of the same.

The applicant must delineate between the proposed/existing asphalt and the proposed concrete pad.

Contour lines and spot elevations must be shown for the loading dock.

Utilities: A communications pole must be removed in order to construct the driveway as proposed. The applicant will coordinate with the pole owner.

The applicant must depict the 21" sanitary sewer main and the 18" storm sewer main along Pearl Street, along with structure rims and inverts within the project area.

The applicant must also depict the 12" water main in Pearl Street, and the 10" water main that runs west past the dock area toward the Air Brake property.

Landscaping: The 36" maple near the driveway exit is meant to be preserved. The applicant should provide a tree protection detail to prevent root damage due to compaction. A temporary fence should be installed around the tree's drip edge.

A young Ash tree is proposed for removal. This tree should be replaced in kind elsewhere on site. Transplanting or replacing it with another Ash is not recommended due to the Emerald Ash Borer.

Miscellaneous: The applicant has provided basic drawings. Prior to permit issuance, the required drawings listed on the Site Plan Application must be submitted to the Engineering Department, including a stamped survey of the project area. The entire Air Brake property does not need to be included on the survey.

The southern street margin of Pearl Street must be shown on the plans. If possible the required stairs should not extend into the right-of-way.

The applicant must add labels to delineate between lawn areas and existing and proposed hard surface areas.

The old crosswalk striping should be deleted from the site plan.

An Engineering Report must be provided with the relevant sections outlined in the Site Plan Application. The Traffic Summary must include information on the anticipated truck traffic at the loading dock.

The plans must be signed and stamped by a Professional Engineer or Architect licensed in New York.

The applicant must obtain the following permits prior to construction: General City Permit, Building Permit.

Summary:

1. The applicant shall install stairs or a ramp between the parking lot and the termination of the new crosswalk, and stripe out an area of the parking lot to ensure access. A detail of the stairs or ramp must be provided.
2. The applicant shall install pedestrian warning signs at the location of the new crosswalk, and shall submit a Pedestrian Crosswalk Signage Plan for approval by the City Engineer.
3. The applicant shall reconstruct both ends of the existing crosswalk with ramps to meet ADA standards.
4. The sidewalk along the entire length of the proposed curb cut shall be replaced to City standards. A sidewalk detail shall be provided.
5. The proposed sidewalk and crosswalk shall be depicted on Sheet C101.
6. The applicant shall provide a detail of the trench drain and pump, and show its rim and inverts on the plan.
7. Storm sewer connections to existing structures shall be rubber boot connections.
8. The applicant shall provide pre- and post-development drainage area calculations and maps.
9. The applicant shall provide details for the Concrete Pad Section and the Retaining Wall (with railing).
10. The applicant shall call out curb removal and replacement on the plans, and provide a detail of the same.
11. The applicant shall delineate between the proposed/existing asphalt and the proposed concrete pad.
12. The applicant shall depict contour lines and spot elevations for the loading dock.
13. The applicant shall depict the 21" sanitary sewer main and the 18" storm sewer main along Pearl Street, along with structure rims and inverts within the project area.
14. The applicant shall depict the 12" water main in Pearl Street, and the 10" water main that runs west past the dock area toward the Air Brake property.
15. The applicant shall provide a tree protection detail for the 36" maple near the edge of the proposed curb cut.
16. The applicant shall depict the Pearl Street southern margin on the plans.
17. The applicant shall add labels to delineate between lawn areas and existing and proposed hard surface areas on the plans.
18. The applicant shall delete the old abandoned crosswalk from the plans.
19. The applicant shall provide an Engineering Report with the relevant sections listed in the Site Plan Application.
20. The plans shall be stamped and signed by a NY licensed Professional Engineer or Architect.

cc: City Council Members
Robert J. Slye, City Attorney
Justin Wood, Civil Engineer II
Brian Jones, 522 Bradley Street

Excerpt from 5/7/13 Planning Board Meeting Minutes

**SITE PLAN APPROVAL – NY AIR BRAKE DRIVEWAY
748 STARBUCK AVE – PARCEL 4-09-102**

The Board then considered a request by Brian Jones of Aubertine & Currier on behalf of New York Air Brake for the construction of a loading dock, storage area, and associated driveway at 748 Starbuck Ave, Parcel 4-09-102.

Brian Jones was present to explain the project. He presented a revised plan to the board, which eliminated the proposed additional crosswalk to the west of the proposed driveway. Instead, the existing crosswalk would extend across the mouth of the driveway to connect to the entrance walkway. The traffic light would stay in place and the ramp to the parking lot would be repaired to meet ADA requirements. This change may obviate the need for summary items #1 and #2, which refer to the additional proposed crosswalk and stairs. He stated that all the other summary items were fine and would be met.

Mrs. Freda asked if there would be any signage for the crosswalk without #2.

Mr. Nichols noted that the traffic light is specifically for the pedestrian crossing, not for parking lot traffic.

Mrs. Freda asked if Engineering was okay with eliminating #1 and #2. Mr. Wood stated that it was not a problem.

Mrs. Freda asked about the tree protection. Mr. Nichols noted that one small ash tree was being removed, which is not a problem. Tree protection was recommended for the large maple marked to remain. A fence should be installed around the drip line during construction.

Mr. Katzman noted that the pavers along the south side of Pearl Street are quite dirty with sand, and the applicant should be required to clean them.

Mr. Davis pointed out that Pearl Street is narrow for tractor trailers.

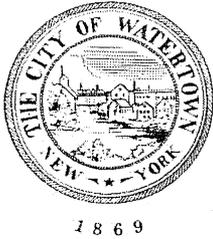
Mr. Jones replied that trailers currently back in from Pearl Street at the existing dock area. Also, no additional traffic is planned; the new dock will just split the existing truck traffic.

Mrs. Gervera then moved to recommend that City Council approve the site plan for construction of a loading dock, storage area, and associated driveway at 748 Starbuck Ave, Parcel 4-09-102, as submitted by Brian Jones on behalf of New York Air Brake, on April 23, 2013 and revised as shown on plans submitted to the Planning Board on May 7, 2013, with the following conditions:

1. The applicant shall reconstruct both ends of the existing crosswalk with ramps to meet ADA standards.

2. The sidewalk along the entire length of the proposed curb cut shall be replaced to City standards. A sidewalk detail shall be provided.
3. The proposed sidewalk and crosswalk shall be depicted on Sheet C101.
4. The applicant shall provide a detail of the trench drain and pump, and show its rim and inverts on the plan.
5. Storm sewer connections to existing structures shall be rubber boot connections.
6. The applicant shall provide pre- and post-development drainage area calculations and maps.
7. The applicant shall provide details for the Concrete Pad Section and the Retaining Wall (with railing).
8. The applicant shall call out curb removal and replacement on the plans, and provide a detail of the same.
9. The applicant shall delineate between the proposed/existing asphalt and the proposed concrete pad.
10. The applicant shall depict contour lines and spot elevations for the loading dock.
11. The applicant shall depict the 21" sanitary sewer main and the 18" storm sewer main along Pearl Street, along with structure rims and inverts within the project area.
12. The applicant shall depict the 12" water main in Pearl Street, and the 10" water main that runs west past the dock area toward the Air Brake property.
13. The applicant shall provide a tree protection detail for the 36" maple near the edge of the proposed curb cut.
14. The applicant shall depict the Pearl Street southern margin on the plans.
15. The applicant shall add labels to delineate between lawn areas and existing and proposed hard surface areas on the plans.
16. The applicant shall delete the old abandoned crosswalk from the plans.
17. The applicant shall provide an Engineering Report with the relevant sections listed in the Site Plan Application.
18. The plans shall be stamped and signed by a NY licensed Professional Engineer or Architect.
19. The applicant shall clean the pavers located in the south margin of Pearl Street.

Mr. Davis seconded, all voted in favor.



**CITY OF WATERTOWN
SITE PLAN APPLICATION
AND
SHORT ENVIRONMENTAL
ASSESSMENT FORM, PART 1**

**** Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in **not** making the agenda for the upcoming Planning Board meeting.**

PROPERTY LOCATION

Proposed Project Name: New York Air Brake Shipping/Receiving Addition

Tax Parcel Number: 04-09-102.000

Property Address: 748 Starbuck Ave., Watertown, NY

Existing Zoning Classification: 710 - Manufacture

OWNER OF PROPERTY

Name: JCIDA

Address: 800 Starbuck Ave, Watertown, NY 13601

Telephone Number: 315-782-5865

Fax Number: 315-782-7915

APPLICANT

Name: New York Air Brake

Address: 748 Starbuck Ave., Watertown, NY 13601

Telephone Number: 315-786-5200

Fax Number: 315-786-5676

Email Address: robert.majo@nyab.com

ENGINEER/ARCHITECT/SURVEYOR

Name: Aubertine and Currier Architects, Engineers & Land Surveyors, PLLC

Address: 522 Bradley Street, Watertown, NY 13601

Telephone Number: 315-782-2005

Fax Number: 315-782-1472

Email Address: baj@aubertinecurrier.com

PROJECT DESCRIPTION

Describe project and proposed use briefly:

New 4 bay dock facility for a new shipping/receiving area
for the manufacturing part of the existing facility.

Is proposed Action:

New Expansion Modification/Alteration

Amount of Land Affected:

Initially: 0 Acres Ultimately: .02 Acres

Will proposed action comply with existing zoning or other existing land use restrictions?

Yes No If no, describe briefly

What is present land use in vicinity of project?

Residential Industrial Commercial Agriculture
 Park/Forest/Open Space Other

Describe: _____

Does project involve a permit approval, or funding, now or ultimately from any other Governmental Agency (Federal, State or Local)?

Yes No If yes, list agency(s) and permit/approval(s)

Does any aspect of the project have a currently valid permit or approval?

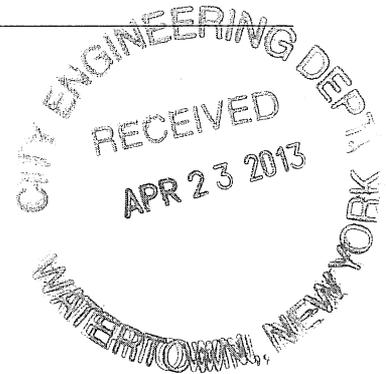
Yes No If yes, list agency(s) and permit/approval(s)

As a result of proposed project, will existing permit/approval require modification?

Yes No

Proposed number of housing units (if applicable): _____

Proposed building area: 1st Floor 912 Sq. Ft.
2nd Floor _____ Sq. Ft.
3rd Floor _____ Sq. Ft.
Total _____ Sq. Ft.



Area of building to be used for the boiler room, heat facilities, utility facilities and storage: 912 Sq. Ft.

Number of parking spaces proposed: 0

Construction Schedule: June 15, 2013 - August 15, 2013

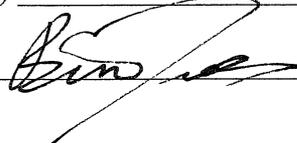
Hours of Operation: 8 - 5pm

Volume of traffic to be generated: No increased volume. ADT

SIGNATURE

I certify that the information provided above is true to the best of my knowledge.

Applicant (please print) Brian A. Jones, AIA, LEED AP BD+C

Applicant Signature  Date: 04-23-2013

PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)?

Yes No If Yes, explain briefly:

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?

Yes No If Yes, explain briefly:

PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question d of part ii was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide, on attachments as necessary, the reasons supporting this determination.

Name of Lead Agency

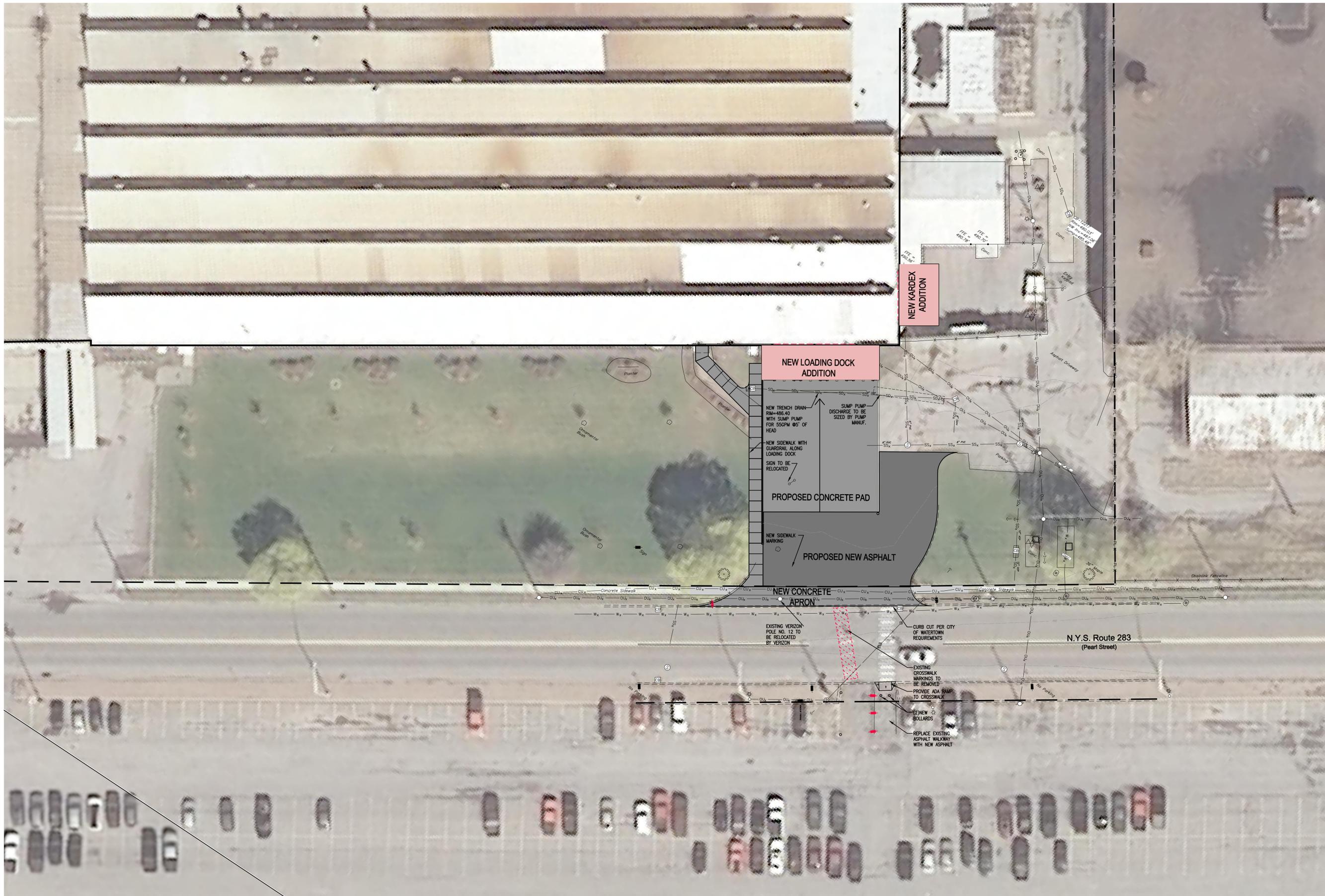
Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)



522 Bradley Street
Watertown, New York 13601

aubertinecurrier.com

Phone: (315)782-2005
Fax: (315)782-1472

The above Architect, Engineer or Land Surveyor states that to the best of his or her knowledge, information and belief, the plans and specifications are in accordance with applicable requirements of New York State. It is a violation of New York State Law for any person, unless acting under the direct supervision of a Registered Architect, Licensed Professional Engineer or Licensed Land Surveyor to alter this document in any way. If altered, such licensee shall affix his or her seal and the modification "altered by" followed by his or signature, date and a specific description of the alteration.
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**NEW YORK AIR BRAKE
DOCK FACILITY ADDITION**
748 STARBUCK AVENUE
CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

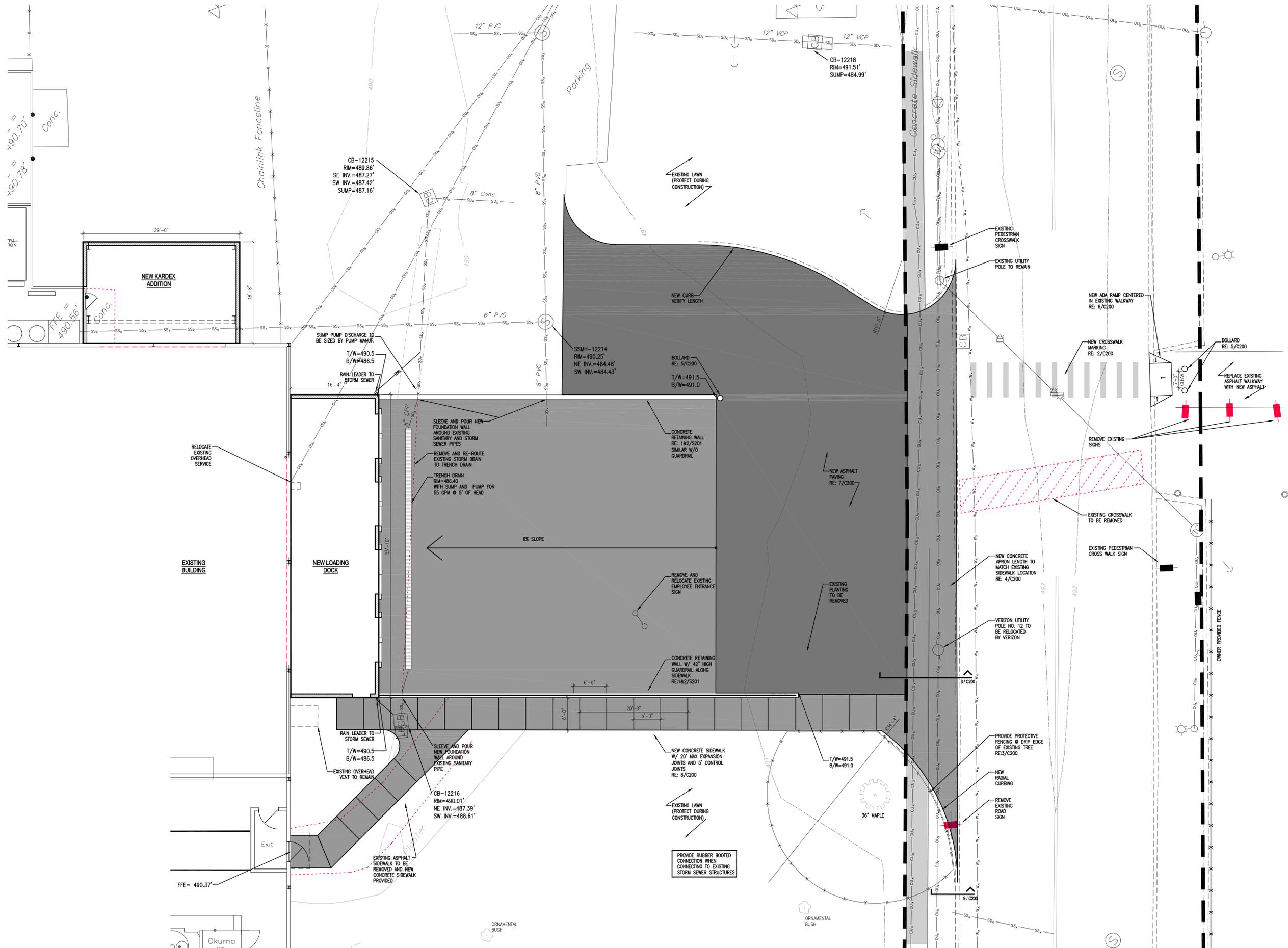
PROJECT NO: 2013-028
SCALE: N.T.S.
DRAWN BY: BMK
CHECKED BY: BAJ
ISSUE DATES:
CITY SITE PLAN SUBMISSION 04-23-2013
KARDEX REVISION 4-30-13
05-14-2013

OVERALL
SITE PLAN

C100

A OVERALL SITE PLAN
1"=20'-0"

PROGRESS PRINT
NOT FOR CONSTRUCTION

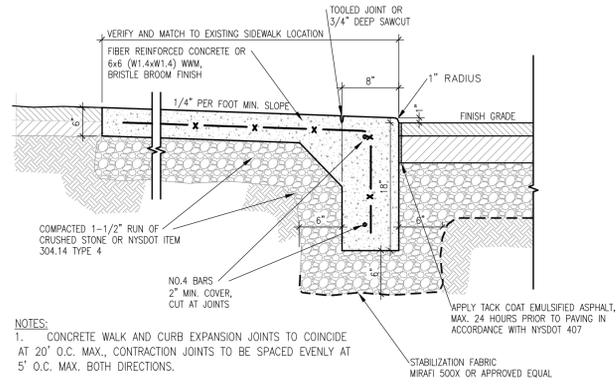


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 AUBERTINE and CURRIER ARCHITECTS, ENGINEERS & LAND SURVEYORS, PLLC

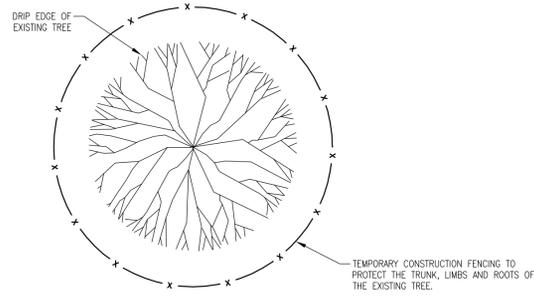
**NEW YORK AIR BRAKE
 DOCK FACILITY ADDITION**
 748 STARBUCK AVENUE
 CITY OF WATERTOWN
 JEFFERSON COUNTY, NEW YORK

PROJECT NO:	2013-028
SCALE:	AS NOTED
DRAWN BY:	BMK
CHECKED BY:	BAJ
ISSUE DATES:	CITY SITE PLAN SUBMISSION 04-23-2013 KARDEX REVISION 4-30-13 05-14-2013

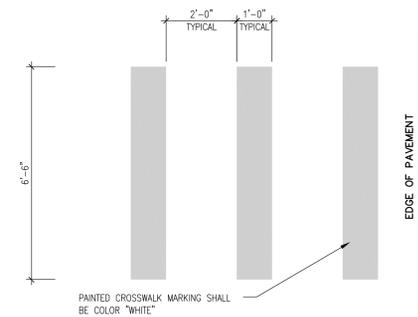
SITE PLAN



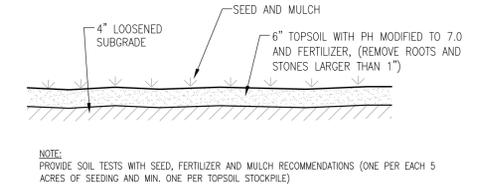
4 TYPICAL DEPRESSED CURB AND WALK DETAIL
NOT TO SCALE



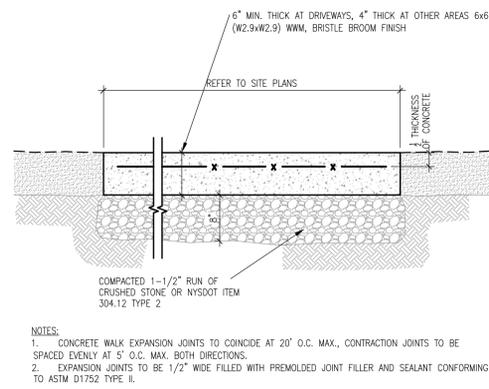
3 EXISTING TREE PROTECTION
NOT TO SCALE



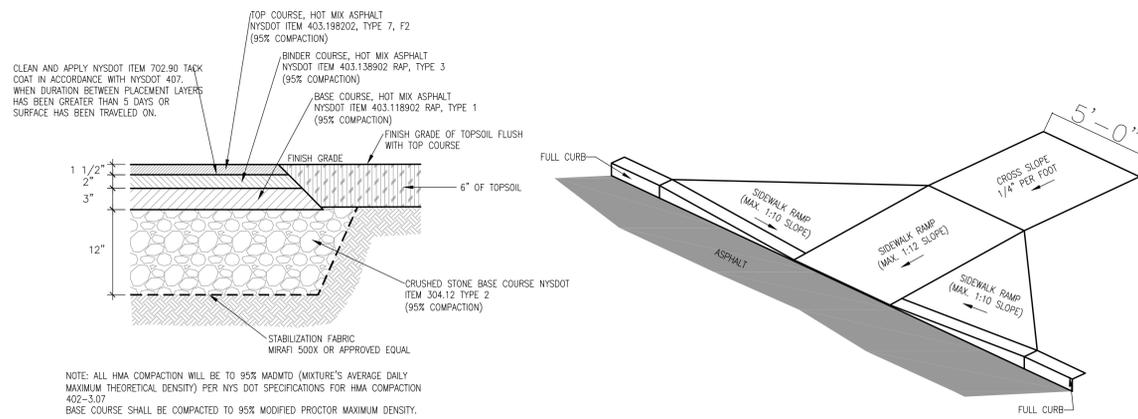
2 TYPICAL PAINTED CROSSWALK DETAIL
NOT TO SCALE



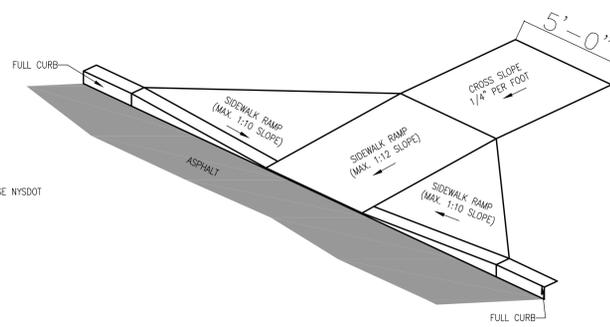
1 TYPICAL TOP SOIL REPLACEMENT DETAIL
NOT TO SCALE



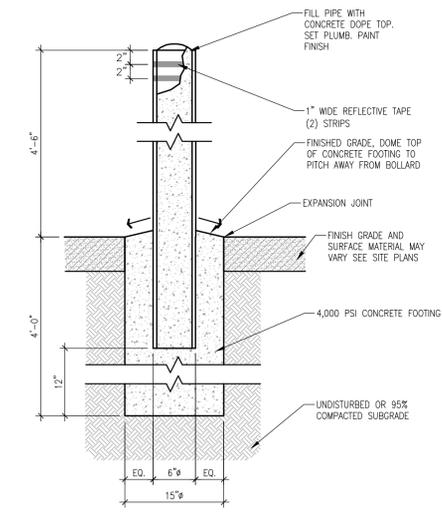
8 TYPICAL CONCRETE WALK DETAIL
NOT TO SCALE



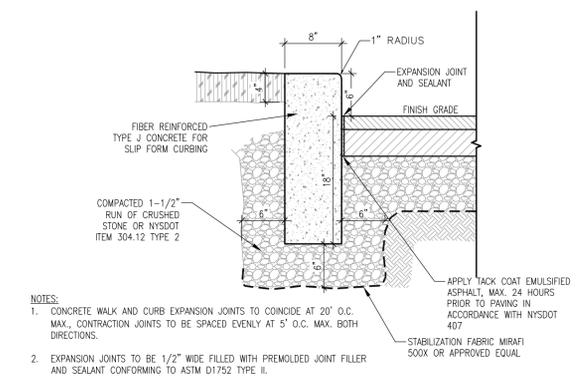
7 TYPICAL ASPHALT PAVEMENT DETAIL
NOT TO SCALE



6 SIDEWALK RAMP DETAIL
NOT TO SCALE



5 TYPICAL BOLLARD DETAIL
NOT TO SCALE

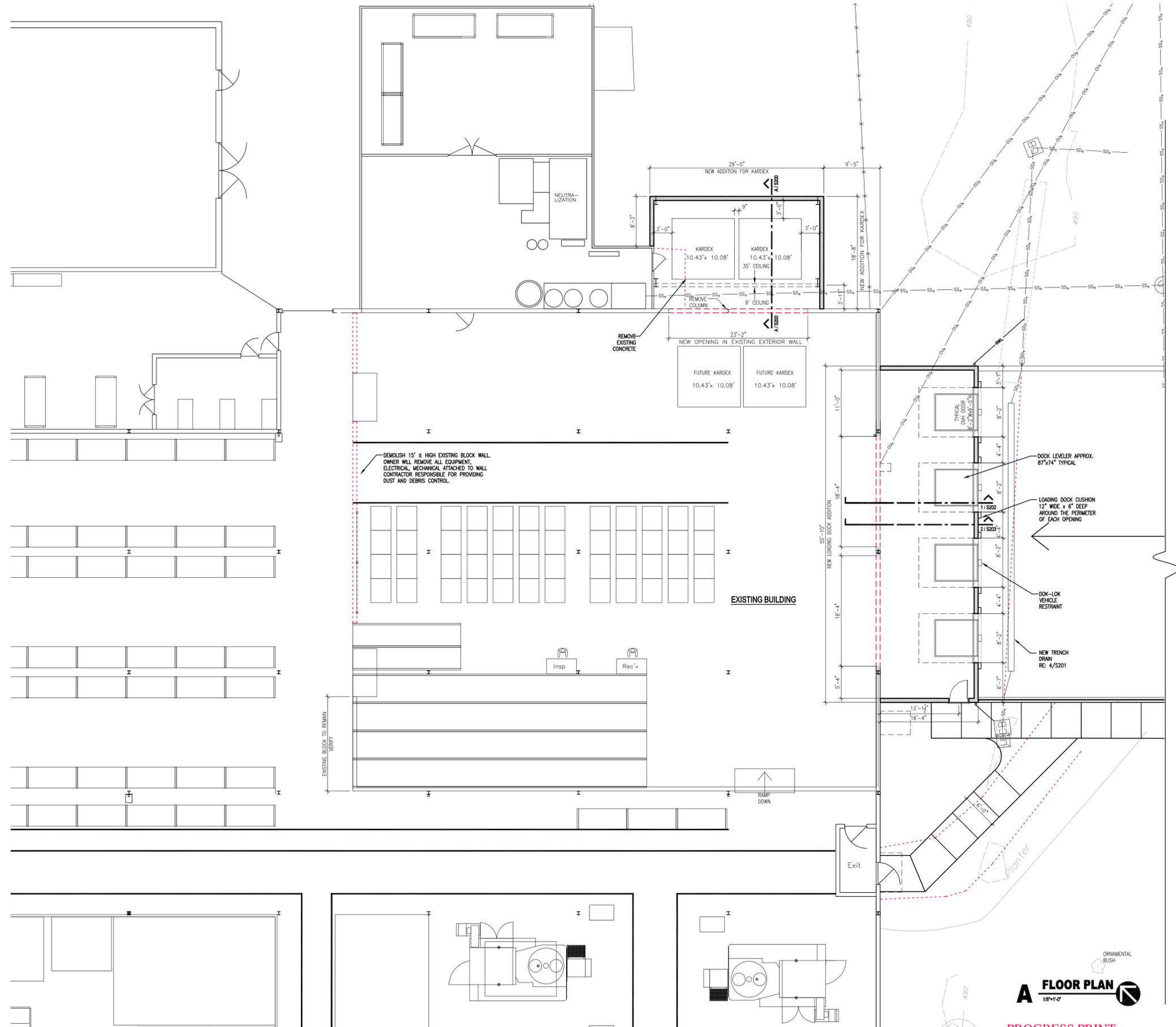


9 TYPICAL CONCRETE CURB DETAIL
NOT TO SCALE

**NEW YORK AIR BRAKE
DOCK FACILITY ADDITION**
748 STARBUCK AVENUE
CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

PROJECT NO:	2013-028
SCALE:	AS NOTED
DRAWN BY:	BMK
CHECKED BY:	BAJ
ISSUE DATES:	CITY SITE PLAN SUBMISSION 04-23-2013 KARDEX REVISION 4-30-13 05-14-2013

SITE DETAILS



**NEW YORK AIR BRAKE
DOCK FACILITY ADDITION**
748 STARBUCK AVENUE
CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

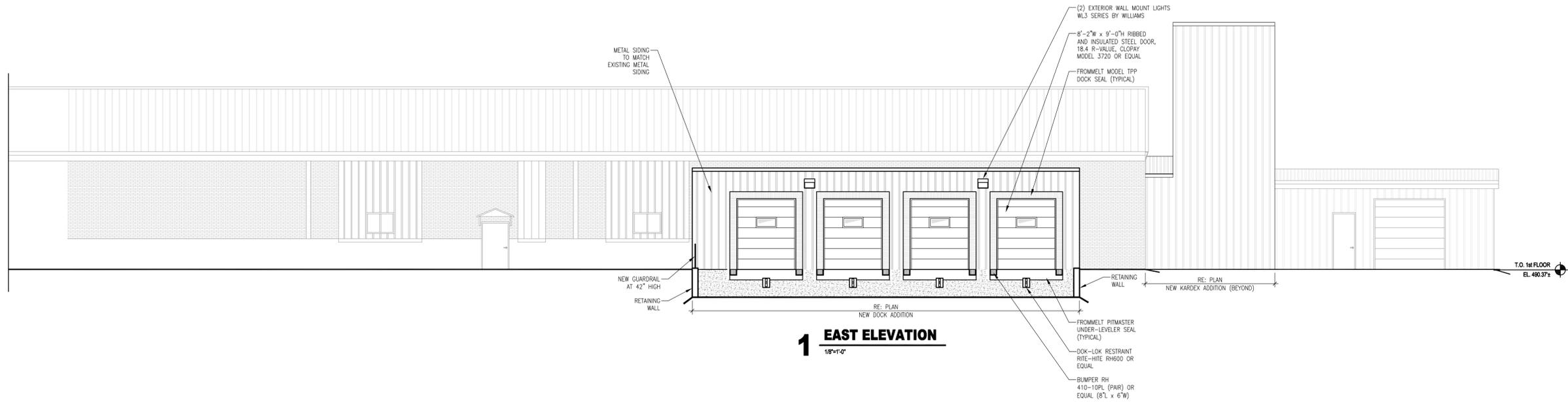
PROJECT NO:	2013-028
SCALE:	AS NOTED
DRAWN BY:	BMK
CHECKED BY:	BAJ
ISSUE DATES:	CITY SITE PLAN SUBMISSION 04-23-2013 KARDEX REVISION 4-30-13 05-14-2013

FLOOR PLAN

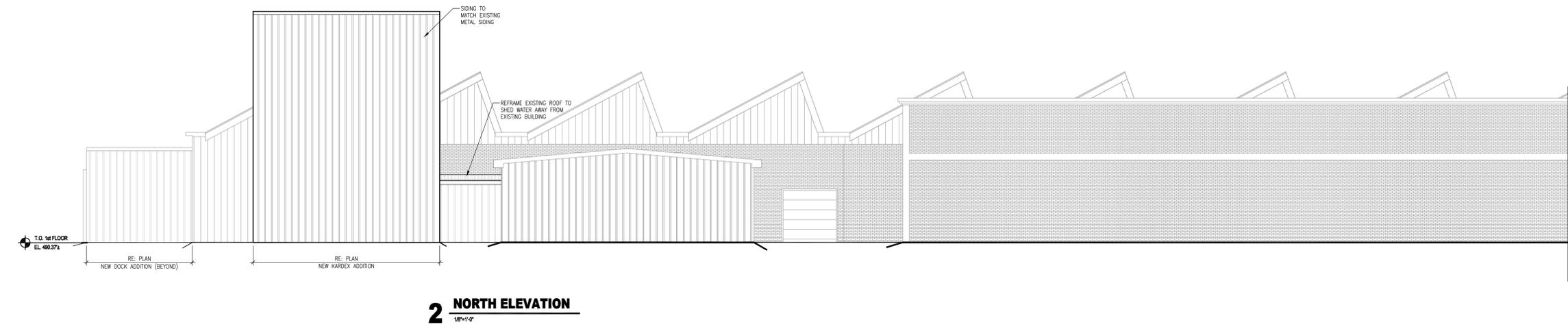
A100

A FLOOR PLAN
1/8"=1'-0"

PROGRESS PRINT
NOT FOR CONSTRUCTION



1 EAST ELEVATION
1/8"=1'-0"



2 NORTH ELEVATION
1/8"=1'-0"



522 Bradley Street
Watertown, New York 13601

aubertinecurrier.com

Phone: (315)782-2005
Fax: (315)782-1472

The above Architect, Engineer or Land Surveyor states that to the best of his or her knowledge, information and belief, the plans and specifications are in accordance with applicable requirements of New York State. It is a violation of New York State Law for any person, unless acting under the direct supervision of a Registered Architect, Licensed Professional Engineer or Licensed Land Surveyor to alter this document in any way. If altered, such licensee shall affix his or her seal and the notification "altered by" followed by his or signature, date and a specific description of the alteration.
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AUBERTINE and CURRIER ARCHITECTS, ENGINEERS & LAND SURVEYORS, PLLC

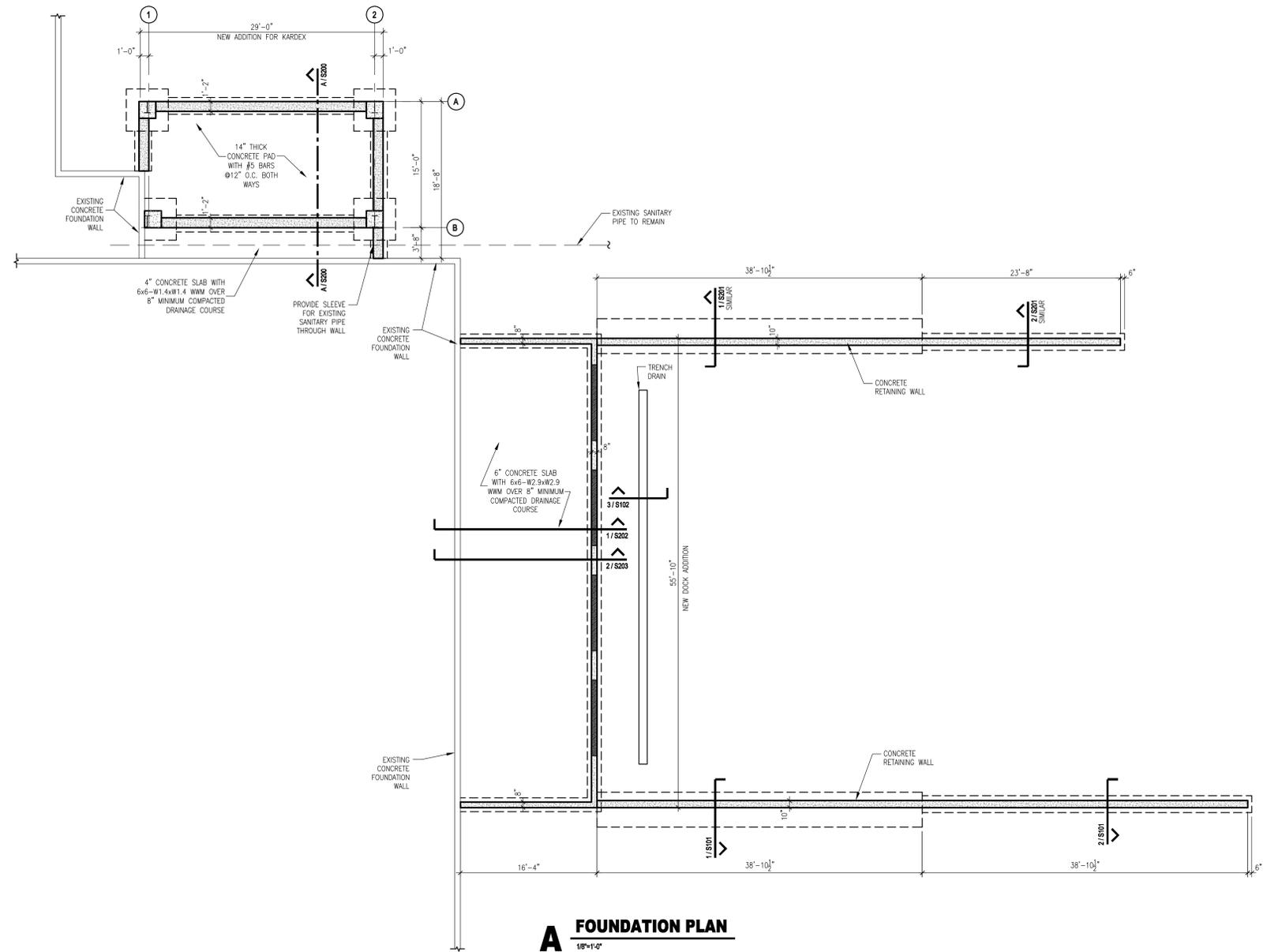
**NEW YORK AIR BRAKE
DOCK FACILITY ADDITION**
748 STARBUCK AVENUE
CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

PROJECT NO: 2013-028
SCALE: AS NOTED
DRAWN BY: BMK
CHECKED BY: BAJ
ISSUE DATES:
CITY SITE PLAN SUBMISSION 04-23-2013
KARDEX REVISION 4-30-13
05-14-2013

EXTERIOR ELEVATIONS

A200

PROGRESS PRINT
NOT FOR CONSTRUCTION

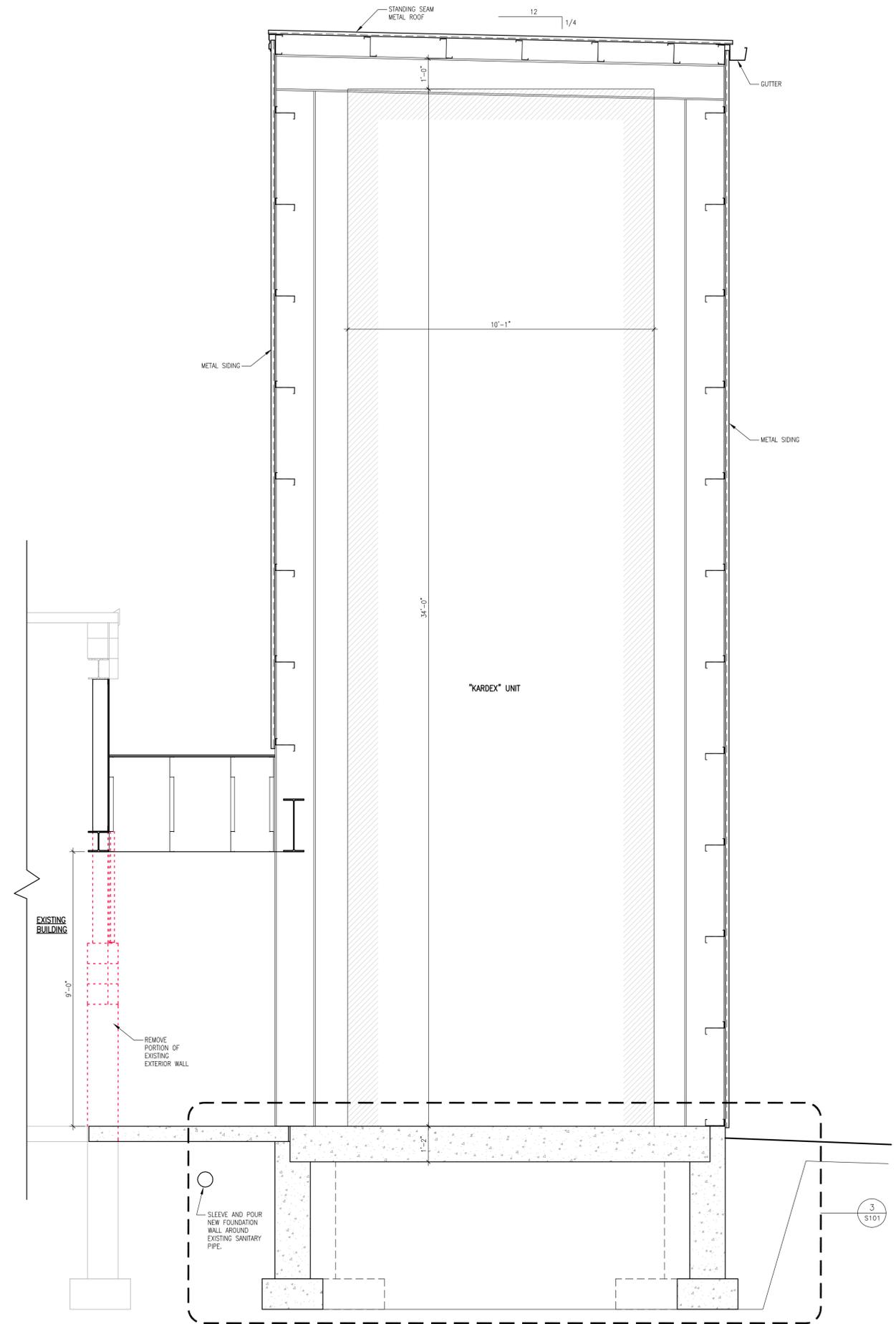


**NEW YORK AIR BRAKE
DOCK FACILITY ADDITION**
748 STARBUCK AVENUE
CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

PROJECT NO:	2015-028
SCALE:	AS NOTED
DRAWN BY:	AMM
CHECKED BY:	
ISSUE DATES:	CITY SITE PLAN SUBMISSION 04-23-2013 KARDEX REVISION 4-30-13 05-14-2013

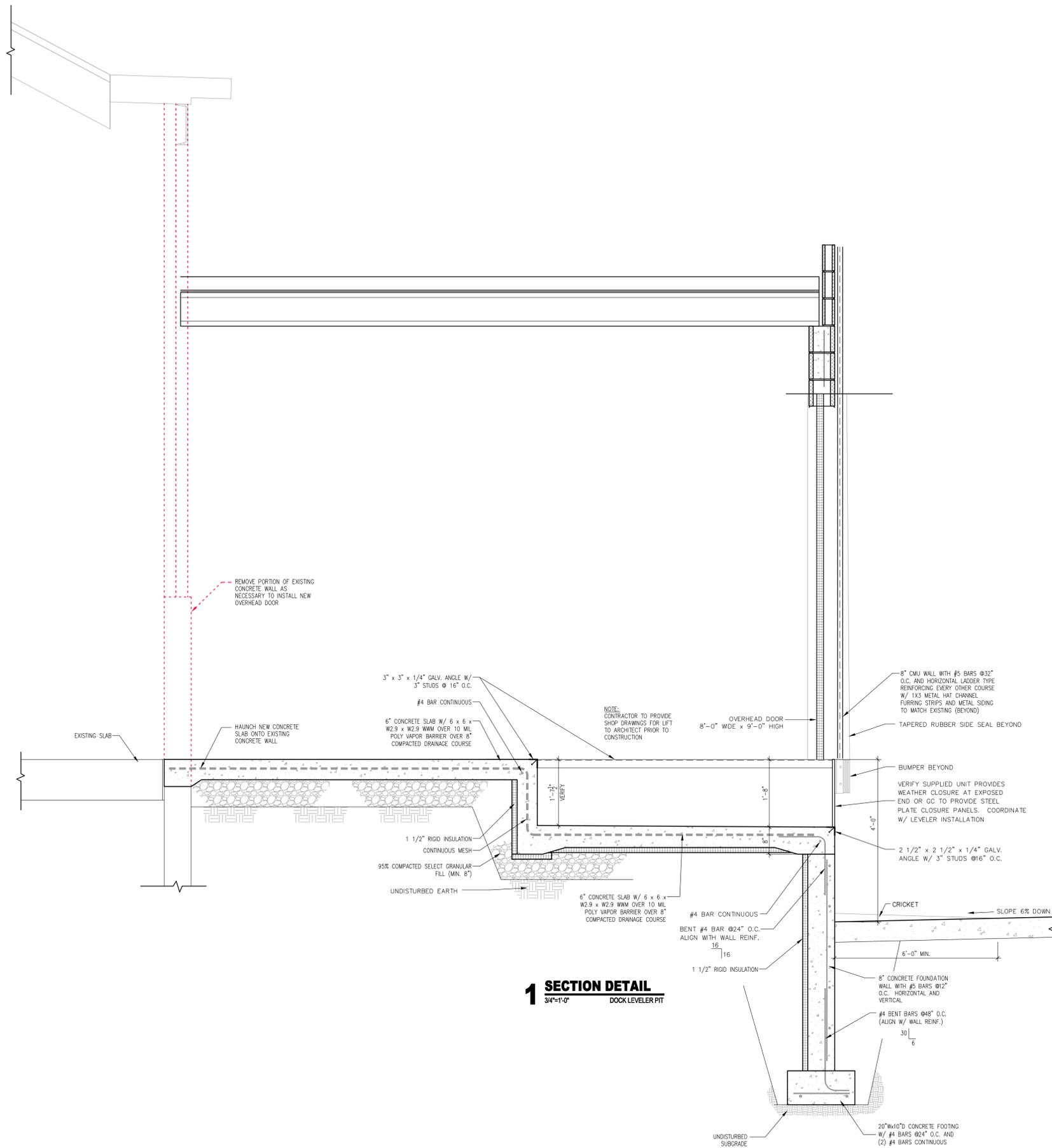
FOUNDATION PLAN
AND ROOF FRAMING PLAN

S100



AA BUILDING SECTION
1/2"=1'-0"

PROGRESS PRINT
NOT FOR CONSTRUCTION



1 SECTION DETAIL
3/4"=1'-0" DOCK LEVELER PIT



522 Bradley Street
Watertown, New York 13601

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Phone: (315)782-2005
Fax: (315)782-1472

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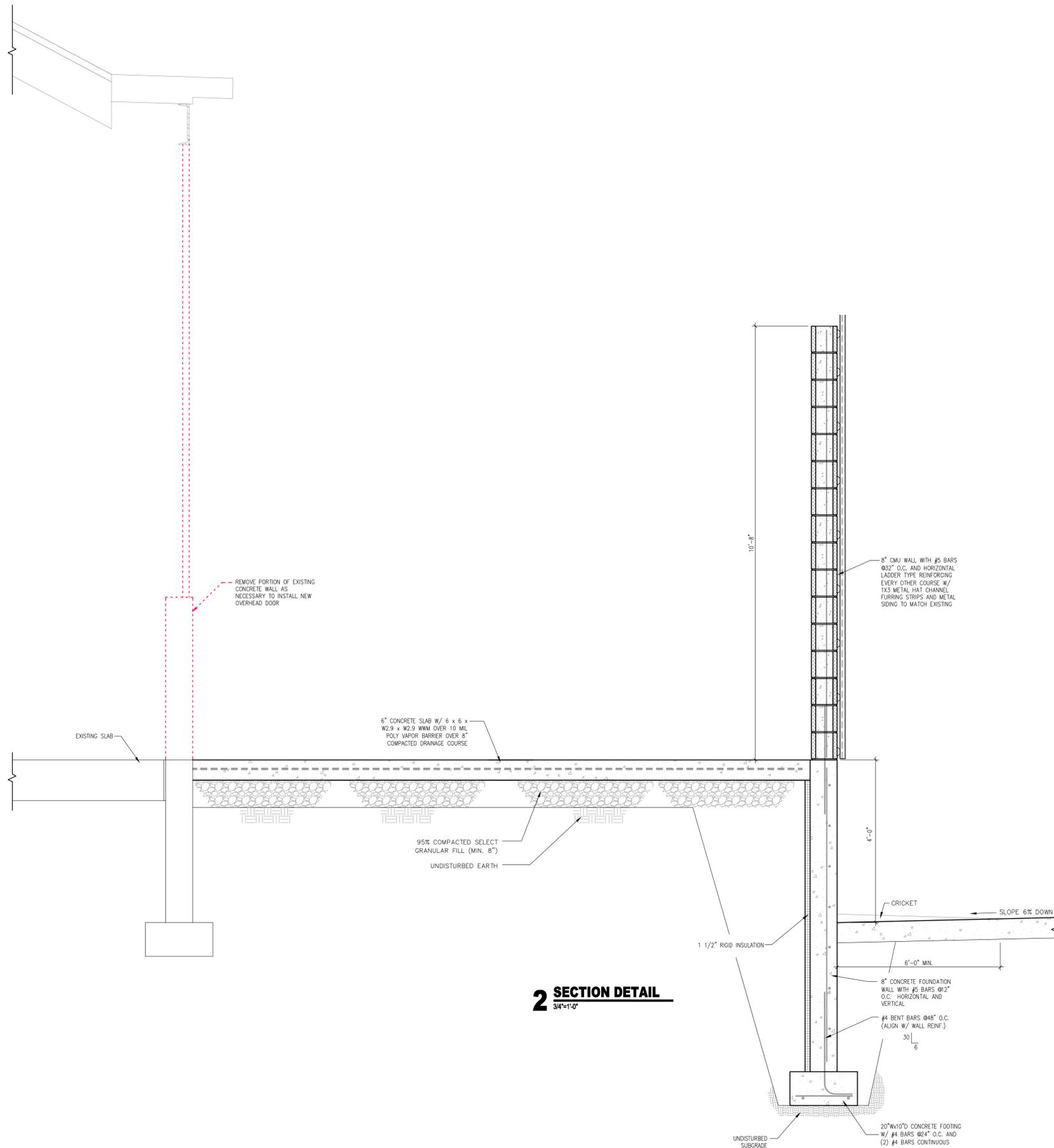
**NEW YORK AIR BRAKE
DOCK FACILITY ADDITION**
748 STARBUCK AVENUE
CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

PROJECT NO:	2013-028
SCALE:	AS NOTED
DRAWN BY:	AMM
CHECKED BY:	
ISSUE DATES:	
CITY SITE PLAN SUBMISSION	04-23-2013
KARDEX REVISION	4-30-13
	05-14-2013

WALL SECTION

S202

PROGRESS PRINT
NOT FOR CONSTRUCTION



2 SECTION DETAIL
3/4"=1'-0"



522 Bradley Street
Watertown, New York 13601

aubertinecurrier.com

Phone: (315)782-2005
Fax: (315)782-1472

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**NEW YORK AIR BRAKE
DOCK FACILITY ADDITION**
748 STARBUCK AVENUE
CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

PROJECT NO:	2013-028
SCALE:	AS NOTED
DRAWN BY:	AMM
CHECKED BY:	
ISSUE DATES:	
CITY SITE PLAN SUBMISSION	04-23-2013
KARDEX REVISION	4-30-13
	05-14-2013

WALL SECTION

S203

PROGRESS PRINT
NOT FOR CONSTRUCTION

May 15, 2013

To: The Honorable Mayor and City Council

From: Elliott B. Nelson, Confidential Assistant to the City Manager

Subject: Authorizing Three Grant Applications to the North Country Regional Economic Development Council Municipal Water and Waste Water Infrastructure Fund

The North Country Regional Economic Development Council (NCREDC) has recently announced that it is accepting grant applications to the Municipal Water and Waste Water Infrastructure Fund. The NCREDC has made \$2.5 million available to provide “final-gap financing” for critical water and sewer enhancements that identify with the community’s priorities and the NCREDC’s strategic plan. Only ‘shovel-ready’ projects will be considered for this funding opportunity, with a maximum project award of 20% of capital costs or \$500,000, whichever is less. Project submissions are due by May 22, 2013 and grant awards will be announced by mid-June.

Water Superintendent Michael J. Sligar has recommended three ‘shovel ready’ projects for submission by the City of Watertown for consideration in this funding opportunity.

1.) Rehabilitation of the 250,000 gallon elevated water storage tank at Thompson Park

As Council is aware, the City commissioned Conestoga – Rovers & Associates (CRA) to perform an inspection of the elevated water storage tank last September. The post-inspection report provided by CRA detailed severe corrosion to both the interior and exterior of the tank, requiring significant rehabilitation. The estimated total project cost is \$915,000; the City is making application for \$183,000 in grant assistance. This project is currently slated to receive financing through the issuance of a serial bond with a minimum life of ten years.

2.) Construction of a Disinfection Facility at the Waste Water Treatment Plant

In February, 2011, the City received notice that the new State Pollution Discharge Elimination System (SPDES) permit for the Waste Water Treatment Plant contained new language that would ultimately require the construction of a disinfection facility at the plant’s outfalls. Since that time, the City Council has approved a Professional Services Agreement with Stearns and Wheler GHD and

design has reached the 95% completion point. This project is on track to begin construction in June, 2013 with a total project cost of \$6.1 million and will be financed through the issuance of ten-year serial bonds. The grant application for this project is in the amount of \$500,000, the maximum amount available for a single project under this program.

3.) Water Meter Replacement Program

As of the latest inventory, there are 8,937 active meters in service in the City of Watertown's water distribution system. As Council is aware, the current method of reading water meters involves a labor-intensive and inefficient process where each service location must be visited individually on a quarterly basis. Additionally, many of the meters currently in service are antiquated and "slow," meaning that they do not accurately report the full amount of water passing through them. To combat these problems, Water Superintendent Sligar has proposed a three phase meter replacement program through which all water meters in the City would be converted to new "radio read" meters. The installation of radio read meters throughout the City would allow all water meter readings to be taken in less than one day and would provide a much more accurate consumption data. Phase I of this project has been programmed into the FY 2013-14 Capital Budget at the amount to \$650,000, with the full cost of all three phases estimated at \$1.74 million. The City is requesting \$348,000 for this project through this funding opportunity.

RESOLUTION

Page 1 of 2

Authorizing Application to the North Country
Regional Economic Development Council
Municipal Water and Waste Water
Infrastructure Fund; 250,000 Gallon Water
Storage Tank at Thompson Park

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS the City of Watertown owns and operates a water treatment and distribution system, and

WHEREAS the 250,000 gallon elevated water storage tank at Thompson Park is an important piece of infrastructure in said water treatment and distribution system, and

WHEREAS on September 12, 2012, the City entered into a Professional Services Agreement with Conestoga – Rovers & Associates to inspect said elevated water storage tank, and

WHEREAS said inspection revealed advanced deterioration to the steel of the tank’s interior and spot corrosion to the tank’s exterior steel as well as limited degradation of the concrete foundation, and

WHEREAS the City of Watertown must undertake several corrective measures to rehabilitate said elevated water storage tank, including sand-blasting and re-coating the entire interior of the tank, as well as recoating the exterior of the tank where points of corrosion exist, and

WHEREAS the cost estimate for the full rehabilitation for said elevated water storage tank is \$915,000 and will be financed through the issuance of a ten-year serial bond by the City of Watertown,

RESOLUTION

Page 2 of 2

Authorizing Application to the North Country
Regional Economic Development Council
Municipal Water and Waste Water
Infrastructure Fund; 250,000 Gallon Water
Storage Tank at Thompson Park

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown authorizes application to the North Country Regional Economic Development Council Municipal Water and Wastewater Infrastructure Fund for a grant in the amount of \$183,000 for the purpose of rehabilitating the 250,000 gallon elevated water storage tank at Thompson Park, and

BE IT FURTHER RESOLVED that Water Superintendent Michael J. Sligar is hereby authorized and directed to file said grant application on behalf of the City of Watertown.

Seconded by

RESOLUTION

Page 1 of 2

Authorizing Application to the North Country
Regional Economic Development Council
Municipal Water and Waste Water
Infrastructure Fund; Waste Water
Treatment Plant Disinfection Facility

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS the City of Watertown owns and operates a Waste Water Treatment Plant located at 700 William T. Field Drive, Watertown, NY 13601, and

WHEREAS in February, 2011 the City learned that the new State Pollution Discharge Elimination System (SPDES) permit for the Waste Water Treatment Plant contained new language requiring the installation of a disinfection system at the Plant's outfalls, and

WHEREAS on November 7, 2011, the City Council of the City of Watertown approved a Professional Services Agreement with Stearns and Wheler GHD, to perform the preliminary design, final design and construction administration services related to said disinfection facility project, and

WHEREAS on February 11, 2013 the project reached the 95% completion point for design drawings and construction contract specifications, and

WHEREAS the construction of the Waste Water Treatment Plant Disinfection Facility is expected to begin in June, 2013, and

WHEREAS the total cost of the project is estimated to be \$6.1 million and will be financed through the issuance of a ten-year serial bond by the City of Watertown;

RESOLUTION

Page 2 of 2

Authorizing Application to the North Country
Regional Economic Development Council
Municipal Water and Waste Water
Infrastructure Fund; Waste Water
Treatment Plant Disinfection Facility

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.
Total

YEA	NAY

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown authorizes application to the North Country Regional Economic Development Council Municipal Water and Wastewater Infrastructure Fund for a grant in the amount of \$500,000 for the purpose of constructing a disinfection facility at the Waste Water Treatment Plant, and

BE IT FURTHER RESOLVED that Water Superintendent Michael J. Sligar is hereby authorized and directed to file said grant application on behalf of the City of Watertown.

Seconded by

RESOLUTION

Page 1 of 2

Authorizing Application to the North Country
Regional Economic Development Council
Municipal Water and Waste Water
Infrastructure Fund; Water Meter
Replacement Program

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS the City of Watertown owns and operates a water distribution system, and

WHEREAS approximately 8,937 active water meters service the City of Watertown’s water distribution system, which document the usage of treated water and form the basis for user accountability and accurate billing, and

WHEREAS the current method of reading water meters is labor intensive and inefficient, requiring the employment of two individuals who must visit each metered location on a quarterly basis to attain water consumption data, and

WHEREAS the City of Watertown Water Department has identified deficiencies in existing water meters which cause them to run “slow,” meaning that some treated water may pass through the meter unrecorded, and

WHEREAS the City of Watertown reported that during calendar year 2012, 25% of treated water was unaccounted for in billings, constituting a significant degree of wasted resources, and

WHEREAS, in 2007 the City of Watertown Water Department began converting a limited number of water meters to radio read meters, installing approximately 1,800 new meters during the past five years, and

WHEREAS radio read meters, if installed on every active account in the City of Watertown, would allow for a full reading of all accounts in one day by one person, constituting a significant savings in resources to the City,

RESOLUTION

Page 2 of 2

Authorizing Application to the North Country
Regional Economic Development Council
Municipal Water and Waste Water
Infrastructure Fund; Water Meter
Replacement Program

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

WHEREAS the City of Watertown has programmed into the 2013-14 Capital Budget \$650,000 for the first phase of a three phase program to replace all antiquated water meters with radio read meters, and

WHEREAS financing for Phase I of said water meter replacement program will be through the issuance of a ten-year serial bond in the amount of \$325,000, and through the use of fund balance from the Sewer Fund in the amount of \$325,000, and

WHEREAS the total cost for all three phases of said water meter replacement program is estimated to be \$1.74 million;

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown authorizes application to the North Country Regional Economic Development Council Municipal Water and Waste Water Infrastructure Fund for a grant in the amount of \$348,000 for the purpose of funding the water meter replacement program, and

BE IT FURTHER RESOLVED that Water Superintendent Michael J. Sligar is hereby authorized and directed to file said grant application on behalf of the City of Watertown.

Seconded by

May 14, 2013

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, Planning and Community Development Coordinator

Subject: Accepting the Bid for the Flower Memorial Library Masonry Restoration and Fountain Construction Project from Raymond E. Kelley, Inc.

The City Purchasing Department has advertised and received sealed bids for the Flower Memorial Library Masonry Restoration and Fountain Construction Project per the City's specifications.

Invitations to bid were issued to Northern New York and Syracuse Builders Exchange, the Dodge Reports and The Contract Reporter. Fourteen (14) sets of bid specifications and plans were requested by area builders with four (4) sealed bids received and publicly opened and read in the City Purchasing Department on Tuesday, May 7, 2013, at 11:00 a.m.

In addition to the base bid, five bid alternatives were requested in the specifications for consideration:

- Alternate 1.18: Replace one specific stone piece with new, in lieu of repair. This stone is on the north end of the porch, and is badly damaged.
- Alternate 2.1: Basic detergent and brush cleaning of all exterior marble.
- Alternate 2.2: Intensive chemical cleaning at certain heavily soiled areas.
- Alternate 7.3: Basic cleaning of entire marble fence.
- Alternate 4.2: Cost deduction to repair lions and lion pedestals in place rather than disassemble, move, and replace after repair.

City Purchasing Manager Amy M. Pastuf reviewed the bids received with Planning staff and the consulting Architect, Randy Crawford. It is our recommendation that the City accept the base and Alternate 4.2 bids from Raymond E. Kelley, Inc. as the lowest qualifying bidder meeting our specifications, in the amount of \$253,400.

The damaged stone referenced in 1.18 can be stabilized and patched in place. The basic cleaning in 2.1 and 7.3 may not noticeably improve the appearance. The chemical cleaning in 2.2 is risky, as the chemicals may damage the stone or simply have no effect.

Funding to support this project is available from the Fiscal Year 2012-13 General Fund transfers to the Capital Fund of \$200,000 for the masonry, and \$50,000 for the fountains. \$25,850 is obligated for the Architect's fee, and \$2,100 was spent on cleaning debris from the attic. Remaining funds on hand total \$222,050. Included in tonight's agenda is a Resolution to readopt the FY 2012-13 General and Library Fund Budgets to appropriate an additional \$31,350 for these projects.

We expect there to be change orders on this project. Under Scope 1, we will not know what holds the soffit panels in place until the first one is taken down. Also, the condition of the concrete under the front steps will not be known until the marble treads are taken up under Scope 3.

The resolution prepared for City Council consideration accepts the bid, including Alternate 4.2, of Raymond E. Kelley, Inc. in the amount of \$253,400.00.

RESOLUTION

Page 1 of 1

Accepting a Bid for the Flower Memorial Library
Masonry Restoration and Fountain Construction
Project from Raymond E. Kelley, Inc.

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

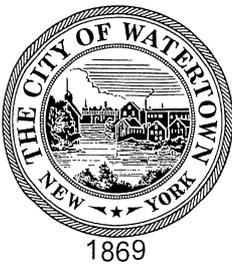
WHEREAS the City Purchasing Department has advertised and received sealed bids for the Flower Memorial Library Masonry Restoration and Fountain Construction project, per our specifications, and

WHEREAS invitations to bid were issued to Northern New York and Syracuse Builders Exchange, the Dodge Reports and The Contract Reporter, with fourteen (14) sets of bid specifications and plans requested by area builders and four (4) sealed bids received and publicly opened and read in the City Purchasing Department on Tuesday, May 7, 2013, at 11:00 a.m., and

WHEREAS City Purchasing Manager Amy M. Pastuf reviewed the bids received with Planning staff and the consulting Architect, Randy Crawford of Crawford & Stearns, and it is their recommendation that the City Council accept the base bid submitted by Raymond E. Kelley, Inc. of Seneca Falls, New York, plus Alternative 4.2,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown, New York accepts the bid submitted by Raymond E. Kelley, Inc. as the lowest qualifying bidder for the Flower Memorial Library Masonry Restoration and Fountain Construction including Bid Alternative 4.2, per our specifications, in the amount of \$253,400.00.

Seconded by



CITY OF WATERTOWN, NEW YORK

ROOM 205, CITY HALL
245 WASHINGTON STREET
WATERTOWN, NEW YORK 13601-3380
E-MAIL APastuf@watertown-ny.gov
Phone (315) 785-7749 Fax (315) 785-7752

Amy M. Pastuf
Purchasing Manager

MEMORANDUM

TO: Sharon Addison, City Manager
FROM: Amy M. Pastuf, Purchasing Manager
SUBJECT: Bid 2013-05 – Flower Memorial Library Masonry Reconstruction and Fountain Construction Project
DATE: 5/14/2013

The City's Purchasing Department advertised in the Watertown Daily Times on April 10, 2013 calling for sealed bids for the Flower Memorial Library Masonry Reconstruction and Fountain Construction Project as per City specifications. The project consists of general masonry repairs to the building, stairs, façade and marble fence as well as the construction of two new fountains for the front entrance area.

Invitations to bid were issued to fourteen (14) prospective bidders and four (4) sealed bids were submitted to the Purchasing Department. The sealed bids were publically opened and read on Tuesday, May 7, 2013 at 11:00 am, local time. The bid tabulation is shown on the attached page.

The bids were reviewed by the City Planning Department, City Engineering Department and the Purchasing Department to ensure that the bid requirements were met. It was agreed that the proposal made by Raymond E. Kelley, Inc. substantially complies with the requirements of the bid specifications. The alternative proposals were evaluated and it was determined that the cost of the marble cleaning (Alternative 1.18, 2.1, 2.2 and 7.3) outweighed the expected end result of a 5-10% improvement in the marble appearance. It was determined, however, that the deduct alternative to leave the lions in place during the reconstruction was in the best interest for the project with a decrease in the overall price of \$6,500.00. It is recommended that the bid for the Flower Memorial Library Masonry Reconstruction and Fountain Construction Project be awarded to Raymond E. Kelley, Inc. for the amount of \$259,900 less the deduct of \$6,500.00 for a total of \$253,400..

If there are any questions concerning this recommendation, please contact me at your convenience.

Bid Tabulation - Bid 2013-05
Flower Memorial Library Masonry Reconstruction and Fountain Construction Project

Item Number	Description	BVR Construction Company, Inc.	Heritage Masonry Restoration, Inc.	Lupini Construction, Inc.	Raymond E. Kelley
Scope 1	General exterior masonry repairs	\$54,000.00	\$79,000.00	\$57,020.00	\$48,000.00
Scope 3	Front steps reconstruction	\$32,000.00	\$41,000.00	\$43,500.00	\$32,000.00
Scope 4	Lion Restoration	\$32,000.00	\$21,000.00	\$34,290.00	\$14,700.00
Scope 5	Colonnade cornice attic repairs	\$3,000.00	\$17,000.00	\$3,100.00	\$4,400.00
Scope 6	New fountain construction	\$128,000.00	\$148,000.00	\$84,440.00	\$146,600.00
Scope 7	Mable fence repairs	\$40,000.00	\$44,000.00	\$47,890.00	\$14,200.00
Bid Total		\$289,000.00	\$350,000.00	\$270,240.00	\$259,900.00
Alt 1.18	Replace stone with new	\$3,300.00	\$1,500.00	\$2,360.00	\$1,750.00
Alt. 2.1	Exterior masonry cleaning	\$1,000.00	\$8,000.00	\$44,500.00	\$9,500.00
Alt 2.2	Chemical cleaning as per specs.	\$3,200.00	\$8,000.00	\$11,400.00	\$8,400.00
Alt. 7.3	Clean marble fence	\$10,000.00	\$8,000.00	\$3,520.00	\$5,600.00
Alt 4.2	Reset lion pedestal stones	-\$8,600.00	-\$8,500.00	-\$5,840.00	-\$6,500.00
Alt. Total		\$8,900.00	\$17,000.00	\$55,940.00	\$18,750.00
Grand Total		\$297,900.00	\$367,000.00	\$326,180.00	\$278,650.00

Res Nos. 9, 10, 11, 12

May 15, 2013

To: The Honorable Mayor and City Council
From: James E. Mills, City Comptroller
Subject: Fiscal Year 2013-14 Budget Resolutions

Attached for City Council consideration are resolutions associated with the adoption of the Fiscal Year 2013-14 Budget.

This first resolution establishes the Property Tax Rate for Fiscal Year 2013-14 at \$7.299 per \$1,000 of assessed valuation. This represents a 1.23% increase in tax rates from the current Fiscal Year. The final tax levy increase is \$7,520,705 which is a 2.00% increase over the current year.

The second resolution approves the City's Operating Budgets for the upcoming fiscal year. Combined appropriations of \$52,998,359 are being approved for the General, Water, Sewer, Library and Tourism Funds. An appropriation of \$8,257,772 is proposed for the Reserve and Self Funded Health Insurance Funds.

The third resolution approves the Capital Program budget for Fiscal Years 2013-14 through 2017-18.

The fourth resolution establishes the management/management confidential salaries for the upcoming fiscal year. The Fiscal Year 2013-14 Budget contains an appropriation for a two percent (2.0%) salary increase for Management and Management Confidential employees.

RESOLUTION

Page 1 of 1

Establishing Property Tax Rate for
Fiscal Year 2013-14

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.
 Total

YEA	NAY

Introduced by

WHEREAS the City Council of the City of Watertown, New York has determined the Budget for 2013-14 for all operating funds for the City of Watertown in the amount of \$52,998,359 of which \$41,021,635 is the General Fund, and of this amount in the General Fund \$7,520,705 is to be raised by taxes on real estate and \$13,981 is to be collected in omitted City taxes,

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Watertown that the tax on real estate in the amount of \$ 7,520,705 is hereby levied and the rate to produce \$ 7,506,724 of this levy is hereby established at \$ 7.299 per \$1,000 of assessed valuation, and the remaining \$13,981 is to be collected in omitted taxes.

Seconded by

RESOLUTION

Page 1 of 1

Approving 2013-14 Operating Budgets,
City of Watertown New York

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.
 Total

YEA	NAY

Introduced by

WHEREAS the City Council of the City of Watertown, New York has met and considered the Proposed Budget for the City of Watertown for Fiscal Year 2013-14 and it has conducted public hearings on the Proposed Budget and has determined that revenues and appropriations for the several funds in the Budget for 2013-14 will be amended as indicated in the Budget Detail of Changes of Revenues and Appropriations, which detail is attached and made a part of this resolution,

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Watertown, New York that it hereby adopts the Budget for the City Government for Fiscal Year 2013-14 in the total amount of \$52,998,359 of which in the General Fund \$33,500,930 to be raised by estimated revenues other than real property taxes, \$13,981 is estimated to be received from omitted taxes and \$7,506,724 is to be raised by real property tax levy. In adopting the Budget, the City Council hereby appropriates \$52,998,359 for all operating funds, and

BE IT FURTHER RESOLVED that in adopting the Budget, the City Council hereby appropriates \$8,257,772 for all reserve funds, and

BE IT FURTHER RESOLVED that in adopting the Budget, the City Council approves the Budget Detail of Changes in Revenues and Appropriations to the Proposed Budgets, which is attached and made a part of this resolution.

Seconded by

RESOLUTION

Page 1 of 1

Approving 2013-14 through 2017-18
Capital Program Budget, City of Watertown,
New York

Council Member BURNS, Roxanne M.

Council Member BUTLER, Joseph M. Jr.

Council Member MACALUSO, Teresa R.

Council Member SMITH, Jeffrey M.

Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS the City Council of the City of Watertown, New York has met and considered the Proposed Budget for the City of Watertown for Fiscal Year 2013-14, including the Proposed Capital Program for the years 2013-14 through 2017-18 and has conducted public hearings on the Proposed Capital Program Budget, and has determined that the projects as listed in the Capital Program as amended by the attached detail report, which is made a part of this resolution, shall constitute the Capital Program,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown, New York hereby adopts the Capital Program Budget for the years 2013-14 through 2017-18.

Seconded by

RESOLUTION

Page 1 of 2

Amendment No. 89 to the Management
And Management Confidential Pay Plan

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.
Total

YEA	NAY

Introduced by

WHEREAS with the adoption of the Fiscal Year 2013-14 Budget, the City Council of the City of Watertown appropriated a raise for Management and Management Confidential employees in the amount of two percent (2.0%),

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby approves Amendment No.86 to the Management and Management Confidential Pay Plan, in order to establish the annual compensation for the positions listed below effective July 1, 2013,

<u>Position</u>	Salary
Police Chief	\$94,525
City Engineer	\$93,065
Police Captain	\$89,484
Fire Chief	\$88,432
City Comptroller	\$85,279
Water Superintendent	\$84,476
Superintendent of Public Works	\$84,034
Deputy Fire Chief	\$81,669
Library Director	\$76,024
Superintendent of Parks and Recreation	\$72,104
Assistant Superintendent of Public Works	\$71,803
Chief Waste Water Treatment Plant Operator	\$69,003
Information Technology Manager	\$67,880
Civil Engineer II (Wood)	\$67,552
Planning and Community Development Coordinator	\$66,607
Purchasing Manager	\$65,923
Supervisor of Water Distribution Systems	\$64,585

RESOLUTION

Page 1 of 2

Amendment No. 89 to the Management
And Management Confidential Pay Plan

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Chief Water Treatment Plant Operator	\$64,402
Code Enforcement Supervisor	\$63,310
City Assessor	\$63,298
Deputy City Comptroller	\$62,496
Street and Sewer Maintenance Supervisor (3)	\$62,496
Civil Engineer I (3)	\$58,838
Parks and Recreation Program Manager	\$55,590
Planner (Lumbis)	\$55,357
Librarian III	\$54,368
Executive Secretary Civil Service Commission	\$49,548
Confidential Assistant to the City Manager	\$46,292
Confidential Secretary to the City Manager	\$43,300
Planner (Nichols)	\$42,650
Deputy City Clerk (2)	\$38,218
Accountant	\$36,953

Seconded by

May 17, 2013

To: The Honorable Mayor and City Council
From: Brian Phelps, City Assessor
Subject: Request to Amend STREAM Parking Lot Lease Agreement

An updated request to amend the August 9, 2002 Lease Agreement for the City-owned parking lot and deck adjacent to the STREAM building and the parking lot behind the former Globe Mini Mall and Liberty Plaza is attached for your consideration.

The original request was presented to City Council April 15, 2013. The updated request is the result of meetings and communications between City staff, the JCIDA and WICLDC to relay City Council's concerns with the initial proposal.

The issue of maintenance costs was addressed by JCIDA agreeing to pay the City an amount of \$20,000 per year. The prior agreement called for no payments for the remainder of the lease.

The issue of the lease's term is addressed by agreeing that the expiration date for the term in the Lease Agreement is September 30, 2013 (not the original May 1, 2013) and that the five-year extension was exercised, extending the lease to September 30, 2018.

The request addresses the concerns expressed over the continued leasing of a section of the parking lot located behind the former Globe Mini Mall and Liberty Plaza, by agreeing that the lot will remain usable by the general public until such time as their employment figures warrant its restricted use. In the event of STREAM's need to have exclusive use, they will notify the City five days in advance.

RESOLUTION

Page 1 of 1

Approving Second Amendment to Parking Lot Lease Agreement Between the City of Watertown and the Watertown Industrial Center Local Development Corporation

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

WHEREAS the City of Watertown owns and maintains certain parking facilities within the City of Watertown, and

WHEREAS the City has determined that a valid public purpose is served by leasing particular parking facilities to the Watertown Industrial Center Local Development Corporation, and

WHEREAS the City of Watertown and the Watertown Industrial Center Local Development Corporation have previously entered into an Agreement for the lease of said parking facilities;

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby approves the Second Amendment to Parking Lot Lease between the City of Watertown and the Watertown Industrial Center Local Development Corporation, a copy of which is attached and made a part of this resolution, and

BE IT FURTHER RESOLVED that City Manager Sharon Addison is hereby authorized and directed to execute said Lease Agreement Amendment on behalf of the City of Watertown.

Seconded by

SECOND AMENDMENT TO PARKING LOT LEASE

This Second Amendment is made as of April ____, 2013 (the "Amendment") to a Parking Lot Lease dated August 9, 2002 (the "Lease Agreement") between the **CITY OF WATERTOWN** (the "Landlord") and **WATERTOWN INDUSTRIAL CENTER LOCAL DEVELOPMENT CORPORATION** ("WICLDC").

The purpose of this Amendment is to establish a date on which the Initial Lease Term commences and ends; to confirm the exercise of the five (5) year option to renew with its ending date; allow the use by the general public of the parking lot described in Parcel 2 of the Lease Agreement until such time as Stream may need it for employee parking and establish a payment of \$20,000.00 a year to the Landlord for maintenance of the parking lots described in the Lease Agreement.

NOW THEREFORE the parties hereto agree as follows:

1. All capitalized words and terms used herein shall have the same meaning as defined in the Lease Agreement except as otherwise defined herein.
2. The Commencement Date for the term in the Lease Agreement is October 1, 2003 and the Expiration Date for the term in the Lease Agreement is September 30, 2013.
3. The five (5) year option as provided in the Lease Agreement has been exercised and will commence on October 1, 2013 and end on September 30, 2018.
4. The parking lot described in Parcel 2 in the Lease Agreement shall be open to the general public until such time as the Jefferson County Industrial Development Agency ("JCIDA"), the Sub-lessee, notifies the Landlord in writing 5 days in advance that parking spaces are needed by Stream for its employees due to an increase in employment at its Watertown, New York facility. The letter shall inform the Landlord of the approximate number of parking spaces needed and those parking spaces shall then be exclusive to Stream's employees with the general public continuing to be allowed in those parking spaces not used by Stream's employees.
5. To help defer the expenses incurred by the Landlord pursuant to Article IV of the Lease Agreement, the JCIDA as Sub-lessee shall pay to the Landlord the sum of \$20,000.00 commencing October 1, 2013 with a like sum being paid on the 1st day of October thereafter until October 1, 2017. These payments shall be deemed additional rent.
6. Except as herein specifically modified, all of the other terms, covenants and conditions of the Lease Agreement shall remain the same.
7. This Amendment has been duly authorized by each of the parties hereto and is binding on the parties and their respective successors and assigns.
8. This Amendment may be recorded in the Jefferson County Clerk's office.

ORDINANCE

An Ordinance Amending the Ordinance Dated February 21, 2012, as Amended January 22, 2013, Authorizing the Issuance of \$460,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay Part of the \$750,000 Estimated Maximum Cost of the Design of a Disinfection System at the City's Wastewater Treatment Plant, to Increase the Amount of Bonds Authorized to \$485,000 and the Estimated Maximum Cost Thereof to \$775,000

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.
Total

YEA	NAY

Introduced by

At a regular meeting of the Council of the City of Watertown, Jefferson County, New York, held at the Municipal Building, in Watertown, New York, in said City, on May 20, 2013, at _____ o'clock _____.M., Prevailing Time.

The meeting was called to order by _____, and upon roll being called, the following were

PRESENT:

ABSENT:

The following ordinance was offered by Council Member _____, who moved its adoption, seconded by Council Member _____, to wit:

WHEREAS, by ordinance dated February 21, 2012, the Council of the City of Watertown, Jefferson County, New York, authorized the issuance of \$460,000 bonds of said City to pay part of the \$710,000 estimated maximum cost of the design of a disinfection system for the City's wastewater treatment plant, in and for the City of Watertown, Jefferson County, New York, including incidental expenses in connection therewith, a specific object or purpose, in and for the City of Watertown, Jefferson County, New York; and

WHEREAS, by ordinance dated January 22, 2013, said Council amended the February 21, 2012 ordinance, to authorize the issuance of \$460,000 bonds of said City to pay part of the \$750,000 estimated maximum cost of the design of a disinfection system for the City's wastewater treatment plant, in and for the City of Watertown, Jefferson County, New York, including incidental expenses in connection therewith, a specific object or purpose, in and for the City of Watertown, Jefferson County, New York; and

Ord No. 1

April 30, 2013

To: The Honorable Mayor and City Council

From: James E. Mills, City Comptroller

Subject: Bond Ordinance Amendment – Wastewater Treatment Plant Disinfection System

Included in the City Council agenda for May 6th was a bond ordinance for the Wastewater Treatment Plant disinfection system project. Unfortunately the bond ordinance was tabled to correct errors within the ordinance. The attached ordinance reflects a corrected version. Staff is asking that this bond ordinance be considered and when the ordinance dated May 6th is removed from the table that it be defeated.

On May 6th City Council approved a resolution to amend the agreement with GHD Consulting Engineers LLC for the disinfection system improvements at the wastewater treatment plant in the amount of \$25,700. As the plan for financing this project is through debt the following bond ordinance must be considered by City Council as the estimated cost of the project has increased to \$775,000.

A summary of the project's current costs are as follows:

GHD Consulting Engineers LLC:	
- Initial agreement	\$ 706,800
- Amendment No. 1	5,800
- Amendment No. 2	29,300
- Amendment No. 2	25,700
Bonding expenses and contingency	<u>7,400</u>
Bond Ordinance	<u>\$ 775,000</u>

ORDINANCE

YEA	NAY

An Ordinance Amending the Ordinance Dated February 21, 2012, as Amended January 22, 2013, Authorizing the Issuance of \$460,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay Part of the \$750,000 Estimated Maximum Cost of the Design of a Disinfection System at the City's Wastewater Treatment Plant, to Increase the Amount of Bonds Authorized to \$485,000 and the Estimated Maximum Cost Thereof to \$775,000

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.
 Total

WHEREAS, the Council now wishes to increase the estimated maximum cost of the aforesaid specific object or purpose from \$750,000 to \$775,000, an increase of \$25,000 over that previously authorized;

NOW, THEREFORE, BE IT ORDAINED, by the Council of the City of Watertown, Jefferson County, New York, as follows:

Section A. The title and Sections 1 and 2 of the ordinance of this Council dated and duly adopted February 21, 2012, as amended on January 22, 2013, authorizing the issuance of \$460,000 bonds to pay part of the \$750,000 estimated maximum cost of the design of a disinfection system for the City's wastewater treatment plant, in and for the City of Watertown, Jefferson County, New York, including incidental expenses in connection therewith, a specific object or purpose, in and for the City of Watertown, Jefferson County, New York, are hereby amended, in part, to read as follows:

“AN ORDINANCE AUTHORIZING THE ISSUANCE OF \$485,000 BONDS OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, NEW YORK, TO PAY PART OF THE \$775,000 ESTIMATED MAXIMUM COST OF THE DESIGN OF A DISINFECTION SYSTEM AT THE CITY'S WASTEWATER TREATMENT PLANT.

“

“Section 1. To pay part of the cost of the design of a disinfection system for the City's wastewater treatment plant, in and for the City of Watertown, Jefferson County, New York, including incidental expenses in connection therewith, there are hereby authorized to be issued \$485,000 bonds of said City pursuant to the provisions of the Local Finance Law.

“Section 2. It is hereby determined that the estimated maximum cost of the aforesaid specific object or purpose is \$775,000 and that the plan for the financing thereof is by the issuance of the \$485,000 bonds of said City authorized to be issued pursuant to this bond ordinance, together with the use of \$290,000 current funds of the City.”

ORDINANCE

An Ordinance Amending the Ordinance Dated February 21, 2012, as Amended January 22, 2013, Authorizing the Issuance of \$460,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay Part of the \$750,000 Estimated Maximum Cost of the Design of a Disinfection System at the City's Wastewater Treatment Plant, to Increase the Amount of Bonds Authorized to \$485,000 and the Estimated Maximum Cost Thereof to \$775,000

Council Member BURNS, Roxanne M.		
Council Member BUTLER, Joseph M. Jr.		
Council Member MACALUSO, Teresa R.		
Council Member SMITH, Jeffrey M.		
Mayor GRAHAM, Jeffrey E.		
Total		

YEA	NAY

Section B. The validity of such bonds and bond anticipation notes may be contested only if:

- (1) Such obligations are authorized for an object or purpose for which said City is not authorized to expend money, or
- (2) The provisions of law which should be complied with at the date of publication of this ordinance are not substantially complied with, and an action, suit or proceeding contesting such validity is commenced within twenty days after the date of such publication, or
- (3) Such obligations are authorized in violation of the provisions of the Constitution.

Section C. Upon this ordinance taking effect, the same shall be published in summary in the Watertown Daily Times, the official newspaper, together with a notice of the City Clerk in substantially the form provided in Section 81.00 of the Local Finance Law.

Section D. This resolution is effective immediately.

Unanimous consent moved by Council Member _____, seconded by Council Member _____, with all voting "AYE".

The question of the adoption of the foregoing ordinance was duly put to a vote on roll call, which resulted as follows:

_____	VOTING	_____

The ordinance was thereupon declared duly adopted.
* * *

ORDINANCE

An Ordinance Amending the Ordinance Dated February 21, 2012, as Amended January 22, 2013, Authorizing the Issuance of \$460,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay Part of the \$750,000 Estimated Maximum Cost of the Design of a Disinfection System at the City's Wastewater Treatment Plant, to Increase the Amount of Bonds Authorized to \$485,000 and the Estimated Maximum Cost Thereof to \$775,000

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.
 Total

YEA	NAY

I FURTHER CERTIFY that PRIOR to the time of said meeting, I duly caused public notice of the time and place of said meeting to be conspicuously posted in the following designated public location(s) on the following dates:

Designated Location(s) of Posted Noticed Date of Posting

Regular meeting of the City Council held in accordance with Section 14-1 of the Municipal Code

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said City on May _____, 2013.

 City Clerk

(CORPORATE SEAL)

Seconded by:

Tabled

April 30, 2013

To: The Honorable Mayor and City Council

From: James E. Mills, City Comptroller

Subject: Tabled Bond Ordinance Amendment – Wastewater Treatment Plant
Disinfection System

The Bond Ordinance Amendment that was Tabled at the May 6, 2013 meeting is attached. As Council has been presented with a corrected Bond Ordinance in tonight's agenda, it is recommended that the attached be removed from the Table and Defeated.

ORDINANCE

An Ordinance Amending the Ordinance Dated February 21, 2012, as Amended January 22, 2013, Authorizing the Issuance of \$460,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay Part of the \$750,000 Estimated Maximum Cost of the Design of a Disinfection System at the City's Wastewater Treatment Plant, to Increase the Estimated Maximum Cost Thereof to \$800,000

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Introduced by

Council Member Jeffrey M. Smith

At a regular meeting of the Council of the City of Watertown, Jefferson County, New York, held at the Municipal Building, in Watertown, New York, in said City, on May 6, 2013, at _____ o'clock _____.M., Prevailing Time.

The meeting was called to order by _____, and upon roll being called, the following were

PRESENT:

ABSENT:

The following ordinance was offered by Council Member _____, who moved its adoption, seconded by Council Member _____, to wit:

WHEREAS, by ordinance dated February 21, 2012, the Council of the City of Watertown, Jefferson County, New York, authorized the issuance of \$460,000 bonds of said City to pay part of the \$710,000 estimated maximum cost of the design of a disinfection system for the City's wastewater treatment plant, in and for the City of Watertown, Jefferson County, New York, including incidental expenses in connection therewith, a specific object or purpose, in and for the City of Watertown, Jefferson County, New York; and

WHEREAS, by ordinance dated January 22, 2013, said Council amended the February 21, 2012 ordinance, to authorize the issuance of \$460,000 bonds of said City to pay part of the \$750,000 estimated maximum cost of the design of a disinfection system for the City's wastewater treatment plant, in and for the City of Watertown, Jefferson County, New York, including incidental expenses in connection therewith, a specific object or purpose, in and for the City of Watertown, Jefferson County, New York; and

ORDINANCE

An Ordinance Amending the Ordinance Dated February 21, 2012, as Amended January 22, 2013, Authorizing the Issuance of \$460,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay Part of the \$750,000 Estimated Maximum Cost of the Design of a Disinfection System at the City's Wastewater Treatment Plant, to Increase the Estimated Maximum Cost Thereof to \$800,000

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.
 Total

YEA	NAY

Page 2 of 5

WHEREAS, the Council now wishes to increase the estimated maximum cost of the aforesaid specific object or purpose from \$750,000 to \$775,000, an increase of \$25,000 over that previously authorized;

NOW, THEREFORE, BE IT ORDAINED, by the Council of the City of Watertown, Jefferson County, New York, as follows:

Section A. The title and Sections 1 and 2 of the ordinance of this Council dated and duly adopted February 21, 2012, as amended on January 22, 2013, authorizing the issuance of \$460,000 bonds to pay part of the \$750,000 estimated maximum cost of the design of a disinfection system for the City's wastewater treatment plant, in and for the City of Watertown, Jefferson County, New York, including incidental expenses in connection therewith, a specific object or purpose, in and for the City of Watertown, Jefferson County, New York, are hereby amended, in part, to read as follows:

“AN ORDINANCE AUTHORIZING THE ISSUANCE OF \$460,000 BONDS OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, NEW YORK, TO PAY PART OF THE \$775,000 ESTIMATED MAXIMUM COST OF THE DESIGN OF A DISINFECTION SYSTEM AT THE CITY'S WASTEWATER TREATMENT PLANT.

“....

“Section 1. To pay part of the cost of the design of a disinfection system for the City's wastewater treatment plant, in and for the City of Watertown, Jefferson County, New York, including incidental expenses in connection therewith, there are hereby authorized to be issued \$460,000 bonds of said City pursuant to the provisions of the Local Finance Law.

“Section 2. It is hereby determined that the estimated maximum cost of the aforesaid specific object or purpose is \$775,000 and that the plan for the financing thereof is by the issuance of the \$525,000 bonds of said City authorized to be issued pursuant to this bond ordinance, together with the use of \$250,000 current funds of the City.”

ORDINANCE

An Ordinance Amending the Ordinance Dated February 21, 2012, as Amended January 22, 2013, Authorizing the Issuance of \$460,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay Part of the \$750,000 Estimated Maximum Cost of the Design of a Disinfection System at the City's Wastewater Treatment Plant, to Increase the Estimated Maximum Cost Thereof to \$800,000

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

Section B. The validity of such bonds and bond anticipation notes may be contested only if:

- (1) Such obligations are authorized for an object or purpose for which said City is not authorized to expend money, or
- (2) The provisions of law which should be complied with at the date of publication of this ordinance are not substantially complied with, and an action, suit or proceeding contesting such validity is commenced within twenty days after the date of such publication, or
- (3) Such obligations are authorized in violation of the provisions of the Constitution.

Section C. Upon this ordinance taking effect, the same shall be published in summary in the Watertown Daily Times, the official newspaper, together with a notice of the City Clerk in substantially the form provided in Section 81.00 of the Local Finance Law.

Section D. This resolution is effective immediately.

Unanimous consent moved by Council Member _____, seconded by Council Member _____, with all voting "AYE".

The question of the adoption of the foregoing ordinance was duly put to a vote on roll call, which resulted as follows:

_____ VOTING _____
 _____ VOTING _____
 _____ VOTING _____
 _____ VOTING _____
 _____ VOTING _____

The ordinance was thereupon declared duly adopted.

* * *

ORDINANCE

An Ordinance Amending the Ordinance Dated February 21, 2012, as Amended January 22, 2013, Authorizing the Issuance of \$460,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay Part of the \$750,000 Estimated Maximum Cost of the Design of a Disinfection System at the City's Wastewater Treatment Plant, to Increase the Estimated Maximum Cost Thereof to \$800,000

Council Member BURNS, Roxanne M.
Council Member BUTLER, Joseph M. Jr.
Council Member MACALUSO, Teresa R.
Council Member SMITH, Jeffrey M.
Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

I FURTHER CERTIFY that PRIOR to the time of said meeting, I duly caused public notice of the time and place of said meeting to be conspicuously posted in the following designated public location(s) on the following dates:

Designated Location(s) of Posted Noticed Date of Posting

Regular meeting of the City Council held in accordance with Section 14-1 of the Municipal Code

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said City on May _____, 2013.

City Clerk

(CORPORATE SEAL)

Seconded by: Council Member Joseph M. Butler, Jr.

Tabled

May 14, 2013

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, Planning and Community Development Coordinator

Subject: Amending the Code of the City of Watertown, Section 310-1, Definition of Family, and Section 310-34, Accessory Uses in Residence Districts

The attached Ordinance was Tabled at the City Council Meeting of May 6, 2013. The Planning Board met on May 7, 2013 and continue to discuss the topic. Staff recommends this Ordinance remain Tabled until the Planning Board makes their recommendation.

ORDINANCE

Amending the Code of the City of Watertown, §310-1, Definition of Family and §310-34, Accessory Uses in Residence Districts

Page 1 of 1

Introduced by

Mayor Jeffrey E. Graham

Council Member BURNS, Roxanne M.
 Council Member BUTLER, Joseph M. Jr.
 Council Member MACALUSO, Teresa R.
 Council Member SMITH, Jeffrey M.
 Mayor GRAHAM, Jeffrey E.

Total

YEA	NAY

WHEREAS it has been proposed to amend Chapter 310 of the Code of the City of Watertown, New York, by altering the definition of “family” and adding the taking of not more than four non-transient roomers as an allowed accessory use in Residential Districts, and

WHEREAS the City Planning Board reviewed the proposed amendments to §310-1 and §310-34 of the Code of the City of Watertown and made its recommendation on adoption, and

WHEREAS the Jefferson County Planning Board reviewed the proposed amendment pursuant to General Municipal Law Section 239-m, and

WHEREAS a Public Hearing was held on the proposed Zoning Ordinance Amendment after due Public Notice, and

WHEREAS the City Council has determined, pursuant to the State Environmental Quality Review Act that there will not be any significant environmental impacts caused by the adoption of this Ordinance, and

WHEREAS the City Council of the City of Watertown believes that it is in the best interest of the residents of the City of Watertown to make the following changes to Chapter 310 of the City Code,

NOW THEREFORE BE IT ORDAINED by the City Council of the City of Watertown, New York, that §310-1. B. of the Code of the City of Watertown is hereby amended by deleting the sentence: “To distinguish a “family” from a club, fraternity or boarding house, not more than four members of a family shall be other than blood relatives” from the definition of family, and

BE IT FURTHER ORDAINED by the City Council of the City of Watertown, New York, that the following is added to §310-34.B: “(7) The taking of not more than four non-transient roomers, provided that no sign is displayed”, and

BE IT FURTHER ORDAINED that this Amendment to the City Code shall take effect as soon as published once in the official newspaper of the City of Watertown, New York, or printed as the City Manager directs.

Seconded by Council Member Teresa R. Macaluso

May 14, 2013

To: The Honorable Mayor and City Council
From: Kenneth A. Mix, Planning and Community Development Coordinator
Subject: Knowlton Technologies' Request for Parking Lease

Knowlton Technologies LLC wishes to lease a portion of a City-owned parcel (P.N. 7-01-301.002) behind Standard Auto Parts on Mill Street, as shown on the attached map. P.N. 7-01-301.002, also known as VL-3 Mill Street, contains the snow dumps. A letter from Knowlton is attached. They plan to use the property for employee parking.

If the City Council wishes to move forward with fulfilling this request, a number of issues have to be resolved.

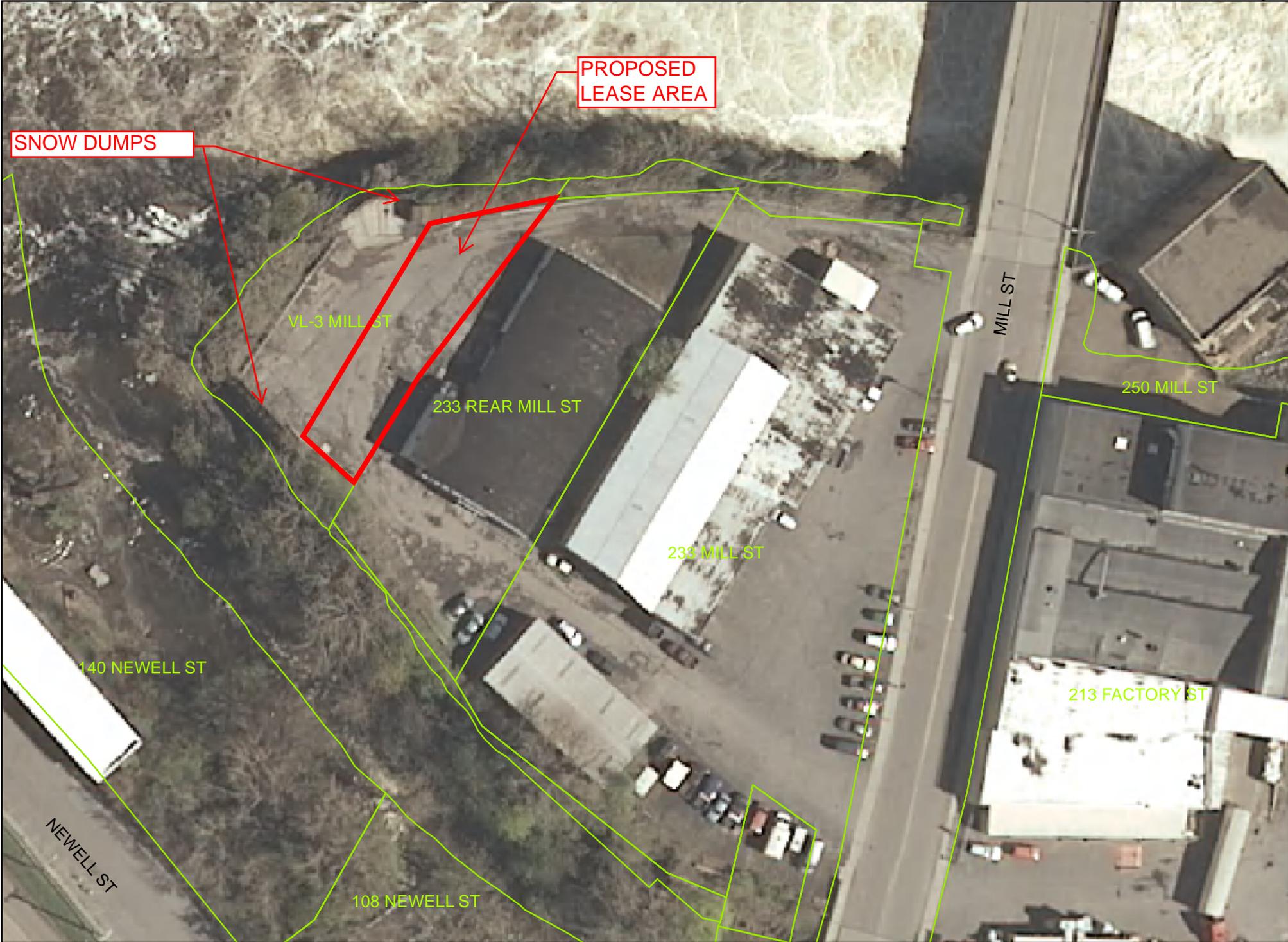
The City cannot lease land to a private entity other than for a public purpose. It may be necessary to involve the Watertown Local Development Corporation as an intermediary.

This parcel is waterfront property so it cannot be alienated. A new parcel could be created that does not abut the water by subdividing it. This will require hiring a surveyor to draw a subdivision plat and Planning Board approval.

The parcel is zoned Waterfront District. Industrial uses and their accessories are not allowed in that district. The City Council would have to grant a zone change for the leased area after a recommendation from the Planning Board.

The parking area will have to be designed so that it does not interfere with snow dumping operations. The City should reserve the right to approve the design plans.

After all of these issues are addressed, it will require four affirmative votes to authorize the lease.



SNOW DUMPS

PROPOSED LEASE AREA

VL-3 MILL ST

233 REAR MILL ST

233 MILL ST

MILL ST

250 MILL ST

213 FACTORY ST

140 NEWELL ST

NEWELL ST

108 NEWELL ST

1 inch = 60 feet



March 22, 2013

Ms. Sharon Addison
City Manager
City Hall
245 Washington Street
Watertown, NY 13601



Re: Knowlton Technologies (KT) LLC – Parking

Dear Ms. Addison:

This letter is submitted to the City to request a potential parking lease agreement between the City and KT LLC. Knowlton's has recently purchased the former Freeman Bus Garage located behind Standard Auto Parts on Mill Street. We are considering using the building as a private parking garage to alleviate a portion of the parking issues of our 130 employees.

We are requesting that the City entertain an option for us to construct additional parking spaces behind the building, a portion of which would extend onto City property (see attached drawing). The City owns the parcel directly west of the building and presently uses the area for snow removal activities. The construction of the proposed parking area would be designed to not interfere with any City activities.

This proposal has been briefly discussed with Pete Monaco (DPW), Shawn McWayne (Code Enforcement), and Kurt Hauk (Engineering). We were directed to submit a request to your office for consideration. We look forward to your evaluation of this proposal and direction for the next step in the approval process.

Thank you for your consideration in this matter. Please contact me with any questions, comments or further information.

Sincerely,

KNOWLTON TECHNOLOGIES,™ LLC

Bryon D. Perry
Director of Operations

213 Factory Street • Watertown • New York • 13601 • USA
Tel: (315) 782-0600 • Fax: (315) 782-7517

www.knowlton-co.com

ISO 9001 and ISO/TS 16949 Certified Quality Management System

Technical data that may be part of this communication may be subject to the International Traffic in Arms Regulation (ITAR) and the Export Administration Regulations (EAR). Disclosure of technical data to Foreign persons is considered an export and is subject to the ITAR and EAR export licensing requirements/regulations.



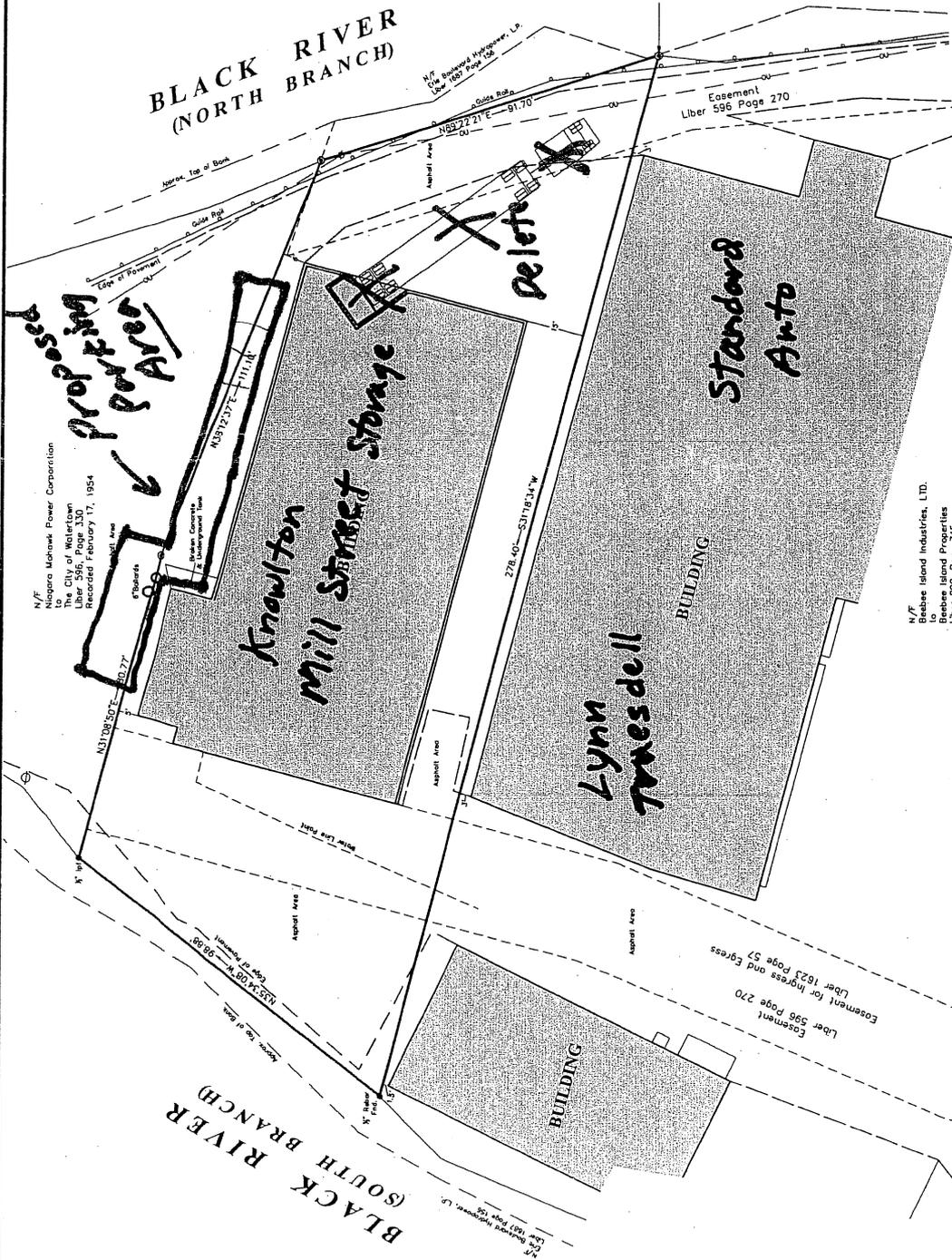
DEED REFERENCE:
 1. Map of Beebe Island - Westlerly Side, Mill Street, Watertown, N.Y., for New York Air Brake Company, dated October 17, 1951, prepared by William T. Field Associates, Inc., Consulting Engineers, Watertown, N.Y.

NOTES:
 1. This survey was prepared without the benefit of an Updated Abstract of Title and is subject to any changes which may be shown as a result of a complete title search.
 2. Underground facilities, structures and utilities have not been plotted. There may be underground facilities, structures and utilities, the existence of which is presently not known and which may be shown as a result of a complete title search.
 3. This map was in no way created for or is to be used for construction purposes.

Prior to any construction contact Dig Society, New York, at 1-800-962-7952 (or 811) for exact location of all underground utilities.
www.digsocietynewyork.com

MAP REFERENCES:
 1. "Map of Beebe Island - Westlerly Side, Mill Street, Watertown, N.Y., for New York Air Brake Company, dated October 17, 1951, prepared by William T. Field Associates, Inc., Consulting Engineers, Watertown, N.Y."
 2. "Land to be Conveyed to Freeman Bus Corp., Situate on the westerly end of Beebe Island, City of Watertown, County of Jefferson, State of N.Y.," revised March 08, 1957, prepared by Cook Engineering, Watertown, N.Y., filed in Jefferson County Clerk's Office on May 6, 1957.
 3. "Survey Map of the Land of Beebe Island Properties, 233 Mill Street, City of Watertown, County of Jefferson," dated December 04, 2001, prepared by GYMO, P.C.

LEGEND:
 (---) 1/2" IRON PIPE WITH CAP SET
 (---) IRON PIPE OR REBAR FOUND (As Noted)
 (---) UTILITY POLE
 (---) OVERHEAD UTILITY LINES



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SURVEY MAP of the LAND of
ROBERT C. FREEMAN, III
233 REAR MILL STREET

CITY OF WATERTOWN COUNTY OF JEFFERSON STATE OF NEW YORK

File No.:	2012-034	Dwg. No.:	01
Scale:	1" = 20'	Drawn By:	C.G.P.
Checked By:		Date:	5/23/2012

Revisions:
 Survey: 5/16/2012

GYMO ARCHITECTURE, ENGINEERING & LAND SURVEYING, P.C.
 233 REAR MILL STREET
 WATERTOWN, NY 13601
 TEL: 315-798-0000
 FAX: 315-798-0001

MILL STREET

Street Margin

Concrete Wall

May 14, 2013

To: The Honorable Mayor and City Council
 From: Erin E. Gardner, Superintendent of Parks and Recreation
 Subject: Fee Proposals

Parks and Recreation has taken recommendations from Council in determining new fees for the activities offered through the Parks and Recreation Department. Also, currently the Parks and Recreation fees are listed in multiple areas in the code book. I would like to consolidate the fees to make it more understandable for both residents and staff. If you have questions or concerns, please contact me.

Activity/Function	Fee	Cost to City
Thompson Park Reservation Fee	\$5 R \$15 NR	P&R Staff time
Alcohol Permit Processing Fee	\$5 R \$15 NR	P&R and City Police Staff time
Season Free Skating Pass	\$25 R \$40 NR	Regularly \$2 per free skate

New Activity	Fee	# of Participants	Sessions	Cost to City
Fishing Clinic	\$15 R \$35 NR	10	5- 1 hour sessions	\$300
Family Yoga	\$10 R \$35 NR	30	8- 1 hour sessions	\$820
Scuba	\$20 R \$60 NR	9	3- 1 hour sessions	\$450
Kids Zumba	\$15 R \$35 NR	10	8- 1 hour sessions	\$320
Youth Running Club	\$5 R \$20 NR	20	12- 1 hour sessions	\$750
Horseback Riding	\$20 R \$60 NR	10	2- 3 hour sessions	\$560
Boot Camp	\$20 R \$50 NR	20	10-1 hour sessions	Cost of instructor TBD
Volleyball Team	\$200 R/NR	12 people per team	8-10 games	Court maintenance/materials
Kickball Team	\$150 R/NR	12 people per team	8-10 games	Cost of fields/material

I am proposing that we charge volleyball and kickball teams the same fee regardless of residency. Currently we have co-ed softball and men's softball that we do not have separate fees for resident and non-resident players.

Pavilion	Fee	Cost to City
Fairgrounds	\$50	City staff time to prepare and clean up area
Veteran's Memorial	\$50	City staff time to prepare and clean up area
Marble Park	\$50	City staff time to prepare and clean up area

Activity	Current Cost	Proposed New Cost	Cost to City
Swimming Lessons	\$0	\$5-R \$20-NR	Life guard staff time/materials
T-Ball	\$0-R \$15-NR	\$0-R \$15-NR	\$12 per child + Cost of fields/sporting equipment/awards
Midget/Grasshopper Youth Baseball	\$0-R \$15-NR	\$0-R \$15-NR	Cost of sporting fields/equipment/awards \$750
Tennis	\$5-R \$20-NR	\$10-R \$30-NR	Instruction \$2000 + Materials \$12 per child
Golf	\$5-R \$20-NR	\$20-R \$50-NR	Instruction \$6000 + Materials \$12 per child
Lights on main baseball field and multipurpose 5 These 2 fields use twice as many lights as our fields that we charge \$25 for lights.	\$25	\$50	Cost of electricity/staff time to turn lights on/off

May 15, 2013

To: The Honorable Mayor and City Council
From: James E. Mills, City Comptroller
Subject: Sales Tax Revenue – April 2013

The City has received the monthly sales tax revenue amount from Jefferson County. In comparison to April 2012, the April 2013 sales tax revenue on an actual to actual basis is up \$75,579 or 6.21%. In comparison to the original budget projection for the month of April, sales tax is up \$29,952 or 2.37%.

The year-to-date actual receipts are up \$306,772 or 2.20% while the year-to-date receipts on a budget basis are down \$216,272 or 1.49%. Year-to-date sales tax revenue is at \$14,268,256.

The attached spreadsheet shows the detail collections for this year and last year along with the budgeted amounts. Collections for the Fiscal Years' 2008-09, 2009-10, 2010-11 and 2011-12 have been included for historical perspective.

Please note that this payment represents an estimated payment made by the State to the County and will be trued up by the State with the July 2013 payment.

	<u>Actual 2008-09</u>	<u>Actual 2009-10</u>	<u>Actual 2010-11</u>	<u>Actual 2011-12</u>	<u>Actual 2012-13</u>	<u>Variance</u>	<u>% Inc/(Dec)to Prior Year</u>	<u>Quarterly Variance</u>	<u>% Inc/(Dec) to Prior Quarter</u>
July	\$ 1,276,583	\$ 1,054,235	\$ 1,294,030	\$ 1,359,433	\$ 1,361,364	\$ 1,931	0.14%		
August	\$ 1,268,437	\$ 1,111,868	\$ 1,250,127	\$ 1,319,714	\$ 1,357,130	\$ 37,416	2.84%		
September	\$ 1,529,231	\$ 1,805,736	\$ 1,777,374	\$ 1,886,899	\$ 2,071,785	\$ 184,886	9.80%	224,233	4.91%
October	\$ 1,103,267	\$ 1,081,394	\$ 1,147,531	\$ 1,215,879	\$ 1,304,624	\$ 88,745	7.30%		
November	\$ 1,106,240	\$ 1,056,203	\$ 1,203,035	\$ 1,207,881	\$ 1,274,589	\$ 66,708	5.52%		
December	\$ 1,413,485	\$ 1,606,018	\$ 1,681,408	\$ 1,897,409	\$ 1,714,672	\$ (182,737)	-9.63%	(27,284)	-0.63%
January	\$ 1,073,261	\$ 1,103,884	\$ 1,213,795	\$ 1,195,675	\$ 1,276,483	\$ 80,808	6.76%		
February	\$ 843,971	\$ 921,272	\$ 984,089	\$ 1,036,230	\$ 1,160,663	\$ 124,433	12.01%		
March	\$ 1,458,063	\$ 1,572,098	\$ 1,445,902	\$ 1,624,451	\$ 1,453,454	\$ (170,997)	-10.53%	34,244	0.89%
April	\$ 954,271	\$ 1,121,188	\$ 1,190,708	\$ 1,217,913	\$ 1,293,493	\$ 75,579	6.21%		
May	\$ 960,159	\$ 1,079,512	\$ 1,164,270	\$ 1,224,057	\$ -	\$ -			
June	\$ 1,479,763	\$ 1,709,687	\$ 1,654,800	\$ 2,029,525	\$ -	\$ -		75,579	1.69%
YTD	\$ 14,466,732	\$ 15,223,095	16,007,070	\$ 17,215,066	\$ 14,268,256	\$ 306,772	2.20%		

	<u>Original Budget 2012- 13</u>	<u>Actual 2012-13</u>	<u>Variance</u>	<u>%</u>	<u>Quarterly Variance</u>	<u>% Inc/(Dec) to Prior Quarter</u>
July	\$ 1,410,362	\$ 1,361,364	\$ (48,998)	-3.47%		
August	\$ 1,369,155	\$ 1,357,130	\$ (12,025)	-0.88%		
September	\$ 1,957,588	\$ 2,071,785	\$ 114,197	5.83%	53,174	1.12%
October	\$ 1,261,430	\$ 1,304,624	\$ 43,194	3.42%		
November	\$ 1,253,133	\$ 1,274,589	\$ 21,456	1.71%		
December	\$ 1,968,492	\$ 1,714,672	\$ (253,820)	-12.89%	(189,170)	-4.22%
January	\$ 1,240,469	\$ 1,276,483	\$ 36,014	2.90%		
February	\$ 1,075,050	\$ 1,160,663	\$ 85,612	7.96%		
March	\$ 1,685,309	\$ 1,453,454	\$ (231,855)	-13.76%	(110,229)	-2.76%
April	\$ 1,263,540	\$ 1,293,493	\$ 29,952	2.37%		
May	\$ 1,269,914	\$ -	\$ -			
June	\$ 2,105,558	\$ -	\$ -		29,952	0.65%
YTD	\$ 17,860,000	\$ 14,268,256	\$ (216,272)	-1.49%		
Total Budget	\$ 17,860,000					

May 16, 2013

To: The Honorable Mayor and City Council

From: James E. Mills, City Comptroller

Subject: Quarterly Financial Report

Attached for City Council review is the Financial Report for the quarter ended March 2013.

**CITY OF WATERTOWN
FY 2012/13 FINANCIAL REPORT (UNAUDITED)
THROUGH THE QUARTER ENDING MARCH 31, 2013**

GENERAL FUND SUMMARY

General Fund Summary	2012-13 Revised Budget	YTD Actual	%	Prior YTD Actual	2011-12 Actual
Revenues	\$ 40,522,645	\$ 28,406,268	70.10%	\$ 28,201,387	\$ 36,713,100
Expenditures	\$ 42,672,145	\$ 28,485,661	66.75%	\$ 26,720,798	\$ 37,830,571
Net Change in Fund Balance	\$ (2,149,500)	\$ (79,393)		\$ 1,480,590	\$ (1,117,472)

GENERAL FUND REVENUES

General fund revenues were up \$ 204,880 or 0.73% compared to last year due mostly to the increase in sales tax of \$ 228,192, mortgage tax of \$153,391 and sales of real property by \$192,741 while there was a significant decrease in the sale of excess hydro power by (\$ 213,233). The 10 largest general fund budgeted revenues account for over 93% of the total general fund revenues. A summary of general fund revenues is as follows:

GENERAL FUND REVENUES	2012-13 Revised Budget	Current Y-T-D	Y-T-D-% of Budget (March = 75%)	Prior Y-T-D	2011-12 Actual
State Admin. Sales & Use Tax	\$ 17,860,000	\$ 12,971,763	72.63%	\$ 12,743,571	\$ 17,215,058
State Aid, Per Capita	\$ 7,803,208	\$ 3,183,452	40.80%	\$ 3,183,452	\$ 4,703,208
Real Property Taxes(net of reserve)	\$ 7,320,740	\$ 7,380,768	100.82%	\$ 7,309,154	\$ 7,307,193
Sale of Surplus Power	\$ 3,346,000	\$ 1,725,765	51.58%	\$ 1,938,998	\$ 2,766,103
Refuse and Garbage Charges	\$ 841,000	\$ 630,055	74.92%	\$ 572,484	\$ 740,596
Utilities Gross Income Tax	\$ 321,000	\$ 233,968	72.89%	\$ 256,894	\$ 351,716
State Aid, Mortgage Tax	\$ 300,000	\$ 285,300	95.10%	\$ 131,909	\$ 307,384
State Mass Transportation Assistance	\$ 225,000	\$ 201,153	89.40%	\$ 182,241	\$ 226,264
Interfund Transfers	\$ 186,475	\$ -	0.00%	\$ 118,043	\$ 335,566
Bus Fares	\$ 165,000	\$ 113,465	68.77%	\$ 122,924	\$ 160,702
Subtotal	\$ 38,368,423	\$ 26,725,689	69.66%	\$ 26,559,670	\$ 34,113,790
All Other General Fund Revenues	\$ 2,154,222	\$ 1,680,579	78.01%	\$ 1,641,718	\$ 2,599,310
Total	\$ 40,522,645	\$ 28,406,268	70.10%	\$ 28,201,387	\$ 36,713,100

Real Property Tax Collections: Gross property tax revenue for FY 12-13 is \$ 7,373,612 of which \$123,609 or 1.69% remained uncollected at the end of the quarter. Last year at this time \$176,928 or 2.42% of the gross property tax revenue of \$ 7,300,409 remained uncollected.

Interest and Penalties on Property Taxes: Revenue was down slightly compared to last year by \$ 3,357 or 6.17%.

Sales Tax Revenue: The City's sales tax collections were above last year's actual results by \$ 228,192 or 1.79%. However compared to the adopted budget, revenue was down \$ 249,225 or 1.89%.

Sale of Surplus Power: The City's sale of surplus power is down significantly compared to last year by \$213,233 or 11.00%. Compared to FY 2010/11 revenue is down \$607,979 or 26.05% (not adjusted for the annual increases to the rate paid to the City per kilowatt).

Utilities Gross Income Tax Revenue: Under General Municipal Law, the City imposes a 1% tax on the gross income from every utility doing business in the City. Revenue is down compared to last year by \$ 22,926 or 8.92%.

Mortgage Tax Revenue: The City receives 1/2% tax for each mortgage recorded on property located within the City. Revenue for the year was up \$ 153,391 or 116.29% compared to last year.

NYS Unrestricted Aid and AIM funding: The City's revenue from the NYS Aid and Incentives to Municipalities program (AIM) was the same as last year at this time. In Fiscal Year 2012-13 the City will receive an additional \$3,100,000 due to a change in the State's payment cycle. The City budgeted to place the additional aid in a capital reserve to fund projects identified in the City's five year capital plan.

**CITY OF WATERTOWN
FY 2012/13 FINANCIAL REPORT (UNAUDITED)
THROUGH THE QUARTER ENDING MARCH 31, 2013**

GENERAL FUND EXPENDITURES

The following 10 departments / categories represent over 85% of the General Fund budgeted expenditures (excluding the Capital Reserve appropriation). General fund expenditures were up by \$1,764,863 or 6.60% compared to last year due primarily an increase of \$468,967 for the contribution to the NYS Retirement System and \$219,706 for property demolition costs .

GENERAL FUND EXPENDITURES	2012-13		Y-T-D % of Budget (March = 75%)	2011-12	
	Revised Budget	Current Y-T-D		Prior Y-T-D	Actual (Unaudited)
Fire	\$ 8,345,469	\$ 6,572,703	78.76%	\$ 6,264,620	\$ 8,300,475
Police	\$ 8,023,089	\$ 5,931,287	73.93%	\$ 5,352,340	\$ 7,279,966
Department of Public Works	\$ 5,510,902	\$ 3,750,098	68.05%	\$ 3,622,134	\$ 4,837,339
Health Insurance-Retirees	\$ 3,293,725	\$ 2,425,352	73.64%	\$ 2,292,931	\$ 3,055,625
Debt Service	\$ 2,762,930	\$ 2,149,334	77.79%	\$ 2,619,947	\$ 3,303,601
Transfer to Capital Projects	\$ 932,500	\$ 4,450	0.48%	\$ 8,367	\$ 1,681,031
Parks and Recreation	\$ 1,894,462	\$ 1,399,991	73.90%	\$ 959,044	\$ 1,324,024
Library Transfer	\$ 1,350,402	\$ 905,000	67.02%	\$ 756,800	\$ 1,499,677
Traffic Control & Lighting	\$ 847,515	\$ 597,841	70.54%	\$ 577,599	\$ 736,571
Bus	\$ 843,224	\$ 618,898	73.40%	\$ 602,877	\$ 811,544
SUBTOTAL	\$ 33,804,217	\$ 24,354,955	72.05%	\$ 23,056,658	\$ 32,829,853
All Other Departments/Transfers	\$ 8,867,928	\$ 4,130,706	46.58%	\$ 3,664,140	\$ 5,000,719
TOTAL	\$ 42,672,145	\$ 28,485,661	66.75%	\$ 26,720,798	\$ 37,830,571

GENERAL FUND - PERSONAL SERVICES

Personal service expenditures account for 39% of the general fund budgeted expenditures. The following table presents the 10 largest departmental budgeted personal services. These 10 departments represent 81% of the budgeted general fund personal service expenditures. Fire department overtime is down compared to last year by \$30,498 or 16.66%. Police department overtime is up \$27,487 or 16.21%.

Department	2012-13		Y-T-D % of Budget (March = 75%)	2011-12	
	Revised Budget	Current Y-T-D		Prior Y-T-D	Actual (Unaudited)
Fire	\$ 5,045,413	\$ 3,784,839	75.02%	\$ 2,401,643	\$ 5,033,052
Police	\$ 4,534,373	\$ 3,311,537	73.03%	\$ 2,095,378	\$ 4,329,952
DPW Snow Removal	\$ 530,338	\$ 511,560	96.46%	\$ 78,270	\$ 545,215
Engineering	\$ 453,453	\$ 330,322	72.85%	\$ 201,744	\$ 451,034
DPW Administration	\$ 241,985	\$ 183,584	75.87%	\$ 158,747	\$ 375,130
Municipal Executive	\$ 349,555	\$ 270,250	77.31%	\$ 166,143	\$ 298,440
DPW Refuse & Garbage	\$ 376,664	\$ 216,925	57.59%	\$ 157,083	\$ 317,158
DPW Central Garage	\$ 350,232	\$ 235,230	67.16%	\$ 148,131	\$ 331,056
Bus	\$ 327,183	\$ 237,721	72.66%	\$ 149,957	\$ 303,576
Comptroller	\$ 320,701	\$ 237,389	74.02%	\$ 149,661	\$ 313,424
SUBTOTAL	\$ 12,529,897	\$ 9,319,357	74.38%	\$ 5,706,757	\$ 12,298,037
All Other Departments	\$ 2,934,831	\$ 1,995,192	67.98%	\$ 1,406,695	\$ 2,437,665
TOTAL	\$ 15,464,728	\$ 11,314,549	73.16%	\$ 7,113,453	\$ 14,735,702

**CITY OF WATERTOWN
FY 2012/13 FINANCIAL REPORT (UNAUDITED)
THROUGH THE QUARTER ENDING MARCH 31, 2013**

WATER FUND

Revenues are up compared to last year by \$145,096 or 4.47% due mostly to an increase of \$154,662 in water revenues from outside City users. Expenditures were down \$305,376 or 8.81% compared to last year due primarily to two debt issues maturing last year resulting in \$385,098 less debt service costs and the dredging of the coagulation basin in the amount of \$87,768 in FY 2011-12. Retirement expense increased \$42,246 or 22.21%.

Water Fund Summary	2012-13 Revised Budget	Y-T-D Actual	Y-T-D % of Budget (March = 75%)	Prior Y-T-D	2011-12 Actual (Unaudited)
Revenues	\$ 4,623,600	\$ 3,392,358	73.37%	\$ 3,247,262	\$ 4,707,612
Expenditures	\$ 4,681,436	\$ 3,159,724	67.49%	\$ 3,465,100	\$ 4,669,177
Net Change in Fund Balance	\$ (57,836)	\$ 232,634		\$ (217,838)	\$ 38,434

SEWER FUND

Revenues are down compared to last year by \$174,003 or 4.61% primarily due to revenues from tanker hauled sludge and leachate decreasing \$151,303. Revenues from other governments are down \$24,436 or 3.30%. Expenditures are up by \$494,440 or 15.87% compared to last year due to higher utility costs, the timing of equipment purchases and the increased retirement contribution.

Sewer Fund Summary	2012-13 Revised Budget	Y-T-D Actual	Y-T-D % of Budget (March = 75%)	Prior Y-T-D	2011-12 Actual (Unaudited)
Revenues	\$ 4,818,720	\$ 3,600,337	74.72%	\$ 3,774,340	\$ 5,485,793
Expenditures	\$ 5,680,182	\$ 3,609,186	63.54%	\$ 3,114,746	\$ 4,889,968
Net Change in Fund Balance	\$ (861,462)	\$ (8,849)		\$ 659,593	\$ 595,825

LIBRARY FUND

Excluding the transfer from the General Fund, revenues are up compared to last year by \$23,425 or 60.29% due to a timing difference in a grant receipt. Expenditures are up compared to last year by \$172,835 or 21.78% due to the increase in retirement costs (\$20,950) and the transfers to the capital fund (\$98,255) for the HVAC and roof projects.

Library Fund Summary	2012-13 Revised Budget	Y-T-D Actual	Y-T-D % of Budget (March = 75%)	Prior Y-T-D	2011-12 Actual (Unaudited)
Revenues	\$ 1,419,886	\$ 967,280	68.12%	\$ 795,655	\$ 1,569,784
Expenditures	\$ 1,532,878	\$ 966,525	63.05%	\$ 793,690	\$ 1,548,833
Net Change in Fund Balance	\$ (112,992)	\$ 755		\$ 1,965	\$ 20,952

The majority of the Library revenues shown in this fund are a result of the library transfer expense (\$905,000) shown up above in the General Fund Expenditures section. All available library revenues such as fines and grants are utilized prior to any transfer from the General Fund.

SELF-INSURANCE FUND

Revenues are up compared to last year by \$179,014 or 3.27%. The revenue increase of \$278,692 due to the premium increase of 5.80% has been offset by a decrease in stop loss insurance recoveries of \$83,208 and \$34,974 received last year from the Federal Early Retiree Reinsurance Program. Expenditures are down by \$79,607 or 1.41% compared to last year.

Self-Insurance Fund Summary	2012-13 Revised Budget	Y-T-D Actual	Y-T-D % of Budget (March = 75%)	Prior Y-T-D	2011-12 Actual (Unaudited)
Revenues	\$ 7,951,517	\$ 5,647,644	71.03%	\$ 5,468,629	\$ 7,716,169
Expenditures	\$ 8,261,517	\$ 5,556,229	67.25%	\$ 5,635,836	\$ 7,566,240
Net Change in Fund Balance	\$ (310,000)	\$ 91,415		\$ (167,206)	\$ 149,930

CITY OF WATERTOWN
FY 2012/13 FINANCIAL REPORT (UNAUDITED)
THROUGH THE QUARTER ENDING MARCH 31, 2013

	2012-13		Y-T-D % of Budget (March = 75%)	Prior Y-T-D	2011-12		Current YTD vs. Prior YTD	
	Revised Budget	Current Y-T-D			Actual	Variance	%	
General Fund Revenues								
Real Property Taxes	\$ 7,373,240	\$ 7,373,612	100.01%	\$ 7,300,409	\$ 7,300,409	\$ 73,203	1.00%	
Special Assessments (sidewalks)	\$ 9,500	\$ 7,156	75.33%	\$ 8,745	\$ 10,111	\$ (1,589)	-18.17%	
Real Property Tax Reserve	\$ (62,000)	\$ -	0.00%	\$ -	\$ (3,327)	\$ -	0.00%	
Federal Payments in Lieu of Taxes	\$ 39,000	\$ 46,152	118.34%	\$ 43,613	\$ 43,613	\$ 2,539	5.82%	
Other Payments in Lieu of Taxes	\$ 105,300	\$ 91,903	87.28%	\$ 151,693	\$ 113,500	\$ (59,790)	-39.42%	
Interest/Penalties on Property Taxes	\$ 125,000	\$ 51,037	40.83%	\$ 54,394	\$ 135,444	\$ (3,357)	-6.17%	
State Admin. Sales & Use Tax	\$ 17,860,000	\$ 12,971,763	72.63%	\$ 12,743,571	\$ 17,215,058	\$ 228,192	1.79%	
Utilities Gross Income Tax	\$ 321,000	\$ 233,968	72.89%	\$ 256,894	\$ 351,716	\$ (22,926)	-8.92%	
Franchises	\$ 427,500	\$ 246,132	57.57%	\$ 320,510	\$ 429,250	\$ (74,377)	-23.21%	
Tax Sale Advertising	\$ 13,500	\$ 810	6.00%	\$ 60	\$ 14,130	\$ 750	1250.00%	
Comptroller's Fees	\$ 6,000	\$ 6,806	113.44%	\$ 4,045	\$ 5,945	\$ 2,761	68.27%	
Assessor's Fees	\$ 500	\$ 149	29.80%	\$ 142	\$ 527	\$ 7	4.75%	
Clerk Fees	\$ 120,000	\$ 80,567	67.14%	\$ 88,711	\$ 121,129	\$ (8,144)	-9.18%	
Civil Service Fees	\$ 5,400	\$ -	0.00%	\$ 885	\$ 900	\$ (885)	-100.00%	
Police Fees	\$ 8,000	\$ 8,710	108.87%	\$ 1,745	\$ 2,852	\$ 6,965	399.12%	
Public Works Fees	\$ 85,000	\$ 61,887	72.81%	\$ 78,351	\$ 109,136	\$ (16,464)	-21.01%	
DPW Charges - Fuel	\$ 28,200	\$ 22,980	81.49%	\$ 20,611	\$ 27,269	\$ 2,369	11.49%	
Bus Fares	\$ 165,000	\$ 113,465	68.77%	\$ 122,924	\$ 160,702	\$ (9,460)	-7.70%	
Bus Advertising	\$ 10,000	\$ 10,083	100.83%	\$ 8,600	\$ 9,000	\$ 1,483	17.24%	
Parks & Recreation Charges	\$ 5,000	\$ 4,337	86.75%	\$ 5,219	\$ 10,465	\$ (882)	-16.89%	
Field Use Charges	\$ -	\$ 1,290	0.00%	\$ -	\$ -	\$ 1,290	#DIV/0!	
Recreation Concessions	\$ 95,000	\$ 98,853	104.06%	\$ 34,072	\$ 47,145	\$ 64,782	190.13%	
Pool Fees	\$ -	\$ -	0.00%	\$ (112)	\$ (112)	\$ 112	-100.00%	
Arena Fees	\$ 125,000	\$ 133,142	106.51%	\$ 108,111	\$ 142,166	\$ 25,031	23.15%	
Skating Rink Charges	\$ 55,000	\$ 26,097	47.45%	\$ 52,991	\$ 53,980	\$ (26,895)	-50.75%	
Zoning Fees	\$ 3,000	\$ 2,350	78.33%	\$ 3,350	\$ 4,200	\$ (1,000)	-29.85%	
Refuse and Garbage Charges	\$ 576,000	\$ 364,084	63.21%	\$ 359,363	\$ 506,100	\$ 4,722	1.31%	
Toter Fees	\$ 265,000	\$ 265,971	100.37%	\$ 213,122	\$ 234,496	\$ 52,850	24.80%	
Sale of Surplus Power	\$ 3,346,000	\$ 1,725,765	51.58%	\$ 1,938,998	\$ 2,766,103	\$ (213,233)	-11.00%	
Taxes/Assessment Svcs. Other Govt.	\$ 4,950	\$ 4,953	100.06%	\$ 4,504	\$ 4,504	\$ 449	9.98%	
Civil Service Charges-School District	\$ 30,125	\$ 31,981	106.16%	\$ 27,724	\$ 27,724	\$ 4,258	15.36%	
Police Services	\$ 94,500	\$ 54,512	57.69%	\$ 53,922	\$ 94,248	\$ 590	1.09%	
Transportation Services, Other Govts.	\$ 4,600	\$ -	0.00%	\$ 4,605	\$ 4,605	\$ (4,605)	-100.00%	
Interest and Earnings	\$ 40,000	\$ 10,172	25.43%	\$ 37,959	\$ 44,182	\$ (27,787)	-73.20%	
Rental of Real Property	\$ 50,585	\$ 46,855	92.63%	\$ 46,105	\$ 51,850	\$ 750	1.63%	
Business and Occupational Licenses	\$ 5,500	\$ 3,125	56.82%	\$ 2,455	\$ 4,600	\$ 670	27.29%	
Games of Chance Licenses	\$ 100	\$ 1,242	1242.23%	\$ 90	\$ 130	\$ 1,152	1280.26%	
Bingo Licenses	\$ 4,000	\$ 2,506	62.66%	\$ 2,401	\$ 2,881	\$ 106	4.40%	
Building & Alterations Permits	\$ 60,000	\$ 20,953	34.92%	\$ 71,541	\$ 80,276	\$ (50,589)	-70.71%	
City Permits	\$ 2,500	\$ 2,250	90.00%	\$ 1,868	\$ 13,008	\$ 382	20.45%	
Sanitary Sewer Permits	\$ 5,000	\$ 235	4.70%	\$ 3,440	\$ 3,890	\$ (3,205)	-93.17%	
Storm Sewer Permits	\$ 500	\$ -	0.00%	\$ 525	\$ 525	\$ (525)	-100.00%	
Fines & Forfeited Bail	\$ 120,000	\$ 111,125	92.60%	\$ 81,080	\$ 131,737	\$ 30,045	37.06%	
Scrap & Excess Materials Sale	\$ 4,000	\$ 2,901	72.52%	\$ 5,076	\$ 11,339	\$ (2,175)	-42.85%	
Minor Sales	\$ 100	\$ -	0.00%	\$ -	\$ 266	\$ -	0.00%	
Sale of Real Property	\$ 20,000	\$ 193,061	965.31%	\$ 320	\$ 54,470	\$ 192,741	60231.61%	
Sale of Equipment	\$ 15,000	\$ 10,513	70.08%	\$ 1,381	\$ 1,381	\$ 9,132	661.22%	
Insurance Recoveries	\$ 20,000	\$ 29,870	149.35%	\$ 25,631	\$ 58,495	\$ 4,239	16.54%	
Refund of Prior Year Expense	\$ 5,000	\$ 10,715	214.31%	\$ 2,889	\$ 2,889	\$ 7,826	270.89%	
Gifts & Donations	\$ 7,500	\$ 2,252	30.03%	\$ 31,190	\$ 41,235	\$ (28,938)	-92.78%	
Other Unclassified Revenues	\$ 1,000	\$ 345	34.47%	\$ 556	\$ 2,112	\$ (211)	-38.02%	
Payment Processing Fees	\$ -	\$ 425	0.00%	\$ -	\$ -	\$ 425	#DIV/0!	
Central Printing & Mailing	\$ 3,200	\$ 2,978	93.08%	\$ 2,415	\$ 3,211	\$ 564	23.35%	
Central Garage	\$ 115,000	\$ 85,348	74.22%	\$ 93,136	\$ 122,936	\$ (7,789)	-8.36%	
State Aid, Per Capita	\$ 7,803,208	\$ 3,183,452	40.80%	\$ 3,183,452	\$ 4,703,208	\$ -	0.00%	
State Aid, Mortgage Tax	\$ 300,000	\$ 285,300	95.10%	\$ 131,909	\$ 307,384	\$ 153,391	116.29%	
State Reimbursement-Worker's Comp.	\$ 69,000	\$ 38,287	55.49%	\$ 29,591	\$ 40,522	\$ 8,695	29.39%	
State Reimbursement-Court Security	\$ 37,700	\$ -	0.00%	\$ -	\$ 35,532	\$ -	0.00%	
State Reimbursement-Court Postage	\$ 1,752	\$ 1,314	75.00%	\$ 1,314	\$ 1,752	\$ -	0.00%	
State Reimbursement-CHIPS	\$ 4,775	\$ 5,856	122.63%	\$ 6,921	\$ 9,177	\$ (1,065)	-15.39%	
State Mass Transportation Assistance	\$ 225,000	\$ 201,153	89.40%	\$ 182,241	\$ 226,264	\$ 18,912	10.38%	
State Aid-Bus Projects	\$ -	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%	

**CITY OF WATERTOWN
FY 2012/13 FINANCIAL REPORT (UNAUDITED)
THROUGH THE QUARTER ENDING MARCH 31, 2013**

	2012-13		Y-T-D % of Budget (March = 75%)	Prior Y-T-D	2011-12		Current YTD vs. Prior YTD	
	Revised Budget	Current Y-T-D			Actual	Variance	%	
State Aid, Youth Program	\$ 3,970	\$ 4,891	120.47%	\$ 6,499	\$ 6,499	\$ (2,885)	-44.39%	
State Aid, Juvenile Program	\$ 3,000	\$ 3,614	37.74%	\$ 4,052	\$ 4,052	\$ 3,448	85.09%	
State Aid, Other Home & Community Service	\$ 19,875	\$ 7,500	0.00%	\$ 46,333	\$ 34,134	\$ (46,333)	-100.00%	
Federal Aid Police Block Grant	\$ -	\$ (11,396)	0.00%	\$ 61,361	\$ 111,265	\$ (72,757)	-118.57%	
Federal Aid Highway Safety	\$ 7,290	\$ -	0.00%	\$ 7,842	\$ 8,131	\$ (7,842)	-100.00%	
Federal Transportation Assistance	\$ 137,300	\$ -	0.00%	\$ -	\$ 130,800	\$ -	0.00%	
Interfund Transfers	\$ 186,475	\$ -	0.00%	\$ 118,043	\$ 335,566	\$ (118,043)	-100.00%	
Total Revenue	\$ 40,522,645	\$ 28,406,268	70.10%	\$ 28,201,387	\$ 36,713,100	\$ 204,880	0.73%	
Appropriated Fund Balance	\$ 2,149,500	\$ 79,393	3.69%	\$ -	\$ 1,117,472	\$ 79,393	#DIV/0!	
Revenue and Fund Balance	\$ 42,672,145	\$ 28,485,661	66.75%	\$ 28,201,387	\$ 37,830,571	\$ 284,273	1.01%	

General Fund Expenditures

Legislative Board	\$ 70,995	\$ 56,154	79.10%	\$ 56,468	\$ 72,825	\$ (314)	-0.56%
Mayor	\$ 28,940	\$ 23,449	81.03%	\$ 23,434	\$ 28,046	\$ 15	0.07%
Municipal Executive	\$ 520,639	\$ 432,857	83.14%	\$ 364,120	\$ 504,837	\$ 68,736	18.88%
Comptroller	\$ 540,771	\$ 430,285	79.57%	\$ 416,648	\$ 544,885	\$ 13,637	3.27%
Purchasing	\$ 130,967	\$ 100,881	77.03%	\$ 91,674	\$ 124,269	\$ 9,207	10.04%
Assessment	\$ 288,653	\$ 206,123	71.41%	\$ 190,258	\$ 260,537	\$ 15,865	8.34%
Tax Advertising	\$ 17,450	\$ 7,290	41.78%	\$ 91	\$ 17,162	\$ 7,199	7873.31%
Property Acquired for Taxes	\$ 38,000	\$ 121,362	319.37%	\$ 32,125	\$ 77,819	\$ 89,237	277.78%
Fiscal Agent Fees	\$ 1,000	\$ -	0.00%	\$ 3,331	\$ 3,331	\$ (3,331)	-100.00%
Clerk	\$ 219,184	\$ 170,062	77.59%	\$ 187,138	\$ 239,021	\$ (17,076)	-9.12%
Law	\$ 237,380	\$ 204,493	86.15%	\$ 160,240	\$ 243,549	\$ 44,254	27.62%
Civil Service	\$ 83,107	\$ 62,927	75.72%	\$ 56,921	\$ 75,610	\$ 6,007	10.55%
Engineering	\$ 792,973	\$ 528,779	66.68%	\$ 513,336	\$ 689,586	\$ 15,444	3.01%
DPW Administration	\$ 529,545	\$ 407,464	76.95%	\$ 467,055	\$ 613,364	\$ (59,591)	-12.76%
Buildings	\$ 187,749	\$ 126,978	67.63%	\$ 132,234	\$ 176,202	\$ (5,256)	-3.97%
Central Garage	\$ 820,791	\$ 532,552	64.88%	\$ 512,423	\$ 680,562	\$ 20,129	3.93%
Central Printing & Mailing	\$ 73,925	\$ 49,119	66.44%	\$ 45,938	\$ 70,451	\$ 3,181	6.92%
Information Technology	\$ 539,876	\$ 380,359	70.45%	\$ 387,760	\$ 508,125	\$ (7,401)	-1.91%
Judgements & Claims	\$ 65,000	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Land	\$ -	\$ -	0.00%	\$ 27,180	\$ 27,180	\$ (27,180)	-100.00%
Taxes on Property	\$ 31,000	\$ 39,585	127.69%	\$ 29,150	\$ 29,150	\$ 10,434	35.80%
Contingency	\$ 283,200	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Police	\$ 8,023,089	\$ 5,931,287	73.93%	\$ 5,352,340	\$ 7,279,966	\$ 578,948	10.82%
Fire	\$ 8,345,469	\$ 6,572,703	78.76%	\$ 6,264,620	\$ 8,300,475	\$ 308,083	4.92%
Control of Animals	\$ 176,764	\$ 94,344	53.37%	\$ 222	\$ 3,890	\$ 94,122	42397.30%
Safety Inspection	\$ 360,532	\$ 370,255	102.70%	\$ 245,818	\$ 368,941	\$ 124,437	50.62%
DPW Municipal Maintenance	\$ 615,452	\$ 359,010	58.33%	\$ 376,445	\$ 501,648	\$ (17,434)	-4.63%
DPW Road Maintenance	\$ 887,820	\$ 554,846	62.50%	\$ 484,541	\$ 704,639	\$ 70,304	14.51%
DPW Snow Removal	\$ 1,269,268	\$ 1,036,082	81.63%	\$ 918,369	\$ 1,019,383	\$ 117,713	12.82%
Hydro Electric Production	\$ 364,850	\$ 234,926	64.39%	\$ 197,414	\$ 340,586	\$ 37,513	19.00%
Traffic Control & Lighting	\$ 847,515	\$ 597,841	70.54%	\$ 577,599	\$ 736,571	\$ 20,242	3.50%
Bus	\$ 843,224	\$ 618,898	73.40%	\$ 602,877	\$ 811,544	\$ 16,021	2.66%
Off Street Parking	\$ 83,304	\$ 52,413	62.92%	\$ 45,219	\$ 50,976	\$ 7,194	15.91%
Community Action	\$ 52,000	\$ 52,000	100.00%	\$ 62,000	\$ 62,000	\$ (10,000)	-16.13%
Publicity	\$ 9,375	\$ 4,500	48.00%	\$ 100	\$ 100	\$ 4,400	4400.00%
Private Social Services Agency	\$ 2,200	\$ 2,200	100.00%	\$ 11,600	\$ 11,600	\$ (9,400)	-81.03%
Recreation Administration	\$ 297,199	\$ 230,046	77.40%	\$ 148,066	\$ 191,645	\$ 81,980	55.37%
Thompson Park	\$ 350,678	\$ 258,060	73.59%	\$ 201,812	\$ 290,766	\$ 56,248	27.87%
Recreation Playgrounds	\$ 71,192	\$ 33,446	46.98%	\$ 36,500	\$ 46,238	\$ (3,054)	-8.37%
Recreation Fairgrounds	\$ 257,968	\$ 174,002	67.45%	\$ 124,585	\$ 180,345	\$ 49,417	39.67%
Recreation Athletic Programs	\$ 143,010	\$ 80,203	56.08%	\$ 25,419	\$ 50,032	\$ 54,783	215.52%
Recreation Outdoor Swimming Pool	\$ 164,318	\$ 134,408	81.80%	\$ 103,412	\$ 135,468	\$ 30,995	29.97%
Recreation Ice Arena	\$ 610,097	\$ 489,827	80.29%	\$ 319,249	\$ 429,531	\$ 170,578	53.43%
Historian	\$ 250	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Zoning	\$ 2,500	\$ 1,833	73.33%	\$ 1,886	\$ 3,058	\$ (53)	-2.81%
Planning	\$ 24,300	\$ 16,449	67.69%	\$ 7,428	\$ 7,989	\$ 9,021	121.45%
DPW Storm Sewer	\$ 388,913	\$ 229,899	59.11%	\$ 217,053	\$ 305,045	\$ 12,846	5.92%
DPW Refuse & Garbage	\$ 999,112	\$ 630,245	63.08%	\$ 646,248	\$ 1,012,698	\$ (16,003)	-2.48%
Worker's Compensation	\$ 106,000	\$ 44,654	42.13%	\$ 69,445	\$ 99,333	\$ (24,791)	-35.70%
Unemployment Insurance	\$ 7,500	\$ 2,163	28.84%	\$ 3,338	\$ 3,704	\$ (1,176)	-35.21%
Health Insurance-Retirees	\$ 3,293,725	\$ 2,425,352	73.64%	\$ 2,292,931	\$ 3,055,625	\$ 132,421	5.78%

CITY OF WATERTOWN
FY 2012/13 FINANCIAL REPORT (UNAUDITED)
THROUGH THE QUARTER ENDING MARCH 31, 2013

	2012-13		Y-T-D % of Budget		2011-12		Current YTD vs. Prior YTD	
	Revised Budget	Current Y-T-D	(March = 75%)	Prior Y-T-D	Actual	Variance	%	
Medicare Reimbursements	\$ 309,290	\$ 220,278	71.22%	\$ 209,452	\$ 279,196	\$ 10,826	5.17%	
Compensated Absences	\$ 15,000	\$ -	0.00%	\$ -	\$ (19,273)	\$ -	0.00%	
Other Employee Benefits	\$ 18,255	\$ 8,987	49.23%	\$ 7,171	\$ 11,034	\$ 1,816	25.32%	
General Liability Reserve Transfer	\$ 75,000	\$ 75,000	100.00%	\$ 75,000	\$ 75,000	\$ -	0.00%	
Library Transfer	\$ 1,350,402	\$ 905,000	67.02%	\$ 756,800	\$ 1,499,677	\$ 148,200	19.58%	
Serial Bonds - Principal	\$ 2,152,448	\$ 1,722,777	80.04%	\$ 2,092,532	\$ 2,569,562	\$ (369,755)	-17.67%	
Serial Bonds-Interest	\$ 610,482	\$ 426,557	69.87%	\$ 505,154	\$ 706,828	\$ (78,596)	-15.56%	
NYPA Loan Principal	\$ -	\$ -	0.00%	\$ 22,186	\$ 27,131	\$ (22,186)	-100.00%	
NYPA Loan Interest	\$ -	\$ -	0.00%	\$ 75	\$ 81	\$ (75)	-100.00%	
Capital Fund Transfer	\$ 932,500	\$ 4,450	0.48%	\$ 8,367	\$ 1,681,031	\$ (3,917)	-46.82%	
Black River Trust Fund Transfer	\$ 10,000	\$ 10,000	100.00%	\$ 10,000	\$ 10,000	\$ -	0.00%	
TOTAL	\$ 42,672,145	\$ 28,485,661	66.75%	\$ 26,720,798	\$ 37,830,571	\$ 1,764,863	6.60%	

Water Fund Revenues

Water Rents	\$ 3,230,000	\$ 2,237,907	69.29%	\$ 2,244,752	\$ 3,219,422	\$ (6,846)	-0.30%
Unmetered Water	\$ 13,000	\$ 7,541	58.01%	\$ 6,770	\$ 11,247	\$ 770	11.38%
Outside User Fees	\$ 1,105,000	\$ 933,710	84.50%	\$ 779,048	\$ 1,152,949	\$ 154,662	19.85%
Water Service Charges	\$ 70,000	\$ 68,039	97.20%	\$ 65,693	\$ 83,657	\$ 2,346	3.57%
Interest & Penalties on Water Rents	\$ 70,000	\$ 45,696	65.28%	\$ 44,518	\$ 56,994	\$ 1,178	2.65%
Interest Earnings	\$ 4,500	\$ 220	4.89%	\$ 3,282	\$ 3,875	\$ (3,062)	-93.30%
Sale of Scrap	\$ 2,000	\$ 4,101	205.04%	\$ 3,199	\$ 5,424	\$ 902	28.19%
Sale of Equipment	\$ 1,000	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Insurance Recoveries	\$ 1,000	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Refund of Prior Years Expenditure	\$ 100	\$ -	0.00%	\$ 574	\$ 574	\$ (574)	-100.00%
Premium on Obligations	\$ -	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Unclassified Revenues	\$ 1,000	\$ 94	9.39%	\$ 1,626	\$ 1,797	\$ (1,532)	-94.22%
Payment Processing Fees	\$ -	\$ 415	0.00%	\$ -	\$ -	\$ 415	#DIV/0!
Metered Water Sales Funds	\$ 125,000	\$ 94,636	75.71%	\$ 97,773	\$ 124,714	\$ (3,137)	-3.21%
State Aid - Workers Compensation	\$ -	\$ -	0.00%	\$ 25	\$ 25	\$ -	0.00%
State Aid - CHIPS	\$ -	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
State Aid - Home & Community	\$ -	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Interfund Transfers	\$ 1,000	\$ -	0.00%	\$ -	\$ 46,935	\$ -	0.00%
Total Revenue	\$ 4,623,600	\$ 3,392,358	73.37%	\$ 3,247,262	\$ 4,707,612	\$ 145,096	4.47%
Appropriated Fund Balance	\$ 43,376	\$ -	0.00%	\$ 217,838	\$ -	\$ (217,838)	-100.00%
Revenue and Fund Balance	\$ 4,666,976	\$ 3,392,358	72.69%	\$ 3,465,100	\$ 4,707,612	\$ (72,742)	-2.10%

Water Fund Expenditures

Taxes on Property	\$ 735	\$ 718	97.66%	\$ 717	\$ 717	\$ 1	0.17%
Contingency	\$ 25,610	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Water Administration	\$ 254,090	\$ 185,670	73.07%	\$ 157,476	\$ 230,541	\$ 28,194	17.90%
Source of Supply, Power and Pump	\$ 512,399	\$ 393,918	76.88%	\$ 443,425	\$ 559,664	\$ (49,507)	-11.16%
Water Purification	\$ 1,602,976	\$ 1,127,748	70.35%	\$ 1,016,341	\$ 1,424,980	\$ 111,407	10.96%
Transmission and Distribution	\$ 1,350,633	\$ 845,623	62.61%	\$ 871,847	\$ 1,158,710	\$ (26,223)	-3.01%
Worker's Compensation	\$ 7,000	\$ 2,470	35.28%	\$ 4,560	\$ 6,600	\$ (2,090)	-45.83%
Health Insurance	\$ 124,573	\$ 88,291	70.87%	\$ 87,732	\$ 118,951	\$ 559	0.64%
Medicare Reimbursements	\$ 11,988	\$ 6,139	51.21%	\$ 7,693	\$ 10,341	\$ (1,554)	-20.20%
Compensated Absences	\$ 2,000	\$ -	0.00%	\$ -	\$ 7,783	\$ -	0.00%
Other Employee Benefits	\$ 1,001	\$ 969	96.85%	\$ 344	\$ 694	\$ 625	182.01%
General Liability Transfer	\$ 15,000	\$ 15,000	100.00%	\$ 15,000	\$ 15,000	\$ -	0.00%
Serial Bonds - Principal	\$ 400,450	\$ 316,172	78.95%	\$ 741,602	\$ 829,583	\$ (425,430)	-57.37%
Serial Bonds - Interest	\$ 120,482	\$ 92,966	77.16%	\$ 116,088	\$ 146,533	\$ (23,122)	-19.92%
Transfer to Coagulation Reserve	\$ 20,000	\$ -	0.00%	\$ -	\$ 25,000	\$ -	0.00%
Transfer to Capital	\$ 232,500	\$ 84,040	36.15%	\$ 2,276	\$ 134,082	\$ 81,764	3592.28%
TOTAL	\$ 4,681,436	\$ 3,159,724	67.49%	\$ 3,465,100	\$ 4,669,177	\$ (305,376)	-8.81%

CITY OF WATERTOWN
FY 2012/13 FINANCIAL REPORT (UNAUDITED)
THROUGH THE QUARTER ENDING MARCH 31, 2013

	2012-13	Current Y-T-D	Y-T-D % of Budget (March = 75%)	Prior Y-T-D	2011-12	Current YTD vs. Prior YTD	
	Revised Budget				Actual	Variance	%
Sewer Fund Revenues							
Sewer Rents	\$ 2,542,000	\$ 1,715,222	67.48%	\$ 1,730,870	\$ 2,516,492	\$ (15,649)	-0.90%
Sewer Charges	\$ 324,750	\$ 591,520	182.15%	\$ 742,823	\$ 1,033,338	\$ (151,303)	-20.37%
Interest & Penalties on Sewer Rents	\$ 60,000	\$ 38,612	64.35%	\$ 45,283	\$ 56,657	\$ (6,671)	-14.73%
Sewer Rents-Governments	\$ 1,633,000	\$ 1,052,707	64.46%	\$ 1,067,708	\$ 1,597,626	\$ (15,002)	-1.41%
Interest Earnings	\$ 5,200	\$ 1,324	25.47%	\$ 4,813	\$ 5,951	\$ (3,489)	-72.48%
Permit Fees	\$ 20,000	\$ 19,750	98.75%	\$ 19,375	\$ 19,500	\$ 375	1.94%
Sale of Scrap	\$ 1,000	\$ 2,425	242.46%	\$ 754	\$ 2,979	\$ 1,670	221.42%
Sale of Equipment	\$ 1,000	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Refund of Prior Years Expenditure	\$ -	\$ -	0.00%	\$ 132	\$ 132	\$ (132)	-100.00%
Premium on Obligations	\$ -	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Unclassified Revenues	\$ -	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Payment Processing Fees	\$ -	\$ 414	0.00%	\$ -	\$ -	\$ 414	#DIV/0!
Interfund Revenues	\$ 229,770	\$ 161,345	70.22%	\$ 162,580	\$ 234,942	\$ (1,235)	-0.76%
State Aid - Workers Compensation	\$ -	\$ -	0.00%	\$ -	\$ 625	\$ -	0.00%
State Aid - CHIPSS	\$ 1,000	\$ 1,113	111.28%	\$ -	\$ -	\$ 1,113	#DIV/0!
Interfund Transfer	\$ 1,000	\$ -	0.00%	\$ -	\$ 17,551	\$ -	0.00%
Total Revenue	\$ 4,818,720	\$ 3,600,337	74.72%	\$ 3,774,340	\$ 5,485,793	\$ (174,003)	-4.61%
Appropriated Fund Balance	\$ 730,389	\$ 8,849	1.21%	\$ -	\$ -	\$ 8,849	#DIV/0!
Total Revenue	\$ 5,549,109	\$ 3,609,186	65.04%	\$ 3,774,340	\$ 5,485,793	\$ (165,154)	-4.38%

Sewer Fund Expenditures

Sewer Administration	\$ 227,392	\$ 154,268	67.84%	\$ 106,952	\$ 172,975	\$ 47,317	44.24%
Sanitary Sewer	\$ 540,857	\$ 348,365	64.41%	\$ 331,665	\$ 445,867	\$ 16,700	5.04%
Sewage Treatment and Disposal	\$ 3,093,060	\$ 2,434,508	78.71%	\$ 1,962,917	\$ 2,661,979	\$ 471,591	24.03%
Contingency	\$ 22,090	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Worker's Compensation	\$ 5,500	\$ 2,075	37.72%	\$ 3,610	\$ 5,225	\$ (1,535)	-42.53%
Unemployment Insurance	\$ -	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Health Insurance- Retirees	\$ 159,642	\$ 117,292	73.47%	\$ 103,148	\$ 139,110	\$ 14,145	13.71%
Medicare Reimbursements	\$ 13,187	\$ 9,091	68.94%	\$ 8,769	\$ 11,616	\$ 323	3.68%
Compensated Absences	\$ 1,000	\$ -	0.00%	\$ -	\$ 8,635	\$ -	0.00%
Other Employee Benefits	\$ 1,351	\$ 903	66.89%	\$ 344	\$ 694	\$ 560	162.89%
General Liability Transfer	\$ 15,000	\$ 15,000	100.00%	\$ 15,000	\$ 15,000	\$ -	0.00%
Serial Bonds - Principal	\$ 451,294	\$ 423,051	93.74%	\$ 462,866	\$ 492,301	\$ (39,815)	-8.60%
Serial Bonds - Interest	\$ 134,809	\$ 104,632	77.62%	\$ 117,971	\$ 152,709	\$ (13,339)	-11.31%
NYPA Principal	\$ -	\$ -	0.00%	\$ 1,501	\$ 1,836	\$ (1,501)	-100.00%
NYPA Interest	\$ -	\$ -	0.00%	\$ 5	\$ 5	\$ (5)	-100.00%
Transfer to Capital Reserve Fund	\$ -	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Transfer to Capital Fund	\$ 1,015,000	\$ -	0.00%	\$ -	\$ 782,015	\$ -	0.00%
TOTAL	\$ 5,680,182	\$ 3,609,186	63.54%	\$ 3,114,746	\$ 4,889,968	\$ 494,440	15.87%

Library Fund Revenues

Library Fines	\$ 18,000	\$ 13,485	74.92%	\$ 13,113	\$ 18,624	\$ 373	2.84%
Refund of Prior Years Expenditure	\$ -	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Library Grant	\$ 51,484	\$ 48,794	94.78%	\$ 25,742	\$ 51,484	\$ 23,052	89.55%
Interfund Transfer	\$ 1,350,402	\$ 905,000	67.02%	\$ 756,800	\$ 1,499,677	\$ 148,200	19.58%
Total Revenue	\$ 1,419,886	\$ 967,280	68.12%	\$ 795,655	\$ 1,569,784	\$ 171,625	21.57%
Appropriated Fund Balance	\$ 150,000	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Revenue and Fund Balance	\$ 1,569,886	\$ 967,280	61.61%	\$ 795,655	\$ 1,569,784	\$ 171,625	21.57%

Library Fund Expenditures

Contingency	\$ 3,107	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Library Fund Expenditures	\$ 995,102	\$ 722,731	72.63%	\$ 637,500	\$ 850,232	\$ 85,232	13.37%
Worker's Compensation	\$ 2,500	\$ 988	39.51%	\$ 1,610	\$ 2,330	\$ (622)	-38.65%
Health Insurance	\$ 108,074	\$ 81,056	75.00%	\$ 76,635	\$ 102,180	\$ 4,421	5.77%
Medicare Reimbursements	\$ 16,783	\$ 12,797	76.25%	\$ 12,293	\$ 16,489	\$ 504	4.10%
Compensated Absences	\$ 250	\$ -	0.00%	\$ -	\$ 4,065	\$ -	0.00%
Other Employee Benefits	\$ 425	\$ 449	105.67%	\$ 172	\$ 347	\$ 278	161.55%
Serial Bonds - Principal	\$ 43,000	\$ 43,000	100.00%	\$ 43,000	\$ 57,330	\$ -	0.00%
Serial Bonds - Interest	\$ 13,637	\$ 7,248	53.15%	\$ 8,251	\$ 15,643	\$ (1,003)	-12.16%
NYPA Principal	\$ -	\$ -	0.00%	\$ 14,031	\$ 17,159	\$ (14,031)	-100.00%
NYPA Interest	\$ -	\$ -	0.00%	\$ 48	\$ 51	\$ (48)	-100.00%
Transfer to Capital	\$ 350,000	\$ 98,255	28.07%	\$ 149	\$ 483,006	\$ 98,106	65710.45%

CITY OF WATERTOWN
FY 2012/13 FINANCIAL REPORT (UNAUDITED)
THROUGH THE QUARTER ENDING MARCH 31, 2013

	2012-13		Y-T-D % of Budget		2011-12		Current YTD vs. Prior YTD	
	Revised Budget	Current Y-T-D	(March = 75%)	Prior Y-T-D	Actual	Variance	%	
TOTAL	\$ 1,532,878	\$ 966,525	63.05%	\$ 793,690	\$ 1,548,833	\$ 172,835	21.78%	

Self-Insurance Fund Revenues

Shared Service Charges	\$ 6,849,143	\$ 5,040,416	73.59%	\$ 4,761,724	\$ 6,355,488	\$ 278,692	5.85%
Interest and Earnings	\$ 5,000	\$ 359	7.18%	\$ 5,022	\$ 5,925	\$ (4,663)	-92.85%
Insurance Recoveries	\$ 250,000	\$ 1,221	0.49%	\$ 84,429	\$ 434,428	\$ (83,208)	-98.55%
Medicare Part D reimbursement	\$ 160,000	\$ 62,544	39.09%	\$ 88,900	\$ 188,137	\$ (26,356)	-29.65%
Refund of Prior Years Expenditure	\$ -	\$ 4,042	0.00%	\$ -	\$ -	\$ 4,042	#DIV/0!
Employee Contributions	\$ 602,374	\$ 443,349	73.60%	\$ 412,986	\$ 539,642	\$ 30,363	7.35%
Unclassified Revenues	\$ -	\$ -	0.00%	\$ -	\$ -	\$ -	0.00%
Prescription Reimbursements	\$ 85,000	\$ 95,713	112.60%	\$ 80,594	\$ 157,575	\$ 15,119	18.76%
Federal Early Retiree Reinsurance Program	\$ -	\$ -	0.00%	\$ 34,974	\$ 34,974	\$ (34,974)	-100.00%
Total Revenue	\$ 7,951,517	\$ 5,647,644	71.03%	\$ 5,468,629	\$ 7,716,169	\$ 179,014	3.27%
Appropriated Fund Balance	\$ 310,000	\$ -	0.00%	\$ 167,206	\$ -	\$ (167,206)	-100.00%
Revenue and Fund Balance	\$ 8,261,517	\$ 5,647,644	68.36%	\$ 5,635,836	\$ 7,716,169	\$ 11,808	0.21%

Self-Insurance Fund Expenditures

Administration	\$ 667,679	\$ 460,661	68.99%	\$ 517,524	\$ 621,067	\$ (56,863)	-10.99%
Medical Claims	\$ 4,881,231	\$ 3,365,510	68.95%	\$ 3,281,777	\$ 4,354,097	\$ 83,733	2.55%
Pharmacy Claims	\$ 2,712,607	\$ 1,730,057	63.78%	\$ 1,836,535	\$ 2,591,076	\$ (106,478)	-5.80%
TOTAL	\$ 8,261,517	\$ 5,556,229	67.25%	\$ 5,635,836	\$ 7,566,240	\$ (79,607)	-1.41%