

CITY OF WATERTOWN, NEW YORK
AGENDA
Monday, June 1, 2020

This shall serve as notice that the next regularly scheduled meeting of the City Council will be held on Monday, June 1, 2020, at 7:00 p.m. in the City Council Chambers, 245 Washington Street, Watertown, New York.

This meeting is being conducted in accordance with Governor Cuomo's Executive Order No. 202.1 that restricts in-person access to meetings. The public will be able to view or listen to the meeting live at: <https://livestream.com/swp/wcc>.

The public will be allowed to participate in the public hearing portion remotely through the use of "GoToMeeting" and must register ahead of time using the following link:

<https://attendee.gotowebinar.com/register/836734252670435087>

After a member of the public registers, a confirmation email will be sent containing information regarding how to join the webinar. If you have previously registered for the May 26, 2020 Public Hearing, that confirmation is still in effect for this meeting, and you will not have to register again.

MOMENT OF SILENCE

PLEDGE OF ALLEGIANCE

ROLL CALL

ADOPTION OF MINUTES

COMMUNICATIONS

RESOLUTIONS

- Resolution No. 1 - Accepting Bid for Chemicals at the Water Treatment Plant, Slack Chemical
- Resolution No. 2 - Accepting Bid for Chemicals at the Water Treatment Plant, Thatcher Company
- Resolution No. 3 - Accepting Bid for Chemicals at the Water Treatment Plant, Chemical Distributors
- Resolution No. 4 - Accepting Bid for Chemicals at the Water Treatment Plant, George S. Coyne Chemical

- Resolution No. 5 - Accepting Bid for Chemicals at the Water Treatment Plant, Kemira Water Solutions
- Resolution No. 6 - Accepting Bid for Dry Polymer at the Waste Water Treatment Plant, Slack Chemical
- Resolution No. 7 - Accepting Bid for Chemicals at the Waste Water Treatment Plant, Kemira Water Solutions
- Resolution No. 8 - Accepting Bid for Chemicals at the Waste Water Treatment Plant, Slack Chemical
- Resolution No. 9 - Authorizing Agreement with NYSERDA For Modification No. 2 to Agreement No. 30728 for Preliminary Design of Phase 2 of the Wastewater Treatment Plant Sludge Disposal Process Modification Project
- Resolution No. 10 - Authorizing Agreement with GHD Consulting Services, Inc. for Preliminary Design for Phase 2 of the Wastewater Treatment Plant Sludge Disposal Process Modification Project
- Resolution No. 11 - Finding That Changing the Approved Zoning Classification of VL-2 Gaffney Dr., Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and Changing the Approved Zoning Classification of 234-238 Glenn Ave., 419 Glenn Ave., 233 Stanton St. and M151 Carlton Ave., Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2 and the Construction of a Proposed 47-Space Parking Lot and Reconfiguration of the Existing Parking Lots at the Same Locations Will Not Have a Significant Impact on the Environment
- Resolution No. 12 - Finding That Changing the Approved Zoning Classification of 1348, 1352, and 1356 Washington St., Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence C to Neighborhood Business Will Not Have a Significant Impact on the Environment

ORDINANCES

LOCAL LAW

PUBLIC HEARING

7:30 p.m. Ordinance Changing the Approved Zoning Classification of VL-2 Gaffney Drive, Parcel Number 8-40-108.000 from Commercial to Planned Development District #2 and to Change the Approved Zoning Classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2

7:30 p.m. Ordinance Changing the Approved Zoning Classification of 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000 and 14-21-108.000 from Residence B to Neighborhood Business

OLD BUSINESS

STAFF REPORTS

1. Proposed Additional Work – Rutland St. North Sidewalk Project
2. Zoning Ordinance Rewrite Project Steering Committee
3. Community Development Block Grant CARES Act Funding
4. CitiBus Advertising Rates

NEW BUSINESS

EXECUTIVE SESSION

1. To Discuss Collective Bargaining

WORK SESSION

Next Work Session is scheduled for Monday, June 8, 2020, at 7:00 p.m.

ADJOURNMENT

NEXT REGULARLY SCHEDULED CITY COUNCIL MEETING IS MONDAY, JUNE 15, 2020.



CITY OF WATERTOWN, NEW YORK

ROOM 302, CITY HALL
245 WASHINGTON STREET
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Dale Morrow
Purchasing Manager

Res Nos. 1-5

MEMORANDUM

TO: Honorable Mayor and City Council
FROM: Dale Morrow, Purchasing Manager
SUBJECT: Bid 2020-10 – Process Chemicals – Water Treatment Plant
DATE: 5/20/20

The City's Purchasing Department advertised in the Watertown Daily Times on April 17, 2020, calling for sealed bids for Process and Disinfection Chemicals for Water Treatment and Pollution Control Plants, as per City specifications.

Invitations to bid were issued to thirty-two (32) prospective bidders. The City received fifteen (15) sealed bid submittals by ten (10) bidders. The Purchasing Department publicly opened and read the sealed bids on May 18, 2020, at 11:00 am local time. Results of these bids are per attached bid sheet.

I have reviewed the bid submittals and Aaron Harvill, Chief Plant Operator at the Water Filtration Plant, has recommended the following in which I concur:

Liquid Chlorine	Slack Chemical 465 S. Clinton Street Carthage, NY 13619	\$ 1098.42/ ton
Copper Sulfate	Thatcher Company PO Box 27407 Salt Lake City, UT 84127	\$3,298.00/ton
Sodium Silicate	Chemical Distributors 80 Metcalfe Street Buffalo, NY 14206	\$ 348.00/ton
Hydrofluosilic Acid	Slack Chemical 465 S. Clinton Street Carthage, NY 13619	\$ 621.31/ton
Aluminum Sulfate	Thatcher Company P.O. Box 27407 Salt Lake City, UT 84127	\$ 289.00/ton

Powdered Activated Carbon	George S. Coyne Chemical 3015 State Road Croydon, PA 19021	\$2,188.89/ton
Polyaluminum Chloride	Kemira Water Solutions 4321 W. 6 th Street Lawrence, KS 66049	\$ 365.00/ton

If there are any questions concerning this recommendation, please contact me at your convenience.

Attach. Bid tabulation



CITY OF WATERTOWN, NEW YORK
CITY HALL
245 WASHINGTON STREET
WATERTOWN, NEW YORK 13601-3380

Bid Project:	Process Chemicals - Water Treatment Plant
Bid Number:	Bid #2020-10
Bid Opening Date:	May 18, 2020 @ 11:00 AM

The following results are bids as presented at the bid opening and do not represent an award.

Description	Qty.	Surpass Chemical		Univar Solutions		Chemtrade Chemicals		Thatcher Company		Holland Company		Coyne Chemical		Kuehne Chemical		Kemira Water		Chemical Distributing		Slack Chemical	
		Albany, NY		Morrisville, PA		Parsippany, NJ		Salt Lake City, UT		Adams, MA		Croydon, PA		Kearny, NJ		Lawrence, KS		Buffalo, NY		Carthage, NY	
		Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
	UOM																				
Chlorine Liquid	30/ton	NB		NB		NB		NB		NB		NB		\$3,000.00	\$90,000.00	NB		NB		\$1,098.42	\$32,952.60
Copper Sulfate, Size B	1/ton	NB		NB		NB		\$3,298.00	\$3,298.00	NB		NB		NB		NB		NB		NB	
		652.6 (.3263)	\$339,352.00	NB		NB		NB		NB		\$460.2148	\$239,311.70	NB		NB		\$348.00	\$180,960.00	\$350.87	\$182,452.40
Sodium Silicate Liquid	520/ton			NB		NB		NB		NB		\$460.2148	\$239,311.70	NB		NB		\$348.00	\$180,960.00	\$350.87	\$182,452.40
Hydrofluosilicic Acid Solution	20/ton	NB		\$722.67	\$14,453.40	NB		NB		NB		NB		NB		NB		NB		\$621.31	\$12,426.20
Aluminum Sulfate Liquid	415/ton	NB		NB		\$340.00	\$141,100.00	\$289.00	\$119,935.00	\$466.80	\$193,722.00	NB		NB		NB		NB		NB	
Powdered Activated Carbon	3/ton	NB		NB		NB		NB		NB		\$2,188.8889	\$6,566.67	NB		NB		NB		NB	
Polyaluminum Chloride	45/ton	NB		NB		NB		NB		\$406.00	\$18,270.00	NB		NB		NB		\$365.00	\$16,425.00	NB	

RESOLUTION

Page 1 of 1

Accepting Bid for Chemicals at the Water Treatment Plant, Slack Chemical

Council Member COMPO, Sarah V.
 Council Member HENRY-WILKINSON, Ryan J.
 Council Member ROSHIA, Jesse C. P.
 Council Member RUGGIERO, Lisa A.
 Mayor SMITH, Jeffrey M.

Total

YEA	NAY

Introduced by

WHEREAS the City Purchasing Department has advertised and received sealed bids for the purchase of chemicals for use at the City’s Water Treatment Plant, for the City’s 2020-2021 fiscal year’s requirements, and

WHEREAS invitations to bid were issued to thirty-two (32) prospective bidders with a total of fifteen (15) bids received by ten (10) bidders, and

WHEREAS on May 18, 2020, at 11:00 a.m. in the City Purchasing Department, the bids received were publicly opened and read, and

WHEREAS City Purchasing reviewed the bids received with Chief Plant Operator Aaron Harvill of the Water Treatment Plant, and it is their recommendation that the City Council accept the bids from Slack Chemical as detailed below:

Chemical	UOM	Vendor Name	2020-2021
			Unit Price
Liquid Chlorine	Ton	Slack Chemical	\$1098.42
Hydrofluosilic Acid	Ton	Slack Chemical	\$621.31

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bids submitted by Slack Chemical as detailed above, being the lowest qualifying bidder meeting City specifications, for the purchase of Liquid Chlorine, and Hydrofluosilic Acid for use at the City’s Water Treatment Plant.

Seconded by

RESOLUTION

Page 1 of 1

Accepting Bid for Chemicals at the Water Treatment Plant, Thatcher Company

- Council Member COMPO, Sarah V.
- Council Member HENRY-WILKINSON, Ryan J.
- Council Member ROSHIA, Jesse C. P.
- Council Member RUGGIERO, Lisa A.
- Mayor SMITH, Jeffrey M.

Total

YEA	NAY

Introduced by

WHEREAS the City Purchasing Department has advertised and received sealed bids for the purchase of chemicals for use at the City’s Water Treatment Plant, for the City’s 2020-2021 fiscal year’s requirements, and

WHEREAS invitations to bid were issued to thirty-two (32) prospective bidders with a total of fifteen (15) bids received by ten (10) bidders, and

WHEREAS on May 18, 2020, at 11:00 a.m. in the City Purchasing Department, the bids received were publicly opened and read, and

WHEREAS City Purchasing reviewed the bids received with Chief Plant Operator Aaron Harvill of the Water Treatment Plant, and it is their recommendation that the City Council accept the bids from Thatcher Company as detailed below:

Chemical	UOM	Vendor Name	2020-2021
			Unit Price
Copper Sulfate	Ton	Thatcher Company	\$3,298.00
Aluminum Sulfate	Ton	Thatcher Company	\$289.00

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bids submitted by Thatcher Company as detailed above, being the lowest qualifying bidder meeting City specifications, for the purchase of Copper Sulfate and Aluminum Sulfate for use at the City’s Water Treatment Plant.

Seconded by

RESOLUTION

Page 1 of 1

Accepting Bid for Chemicals at the Water Treatment Plant, Chemical Distributors

- Council Member COMPO, Sarah V.
- Council Member HENRY-WILKINSON, Ryan J.
- Council Member ROSHIA, Jesse C. P.
- Council Member RUGGIERO, Lisa A.
- Mayor SMITH, Jeffrey M.

Total

YEA	NAY

Introduced by

WHEREAS the City Purchasing Department has advertised and received sealed bids for the purchase of chemicals for use at the City’s Water Treatment Plant, for the City’s 2020-2021 fiscal year’s requirements, and

WHEREAS invitations to bid were issued to thirty-two (32) prospective bidders with a total of fifteen (15) bids received by ten (10) bidders, and

WHEREAS on May 18, 2020, at 11:00 a.m. in the City Purchasing Department, the bids received were publicly opened and read, and

WHEREAS City Purchasing reviewed the bids received with Chief Plant Operator Aaron Harvill of the Water Treatment Plant, and it is their recommendation that the City Council accept the bid from Chemical Distributors as detailed below:

Chemical	UOM	Vendor Name	2020-2021
			Unit Price
Sodium Silicate	Ton	Chemical Distributors	\$348.00

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid submitted by Chemical Distributors as detailed above, being the lowest qualifying bidder meeting City specifications, for the purchase of Sodium Silicate for use at the City’s Water Treatment Plant.

Seconded by

RESOLUTION

Page 1 of 1

Accepting Bid for Chemicals at the Water Treatment Plant, George S. Coyne Chemical

- Council Member COMPO, Sarah V.
- Council Member HENRY-WILKINSON, Ryan J.
- Council Member ROSHIA, Jesse C. P.
- Council Member RUGGIERO, Lisa A.
- Mayor SMITH, Jeffrey M.

Total

YEA	NAY

Introduced by

WHEREAS the City Purchasing Department has advertised and received sealed bids for the purchase of chemicals for use at the City’s Water Treatment Plant, for the City’s 2020-2021 fiscal year’s requirements, and

WHEREAS invitations to bid were issued to thirty-two (32) prospective bidders with a total of fifteen (15) bids received by ten (10) bidders, and

WHEREAS on May 18, 2020, at 11:00 a.m. in the City Purchasing Department, the bids received were publicly opened and read, and

WHEREAS City Purchasing reviewed the bids received with Chief Plant Operator Aaron Harvill of the Water Treatment Plant, and it is their recommendation that the City Council accept the bid from George S. Coyne Chemical as detailed below:

Chemical	Vendor Name	2020-2021
		Unit Price
Powdered Activated Carbon	George S. Coyne Chemical	\$2,188.89

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid submitted by George S. Coyne Chemical as detailed above, being the lowest qualifying bidder meeting City specifications, for the purchase of Powdered Activated Carbon for use at the City’s Water Treatment Plant.

Seconded by

RESOLUTION

Page 1 of 1

Accepting Bid for Chemicals at the Water Treatment Plant, Kemira Water Solutions

- Council Member COMPO, Sarah V.
- Council Member HENRY-WILKINSON, Ryan J.
- Council Member ROSHIA, Jesse C. P.
- Council Member RUGGIERO, Lisa A.
- Mayor SMITH, Jeffrey M.

Total

YEA	NAY

Introduced by

WHEREAS the City Purchasing Department has advertised and received sealed bids for the purchase of chemicals for use at the City’s Water Treatment Plant, for the City’s 2020-2021 fiscal year’s requirements, and

WHEREAS invitations to bid were issued to thirty-two (32) prospective bidders with a total of fifteen (15) bids received by ten (10) bidders, and

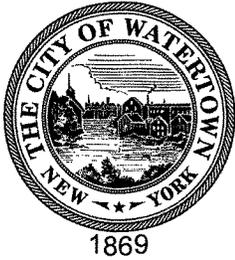
WHEREAS on May 18, 2020, at 11:00 a.m. in the City Purchasing Department, the bids received were publicly opened and read, and

WHEREAS City Purchasing reviewed the bids received with Chief Plant Operator Aaron Harvill of the Water Treatment Plant, and it is their recommendation that the City Council accept the bid from Kemira Water Solutions as detailed below:

Chemical	UOM	Vendor Name	2020-2021
			Unit Price
Polyaluminum Chloride	Ton	Kemira Water Solutions	\$365.00

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid submitted by Kemira Water Solutions as detailed above, being the lowest qualifying bidder meeting City specifications, for the purchase of Polyaluminum Chloride for use at the City’s Water Treatment Plant.

Seconded by



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Dale Morrow
 Purchasing Manager

Res No. 6

MEMORANDUM

TO: Honorable Mayor and City Council
FROM: Dale Morrow, Purchasing Manager
SUBJECT: Bid 2020-11 – Process Chemicals – Dry Polymer - WWTP
DATE: 5/20/20

The City's Purchasing Department advertised in the Watertown Daily Times on April 17, 2020, calling for sealed bids for Process and Disinfection Chemicals for Water Treatment and Pollution Control Plants, as per City specifications.

Invitations to bid were issued to five (5) prospective bidders. The City received two (2) sealed bid submittals by two (2) bidders. The Purchasing Department publicly opened and read the sealed bids on May 18, 2020, at 11:15 am local time.

I have reviewed the bid submittals and Mark Crandall, Chief Plant Operator at the Sewage Treatment Plant, has recommended the following in which I concur:

Dry Polymer	Slack Chemical	\$1.66/lb
	465 South Clinton St	
	Carthage, NY 13619	

See Bid Tab below:

Description	Qty.	Polydyne Inc		Slack Chemical	
		Riceboro, GA		Carthage, NY	
		Unit Price	Total Price	Unit Price	Total Price
Dry Polymer 50,000 lbs.		\$1.75	\$87,500.00	\$1.66	\$83,000.00

If there are any questions concerning this recommendation, please contact me at your convenience.

RESOLUTION

Page 1 of 1

Accepting Bid for Dry Polymer at the Waste Water Treatment Plant, Slack Chemical

- Council Member COMPO, Sarah V.
- Council Member HENRY-WILKINSON, Ryan J.
- Council Member ROSHIA, Jesse C. P.
- Council Member RUGGIERO, Lisa A.
- Mayor SMITH, Jeffrey M.

Total

YEA	NAY

Introduced by

WHEREAS the City Purchasing Department has advertised and received sealed bids for the purchase of process and disinfection chemicals for use at the City’s Waste Water Treatment Plant, for the City’s 2020-2021 fiscal year’s requirements, and

WHEREAS invitations to bid were issued to five (5) prospective bidders with a total of two (2) bids received, and

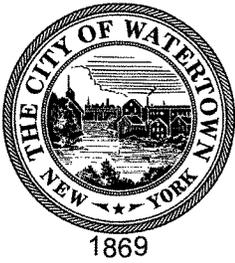
WHEREAS on May 18, 2020, at 11:15 a.m. in the City Purchasing Department, the bids received were publicly opened and read, and

WHEREAS City Purchasing reviewed the bids received the Waste Water Treatment Plant, and it is their recommendation that the City Council accept the bid from Slack Chemical as detailed below:

Chemical	Vendor Name	2020-2021
		Unit Price
Dry Polymer	Slack Chemical	\$1.66

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid submitted by Slack Chemical as detailed above, being the lowest qualifying bidder meeting City specifications, for the purchase of Dry Polymer for use at the City’s Waste Water Treatment Plant.

Seconded by



CITY OF WATERTOWN, NEW YORK

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Dale Morrow
 Purchasing Manager

Res No. 7

MEMORANDUM

TO: Honorable Mayor and City Council
FROM: Dale Morrow, Purchasing Manager
SUBJECT: Bid 2020-12 – Process Chemicals – Ferric Chloride - WWTP
DATE: 5/20/20

The City's Purchasing Department advertised in the Watertown Daily Times on April 17, 2020, calling for sealed bids for Process and Disinfection Chemicals for Water Treatment and Pollution Control Plants, as per City specifications.

Invitations to bid were issued to five (5) prospective bidders. The City received three (3) sealed bid submittals by three (3) bidders. The Purchasing Department publicly opened and read the sealed bids on May 18, 2020, at 11:30 am local time.

I have reviewed the bid submittals and Mark Crandall, Chief Plant Operator at the Sewage Treatment Plant, has recommended the following in which I concur:

Ferric Chloride Kemira Water Solutions \$774.00/ton
 4321 W. 6th Street
 Lawrence, KS 66049

See Bid Tab below:

Description	Qty	PVS Technologies		Kemira Water Solutions		Slack Chemical	
		Detroit, MI		Lawrence, KS		Carthage, NY	
		Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
Ferric Chloride 305 Ton		\$803.00	\$244,915.00	\$774.00	\$236,070.00	NB	

If there are any questions concerning this recommendation, please contact me at your convenience.

RESOLUTION

Page 1 of 1

Accepting Bid for Chemicals at the Waste Water Treatment Plant, Kemira Water Solutions

Council Member COMPO, Sarah V.
 Council Member HENRY-WILKINSON, Ryan J.
 Council Member ROSHIA, Jesse C. P.
 Council Member RUGGIERO, Lisa A.
 Mayor SMITH, Jeffrey M.
 Total

YEA	NAY

Introduced by

WHEREAS the City Purchasing Department has advertised and received sealed bids for the purchase of process and disinfection chemicals for use at the City’s Waste Water Treatment Plant, for the City’s 2020-2021 fiscal year’s requirements, and

WHEREAS invitations to bid were also issued to five (5) prospective bidders with a total of three (3) bids received, and

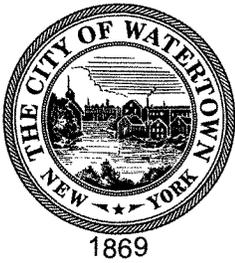
WHEREAS on May 18, 2020, at 11:30 a.m. in the City Purchasing Department, the bids received were publicly opened and read, and

WHEREAS City Purchasing Manager Dale Morrow reviewed the bids received with the Waste Water Treatment Plant, and it is their recommendation that the City Council accept the bid from Kemira Water Solutions as detailed below:

Description	Company	2020-2021
		Unit Price
Ferric Chloride 305 Dry Ton	Kemira Water Solutions	\$774.00

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid submitted by Kemira Water Solutions as detailed above, being the lowest qualifying bidder meeting City specifications, for the purchase of Ferric Chloride 305 Dry Ton for use at the City’s Waste Water Treatment Plant.

Seconded by



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Dale Morrow
 Purchasing Manager

Res No. 8

MEMORANDUM

TO: Honorable Mayor and City Council
FROM: Dale Morrow, Purchasing Manager
SUBJECT: Bid 2020-13 – Disinfection Chemicals - WWTP
DATE: 5/20/20

The City's Purchasing Department advertised in the Watertown Daily Times on April 17, 2020, calling for sealed bids for Process and Disinfection Chemicals for Water Treatment and Pollution Control Plants, as per City specifications.

Invitations to bid were issued to five (5) prospective bidders. The City received four (4) sealed bid submittals by four (4) bidders. The Purchasing Department publicly opened and read the sealed bids on May 18, 2020, at 11:45 am local time.

I have reviewed the bid submittals and Mark Crandall, Chief Plant Operator at the Sewage Treatment Plant, has recommended the following in which I concur:

Sodium Hypochlorite	Slack Chemical 465 S. Clinton Street Carthage, NY 13619	\$0.943/Gal
Sodium Bisulfite Solution	Slack Chemical 465 S. Clinton Street Carthage, NY 13619	\$1.529/Gal

See Bid Tab below:

Description		PVS Chemical Solutions	Holland Company	Kuehne Chemical	Slack Chemical
		Detroit, MI	Adams, MA	Kearny, NJ	Carthage, NY
Sodium Hypochlorite (40,000)	Gallon	NB	NB	NB	0.943/Gal
Sodium Bisulfite Solution (20,000)	Gallon	1.99/GL	\$2.11	NB	1.529/Gal

If there are any questions concerning this recommendation, please contact me at your convenience.

RESOLUTION

Page 1 of 1

Accepting Bid for Chemicals at the Waste Water Treatment Plant, Slack Chemical

Council Member COMPO, Sarah V.
 Council Member HENRY-WILKINSON, Ryan J.
 Council Member ROSHIA, Jesse C. P.
 Council Member RUGGIERO, Lisa A.
 Mayor SMITH, Jeffrey M.
 Total

YEA	NAY

Introduced by

WHEREAS the City Purchasing Department has advertised and received sealed bids for the purchase of chemicals for use at the City’s Waste Water Treatment Plant, for the City’s 2020-2021 fiscal year’s requirements, and

WHEREAS invitations to bid were also issued to five (5) prospective bidders with a total of four (4) bids received, and

WHEREAS on May 18, 2020, at 11:45 a.m. in the City Purchasing Department, the bids received were publicly opened and read, and

WHEREAS City Purchasing Manager Dale Morrow reviewed the bids received with the Waste Water Treatment Plant, and it is their recommendation that the City Council accept the bids from Slack Chemical Company, Inc., as detailed below:

Description	Company	2020-2021
		Unit Price
Sodium Hypochlorite - Gallons	Slack Chemical Co., Inc.	\$0.943
Sodium Bisulfite Solution - Gallons	Slack Chemical Co., Inc.	\$1.529

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bids submitted by Slack Chemical Company, Inc., as detailed above, being the lowest qualifying bidder meeting City specifications, for the purchase of Sodium Hypochlorite and Sodium Bisulfite Solution for use at the City’s Waste Water Treatment Plant.

Seconded by

Res No. 9

May 26, 2020

To: The Honorable Mayor and City Council
From: Kenneth A. Mix, City Manager
Subject: Authorizing NYSERDA Modification No. 2 to Agreement No. 30728,
Sludge Disposal Modifications Project

The City entered into an agreement with the New York State Energy Research and Development Authority (NYSERDA) in 2012 for a \$585,646 grant for implementation of Sludge Disposal Process Modifications to the Waste Water Treatment Plant. The project required a local share of \$59,543.

After the project was completed, there was \$99,820 remaining of the NYSERDA award. NYSERDA has agreed to allow the City to use the remaining funds to pay for a Phase 2 project which will include preliminary design recommendations for:

1. A new hauled waste receiving station,
2. Biosolids dewatering polymer system,
3. Demolition of existing sewage sludge incinerator, and
4. Class A biosolids treatment.

The local share for this phase will be \$15,880 from the Sewer Fund. The attached modified grant agreement extends the term to August 30, 2020 and adds the above described work to the Statement of Work.

A resolution approving the Agreement with NYSERDA is attached for Council consideration.

RESOLUTION

Page 1 of 1

Authorizing Agreement with NYSERDA
For Modification No. 2 to Agreement
No. 30728 for Preliminary Design of
Phase 2 of the Wastewater Treatment
Plant Sludge Disposal Process Modification
Project

Council Member COMPO, Sarah V.
Council Member HENRY-WILKINSON, Ryan J.
Council Member ROSHIA, Jesse C. P.
Council Member RUGGIERO, Lisa L.
Mayor SMITH, Jeffrey M.
Total

YEA	NAY

Introduced by

WHEREAS the City of Watertown owns and operates a Wastewater Treatment Plant located at 700 William T. Field Drive, Watertown, NY, and

WHEREAS the City of Watertown received a 2012 Regional Economic Development Council award through New York State Energy Research and Development Agency (NYSERDA) in the amount of \$585,646 for the implementation of Wastewater Treatment Plant Sludge Disposal Process Modifications, and

WHEREAS GHD has completed Final Designs for Phase 1A and Phase 1B and the project is ready to proceed with Phase 2 Preliminary Design, and

WHEREAS there remains \$99,820 of the NYSERDA award,

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Watertown, New York hereby authorizes the Modification No. 2 to Agreement No. 30728 Between the City of Watertown, New York and NYSERDA, a copy of which is attached and made part of this resolution, to proceed with Phase 2 Preliminary Design, Wastewater Treatment Plant Sludge Disposal Process Modification Project in the amount of \$115,700, and

BE IT FURTHER RESOLVED that the City Manager Kenneth A. Mix is hereby authorized and directed to sign both Agreements on behalf of the City of Watertown.

Seconded by



NYSERDA

ANDREW M. CUOMO
Governor

RICHARD L. KAUFFMAN
Chair

ALICIA BARTON
President and CEO

James E. Mills
Watertown, City of
245 Washington St., Ste 203
Watertown, NY, 13601-3334
jmills@watertown-ny.gov

SUBJECT: Modification No. 2 to Agreement No. 30728

Dear Mr. Mills,

Reference is made to the subject Agreement between us dated December 21, 2012, Modification No.1 dated January 20, 2015(the "Agreement"), wherein the following changes are hereby incorporated:

1. Agreement, Page One, Item 6, Project Period. Delete "May 30, 2016" and Substitute "August 30, 2020 ."
2. Exhibit A Statement of Work Delete and Substitute the revised Statement of Work dated February 19, 2020

No other provision of this Agreement is otherwise changed or modified.

The parties hereto do hereby indicate their acceptance of and agreement to the foregoing by causing their duly authorized representatives to execute this Modification No. 2 in the respective spaces provided below.

Watertown, City of

NEW YORK STATE ENERGY RESEARCH
AND DEVELOPMENT AUTHORITY

Signature: _____

Signature: _____

NYSERDA Authorized Signatory

Name: _____

Title: _____

New York State Energy Research and Development Authority

Albany
17 Columbia Circle, Albany, NY 12203-6399
(P) 1-866-NYSERDA | (F) 518-862-1091
nyserdera.ny.gov | Info@nyserdera.ny.gov

Buffalo
726 Exchange Street
Suite 821
Buffalo, NY
14210-1484
(P) 716-842-1522
(F) 716-842-0156

New York City
1359 Broadway
19th Floor
New York, NY
10018-7842
(P) 212-971-5342
(F) 518-862-1091

**West Valley Site
Management Program**
9030-B Route 219
West Valley, NY
14171-9500
(P) 716-942-9960
(F) 716-942-9961

**EXHIBIT A
STATEMENT OF WORK**

CITY OF WATERTOWN: SLUDGE DISPOSAL PROCESS MODIFICATION PROJECT

Revised: February 19, 2020

Background

The City of Watertown (hereafter, the “Contractor”) received a 2012 Regional Economic Development Council award through NYSERDA Program Opportunity Notice 2571 in the amount of \$585,646 for the implementation of Sludge Disposal Process Modifications (Modifications) to the City’s Water Pollution Control Plant (WWTP). A paraphrased description of the project, taken from the Contractor’s Consolidated Funding Application (CFA), is as follows:

The proposed project is a change in the sludge disposal processes at the Contractor’s WWTP to enable beneficial land application of biomass and the permanent taking out of service of the Plant’s sewage sludge incinerator; including eliminating the auxiliary fuel requirements of the incinerator burner and of hauling the incinerator ash residue to the landfill. As such, anaerobic sludge digestion, and subsequent biogas generation, will be substantially increased; from approximately 7,000 cubic feet per day (CFD) to over 65,000 CFD. This will justify installation of a 125 kW microturbine.

NOTE: The federal requirements of 40 CFR 60, subpart M incorporated by reference in 6 NYCRR 200, apply to sewage sludge incineration units located at wastewater treatment facilities that are designed to treat domestic sewage sludge. These regulations place new economic burdens on the Contractor’s WWTP, which has a sewage sludge incineration process as a principle component of its sludge disposal scheme; as indicated by a previous economic audit. The implementation of the approved monitoring and control equipment and operations thereof, or as an alternative, the permanent closure of the applicable sewage sludge incineration process must be obtained by March 21, 2016.

After receiving notification of the award, the Contractor released a Request for Qualifications (RFQ) to select an engineering firm to perform the planning, design and permitting work associated with the Modifications. GHD Consulting Services, Inc. (GHD) was selected to perform the work and an agreement for \$638,280, payable to GHD, was signed between both parties. The Contractor has divided the project into Phases 1A and 1B; and is moving forward with Phase 1A of the project at this time. Phase 1A has an estimated cost of \$2.8M, and includes the following work:

Decommissioning of the sludge incineration system;

Installation of a new heating system for the sludge disposal building;

Replacement of the existing belt conveyor installed for conveying dewatered sludge from the plate and frame filter presses to an outdoor sludge truck loading station;

Recommissioning of existing anaerobic digesters number one, two and three, which until Phase 1B is completed, will process the entire solids flow stream;

Construction of a biosolids storage facility for seasonal storage of biosolids prior to disposal.

The Contractor shall be responsible for performing all of the work described herein either directly or through its subcontractor(s). Mr. Michael Sligar shall serve as the Contractor's Project Manager. Regardless of any subcontracting or teaming arrangements the Contractor is solely responsible for the completion of all work in this Statement of Work.

Preliminary Design Phase

Task 1 - Project Kick-Off Meeting

The Contractor shall convene a project kick-off meeting to which the NYSERDA Project Manager and relevant parties are invited.

Task 1 Deliverable: Minutes of Project Kick-off Meeting submitted to the NYSERDA Project Manager.

Task 2 - Data Collection and Review

The Contractor shall collect existing data with regard to sludge quantity and characteristics, digester gas, sources of outside waste, utility agreements, utility bills, and other information required to prepare the Preliminary Design Report.

Task 2 Deliverable: Progress report summarizing findings of Data Collection and Review submitted to the NYSERDA Project Manager.

Task 3 - Identification and Evaluation of Alternatives

The Contractor shall develop a list of technologies capable of meeting the goals of the project including: anaerobic digester modifications; methane gas conversion to usable mechanical energy; and retirement/cessation of sludge incineration operations.

- Anaerobic Digester Modifications - Thermophilic digestion alternatives will be assessed primarily, but alternatives such as pasteurization and thermal hydrolysis will also be considered. The potential of using mechanical gravity deck thickener, centrifuge, or screw press for waste activated sludge (WAS) thickening will also be assessed; as will improvements to the existing perth gas mixing system.
- Methane Gas Conversion to Usable Mechanical Energy - Alternative gas scrubbing and prime mover technologies will be assessed; as will systems within the facilities that could beneficially employ the mechanical energy produced (e.g., raw wastewater pumps, trickling filter pumps and activated sludge aeration blowers).
- Retirement/Cessation of Sludge Incineration Operations - Various procedures for retiring the equipment (and associated costs) will be assessed; as will re-establishing the heating system for the sludge disposal building.

Once the list has been developed, the Contractor shall screen the alternatives based on the following, as appropriate:

1. Ability to reliably produce Class A biosolids
2. Digester gas/energy production
3. Ease of modification (cost) to existing facilities
4. Cost effectiveness
5. Operability

6. History of full scale operation in U.S.

The Contractor shall then perform an analysis that considers capital costs and operation/maintenance costs, compared in a 20 year present worth analysis. Ultimately, the Contractor shall select the most cost-effective, reliable technology(ies) capable of meeting the project goals.

Task 3 Deliverable: Progress report summarizing findings of Alternatives Evaluation submitted to the NYSERDA Project Manager.

Task 4 - Basis of Design

Following the detailed evaluation of alternatives and selection of the recommended process improvements, the Contractor shall prepare a recommended Basis of Design. The Basis of Design shall include a summary of sizing criteria for the recommended facilities and also a summary of the existing digester tanks, pumps, piping, recirculation systems, mixing systems, boilers, heat exchangers, gas conversion with appropriate mechanical system's adaptation, and related equipment and systems. The Contractor shall also:

1. Complete an energy balance to determine design quantities of digester gas production, energy conversion, and heat recovery;
2. Prepare a process schematic to illustrate new equipment and piping, as well as modifications to existing equipment and piping; and
3. Update the estimated cost of the total project.

Task 4 Deliverable: Progress report summarizing the Basis of Design submitted to the NYSERDA Project Manager.

Task 5 - Biosolids Reuse Marketing Analysis

Contracted Land Application: The Contractor shall evaluate current biosolids analytical data including nutrients, heavy metals and other required parameters, and compare these to the classification requirements of the treated biosolids product (Class A vs. Class B). The Contractor shall interview local, regional, and national land application companies to determine a realistic contracted land application cost (on a per wet ton basis) for the biosolids. The Contractor shall establish a range of biosolids distribution costs (on a per ton and annual basis).

In-House Land Application: The Contractor shall complete demographic research within the agricultural and horticultural industries, as well as potential soil reclamation projects at, on or near sandy surface soils in the Greater Fort Drum area, from which a list of potential biosolids end users will be developed. The Contractor shall develop the projected costs of an in-house land application program based on projected land access, staffing and equipment requirements, and similar programs developed elsewhere.

Task 5 Deliverable: Progress report summarizing findings of Biosolids Reuse Marketing Analysis submitted to the NYSERDA Project Manager.

Task 6 - Project Funding

The Contractor shall pursue appropriate funding opportunities, including low interest loans through the New York State Revolving Fund, for installing and commissioning the Modifications.

Task 6 Deliverable: Progress report summarizing funding opportunities identified for installing and commissioning the Modifications submitted to the NYSERDA Project Manager.

Task 7 – Permitting Requirements

The Contractor shall summarize the New York State and federal permit requirements as required for implementing the project including State Environmental Quality Review Act (SEQRA) State Pollutant Discharge Elimination System (SPDES) permit modifications for the recommended solids treatment revisions, United State Environmental Protection Agency (USEPA) sewage disposal modifications for the change from incineration to thermophilic anaerobic digestion (TAD), and generation of a Class A biosolids and the permitting associated with beneficial reuse of Class A biosolids material. The Contractor shall submit drafts of the permit applications to the New York State Department of Environmental Conservation (NYSDEC) and federal agencies as appropriate.

Task 7 Deliverable: Progress report summarizing permitting requirements and confirming submittal of draft permits to appropriate agencies, submitted to the NYSERDA Project Manager.

Task 8 - Preliminary Design Report

Following completion of Tasks 1 through 7, the Contractor shall prepare a Preliminary Design Report which summarizes all the findings associated with data collection and review, proposed basis of design, biosolids reuse and marketing analysis. The Preliminary Design Report shall also include a summary of capital construction costs, annual operation and maintenance costs, electrical expenses that are offset, cost savings with the discontinuance of sludge incineration operations, and biosolids reuse revenue. The operation and maintenance costs will include those associated with the anaerobic digestion process, as well as the gas recovery, gas treatment, conversion to mechanical energy and mechanical systems utilization facilities.

Task 8 Deliverable: Progress report summarizing salient findings of Preliminary Design Report submitted to the NYSERDA Project Manager.

Final Design and Construction Phase

Task 9 – Final Drawings and Specifications

The Contractor shall prepare Drawings and Specifications for review and comment at the 30 percent, 60 percent and 95 percent design completion points. Ultimately, the Contractor shall develop Final (100%) Drawings and Specifications. The scope of the Drawings and Specifications shall include:

- a. Decommissioning of the sludge incineration system;
- b. Installation of a new heating system for the sludge disposal building;
- c. Replacement of the existing belt conveyor installed for conveying dewatered sludge from the plate and frame filter presses to an outdoor sludge truck loading station;
- d. Recommissioning of existing anaerobic digesters number one, two and three, which until Phase 1B is completed, will process the entire solids flow stream; and
- e. Construction of a biosolids storage facility for seasonal storage of biosolids prior to disposal.

Task 9 Deliverables: Progress reports summarizing status of 30 percent, 60 percent and 95 percent design completion points; as well as Final (100%) Drawings and Specifications submitted to the NYSERDA Project Manager.

Task 10 – Lead, Asbestos and Polychlorinated Biphenyl (PCB) Testing and Abatement

The Contractor shall prepare a test report and contract specifications for removing and disposing of lead, asbestos and PCBs, as applicable.

Task 10 Deliverable: Progress report summarizing findings of test report and status of contract specifications for removing and disposing of lead, asbestos and PCBs, as applicable, submitted to the NYSERDA Project Manager.

Task 11 – State Environmental Quality Review Act (SEQRA) SPDES Permit Modification

The Contractor shall submit the final State Environmental Quality Review Act (SEQRA) SPDES permit modification to the NYSDEC.

Task 11 Deliverable: Progress report confirming submittal of final SEQRA SPDES Permit Modification (to NYSDEC) submitted to the NYSERDA Project Manager.

Task 12 – Permitting

The Contractor shall submit the final NYSDEC Part 360 and USEPA Part 503 Permits to the appropriate agencies.

Task 12 Deliverables: Progress report confirming submittal of final NYSDEC Part 360 and USEPA Part 503 permits (to appropriate agencies) submitted to the NYSERDA Project Manager.

Task 13 – Biosolids Disposal Contract

The Contractor shall prepare the required documentation associated with the Biosolids Disposal Contract.

Task 13 Deliverable: Progress report summarizing status of Biosolids Disposal Contract to NYSERDA Project Manager.

Task 14 - Annual Metrics Reporting

On an annual basis, the Contractor shall submit, to NYSERDA's Project Manager, a prepared analysis and summary of metrics addressing the anticipated benefits that are realized by the project. The Contractor shall provide metrics in accordance with the Attachment A-1 Information Dissemination Reporting Form.

Task 14 Deliverable: Annual metrics reports

Task 15 – Bidding Phase

The Contractor shall complete the Bidding Phase of the project, including advertisement, preparation of addendum, bid opening and award of construction contracts.

Task 15 Deliverable: Summary of received bids and letter of recommended award of contract submitted to the NYSERDA Project Manager.

Task 16 – Construction Administration

The Contractor shall complete construction administration for the construction of the project, including response to requests for information, preparation of change orders, review of shop drawings and submittals, periodic meetings, and review of payment applications.

Task 16 Deliverable: Notice to Proceed and Notice of Substantial Completion of Construction submitted to the NYSERDA Project Manager. Task 17 – Resident Representative

The Contractor shall provide an onsite project representative for observation of construction progress and conformance to Contract Documents.

Task 17 Deliverable: Quarterly Construction Progress Meeting minutes submitted to the NYSERDA Project Manager.

Task 18 – Preliminary Design

The Contractor shall complete a Preliminary Design Report for Phase 2 of the City of Watertown Sludge Disposal Process Modifications Project. This will include evaluation and development of preliminary design recommendations for:

1. New Hauled Waste Receiving Station
2. Biosolids De-watering Polymer System
3. Demolition of existing Sewage Sludge Incinerator
4. Class A Biosolids Treatment

Task 18 Deliverable: Preliminary Design Report of Phase 2 Sludge Disposal Process Modifications Project

	NYSERDA Share	Local Share	Total Amount	Payment Date
Preliminary Design Phase				
Task 1 – Project Kick-Off Meeting	\$12,754	\$1,146	\$13,900	Jun 2013
<ul style="list-style-type: none"> Final payment for this task will be made upon final submission of minutes of project kick-off meeting to the NYSERDA Project Manager. 				
Task 2 – Data Collection and Review	\$10,432	\$938	\$11,370	Jul 2013
<ul style="list-style-type: none"> Final payment for this task will be made upon final submission of progress report summarizing the findings of the data collection and review task to the NYSERDA Project Manager. 				
Task 3 – Identification and Evaluation of Alternatives	\$57,208	\$5,142	\$62,350	Jul 2013
<ul style="list-style-type: none"> Final payment for this task will be made upon final submission of progress report summarizing the findings of the alternatives evaluation task to the NYSERDA Project Manager. 				
Task 4 – Basis of Design	\$14,084	\$1,266	\$15,350	Aug 2013
<ul style="list-style-type: none"> Final payment for this task will be made upon final submission of progress report summarizing the basis of design task to the NYSERDA Project Manager 				
Task 5 – Biosolids Reuse Marketing Analysis	\$24,241	\$2,179	\$26,420	Aug 2013
<ul style="list-style-type: none"> Final payment for this task will be made upon final submission of progress report summarizing the findings of the biosolids reuse marketing analysis to the NYSERDA Project Manager. 				
Task 6 – Project Funding	\$7,580	\$680	\$8,260	Sept 2013
<ul style="list-style-type: none"> Final payment for this task will be made upon final submission of progress report summarizing the project funding opportunities identified for installing and commissioning the Modifications submitted to the NYSERDA Project Manager. 				
Task 7 – Permitting Requirements	\$4,707	\$423	\$5,130	Sept 2013
<ul style="list-style-type: none"> Final payment for this task will be made upon submission of progress report summarizing permitting requirements and confirming submittal of draft permit applications (to appropriate agencies) to the NYSERDA Project Manager. 				
Task 8 – Preliminary Design Report	\$16,057	\$1,443	\$17,500	Sept 2013
<ul style="list-style-type: none"> Final payment for this task will be made upon final submission of progress report summarizing the salient findings of the preliminary design report to the NYSERDA Project Manager. 				

	NYSERDA Share	Local Share	Total Amount	Payment Date
Total Preliminary Design Phase	\$147,063	\$13,217	\$160,280	

	NYSERDA Share	Local Share	Total Amount	Payment Date	
Final Design Phase					
Task 9 – Final Drawings and Specifications					
<ul style="list-style-type: none"> Payment for this task will be made in partial payments upon submission of progress reports summarizing status of: 30%, 60% and 95% design completion points; as well as Final (100%) Drawings and Specifications to the NYSERDA Project Manager. 	<u>% Complete</u>				
	30	\$57,034	\$5,126	\$62,160	Feb 2015
	60	\$57,034	\$5,126	\$62,160	Mar 2015
	90	\$57,034	\$5,126	\$62,160	Apr 2015
	100	\$19,195	\$1,709	\$20,720	May 2015
Task 10 – Lead, Asbestos and PCB Testing and Abatement					
<ul style="list-style-type: none"> Payment for this task will be made in partial payments upon submission of progress reports summarizing status of the following to the NYSERDA Project Manager: <ul style="list-style-type: none"> – Lead Asbestos and PCB Test Report – Lead Asbestos and PCB Abatement Design 		\$5,322	\$478	\$5,800	Feb 2015
		\$5,322	\$478	\$5,800	Apr 2015
Task 11 – Final SEQRA SPDES Permit Modification Submittal					
<ul style="list-style-type: none"> Final payment for this task will be made upon submission of a progress report confirming submittal of final SEQRA SPDES permit modification (to NYSDEC) to the NYSERDA Project Manager. 		\$5,046	\$454	\$5,500	May 2015
Task 12 – Permitting					
<ul style="list-style-type: none"> Final payment for this task will be made upon submission of a progress report confirming submittal of final NYS Part 360 and USEPA Part 503 permit applications (to appropriate agencies) to the NYSERDA Project Manager. 		\$9,726	\$874	\$10,600	Mar 2016
Task 13 – Biosolids Disposal Contract Assistance					
<ul style="list-style-type: none"> Final payment for this task will be made upon submission of progress report summarizing the status of the biosolids disposal contract to the NYSERDA Project Manager. 		\$4,771	\$429	\$5,200	Aug 2017
Task 14 – Annual Metrics Reporting					
<ul style="list-style-type: none"> Final payment shall be made upon submission of final annual meetings report 		\$0	\$0	\$0	As Required
Total Final Design Phase		\$220,484	\$19,816	\$240,300	

	NYSERDA Share	Local Share	Total Amount	Payment Date
Bidding Phase (Phase 1A)				
Task 15 – Bidding Phase	\$19,544	\$1,756	\$21,300	June 2017
<ul style="list-style-type: none"> Final payment will be made upon submission of executed construction contract agreements 				
Construction Phase (Phase 1A)				
Task 16 – Construction Administration	\$65,512	\$5,888	\$71,400	Jan 2018
<ul style="list-style-type: none"> Final payment will be made upon issue of Notice of Substantial Completion of Construction 				
Task 17- Resident Representative	\$33,223	\$3,006	\$36,209	Jan 2018
<ul style="list-style-type: none"> Final payment will be made upon issue of Notice of Substantial Completion of Construction 				
Total Bidding/Construction (Phase 1A)	\$118,279	\$10,650	\$128,909	
Preliminary Design (Phase 2)				
Task 18 Preliminary Design	\$99,820	\$15,880	\$115,700	Aug 2020
<ul style="list-style-type: none"> Final payment will be made upon submission of Final Preliminary Design Report for Phase 2 				
TOTAL PROJECT	\$585,646	\$59,543	\$645,189	

Note: Phase 1B (Funding by others – Not included)

The Contractor may not alter the distribution of compensation between individual tasks unless a formal modification to this Agreement is executed which will depend on approval by the NYSERDA Project Manager. All invoices submitted for payment from the Contractor must include evidence of the cost-share described above in order to qualify for the associated milestone payment.

Res No. 10

May 26, 2020

To: The Honorable Mayor and City Council
From: Kenneth A. Mix, City Manager
Subject: GHD Consulting Services, Inc., Agreement,
Sludge Disposal Modifications Project

Attached is an Agreement between GHD Consulting Services, Inc. and the City of Watertown for preliminary design engineering services of Phase 2 of the Sludge Disposal Modifications Project. The contract will cost \$115,700 and will be paid for by the NYSERDA grant and local share described in the preceding report.

The services to be provided under this agreement include evaluations of alternatives for sludge thickening, recommendations for a hauled waste receiving station, recommendations for replacement of the biosolids dewatering polymer system, recommendations for removal of existing sludge incinerator, and cost evaluation of Class A biosolids treatment technologies versus current Class B treatment process.

Attached for Council consideration is a resolution approving the Agreement with GHD Consulting Services, Inc.

RESOLUTION

Page 1 of 1

Authorizing Agreement with GHD Consulting Services, Inc. for Preliminary Design for Phase 2 of the Wastewater Treatment Plant Sludge Disposal Process Modification Project

- Council Member COMPO, Sarah V.
- Council Member HENRY-WILKINSON, Ryan J.
- Council Member ROSHIA, Jesse C. P.
- Council Member RUGGIERO, Lisa A.
- Mayor SMITH, Jeffrey M.

Total

YEA	NAY

Introduced by

WHEREAS the City of Watertown owns and operates a Wastewater Treatment Plant located at 700 William T. Field Drive, Watertown, NY, and

WHEREAS the City of Watertown received a 2012 Regional Economic Development Council award through New York State Energy Research and Development Agency (NYSERDA) in the amount of \$585,646 for the implementation of Wastewater Treatment Plant Sludge Disposal Process Modifications with \$99,820 remaining, and

WHEREAS GHD has completed Final Designs for Phase 1A and Phase 1B and the project is ready to proceed with Phase 2 Preliminary Design,

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Watertown, New York hereby authorizes the Agreement Between the City of Watertown, New York and GHD Consulting Services Inc., a copy of which is attached and made part of this resolution, to proceed with Phase 2 Preliminary Design, Wastewater Treatment Plant Sludge Disposal Process Modification Project in the amount of \$115,700, and

BE IT FURTHER RESOLVED that the City Manager Kenneth A. Mix is hereby authorized and directed to sign the Agreement on behalf of the City of Watertown.

Seconded by



**AGREEMENT
BETWEEN
CITY OF WATERTOWN
(OWNER)
AND
GHD CONSULTING SERVICES INC.**

**FOR
SERVICES
FOR
PRELIMINARY DESIGN ENGINEERING SERVICES
PHASE 2 IMPROVEMENTS
SLUDGE DISPOSAL PROCESS MODIFICATIONS**

FEBRUARY 2020



GHD – USA
Services Agreement

General Details:

Project Name	City of Watertown Sludge Disposal Process Modifications
The Project is	Sludge disposal modifications.
"OWNER" and the "Client" means	City of Watertown 245 Washington Street Suite 202 Watertown, NY 13601
OWNER's Designated Representative(s) is	Kenneth Mix City Manager 315.785.7730 rfinn@watertown-ny.gov
OWNER's Authorized Signer is	Kenneth Mix City Manager 245 Washington Street Suite 202 Watertown, NY 13601
"GHD" means	GHD Consulting Services Inc. One Remington Park Drive Cazenovia, NY 13035
GHD's Designated Representative is	Bruce G. Munn, PE Principal 315.679.5733 bruce.munn@ghd.com
GHD's Authorized Signer is	Bruce G. Munn, PE Principal 315.679.5733 bruce.munn@ghd.com

Services:

Preliminary Design Engineering Services, as further defined in Exhibit A.

Fees:

GHD will complete the Scope of services for a lump sum amount of \$115,700, as further defined in Exhibit A.

Period of Service:

Effective Date of this Agreement: _____
 As further defined in Exhibit A.

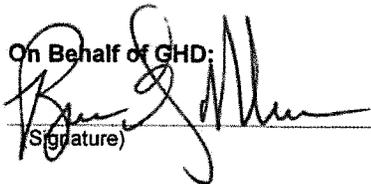
Additional Exhibits:

Exhibit A – Scope of Services



GHD – USA
Services Agreement

Duly authorized representatives to execute this Agreement:

On Behalf of GHD: 

 (Signature) Bruce G. Munn, PE PRINCIPAL 2/19/20
 (Print name) (Title) (Date)

On Behalf of OWNER:

 (Signature) Kenneth Mix _____
 (Print name) (Title) (Date)

Additional Signatures, if required:

 (Signature) (Print name) (Title) (Date)

 (Signature) (Print name) (Title) (Date)

Services

1. The standard of care for any professional services performed or furnished by GHD under this Agreement will be the care and skill ordinarily used by members of the profession practicing under similar circumstances at the same time and in the same locality. GHD makes no warranties, express or implied, under this Agreement or otherwise, in connection with GHD's services.
2. Any questions in relation to the services being provided by GHD can be directed to the Job Manager.
3. Change of Scope. The scope of Services set forth in this Agreement is based on facts known at the time of execution of this Agreement. For some projects involving conceptual or process development services, scope may not be fully definable during initial phases. As the Project progresses, facts discovered may indicate that scope should be changed. GHD will promptly inform OWNER in writing of such situations, and if the facts discovered constitute a material change in project assumptions, the parties shall renegotiate the amended scope of this Agreement as necessary.
4. Discovery of Hazardous Materials. OWNER warrants that it has made and will continue to make full and accurate written disclosure to GHD as to any hazardous or toxic materials, pollutants, or contaminants which OWNER knows or has reason to believe exist at the site(s). Discovery of any hazardous or toxic materials, pollutants, or contaminants on or in the site which are not described in written job specifications delivered to GHD prior to GHD'S commitment to perform the work, will constitute a materially different site condition entitling GHD to an equitable adjustment in the contract price or time for performance, or both, as appropriate, or in the alternative, GHD shall, at its sole discretion, have the right to immediately terminate its performance of this Agreement.

Information and Documents

5. OWNER shall designate and advise GHD of a person to act as OWNER's Representative who has complete authority with respect to the services. OWNER shall do the following in a timely manner:
 - (a) Provide all criteria and full Information as to OWNER's requirements for the Project;
 - (b) Assist GHD by providing all available Information pertinent to the Project (e.g. previous reports), all of which GHD may use and rely upon in performing the services; GHD will not be obligated to verify the accuracy of OWNER provided Information unless verification is included in GHD's scope of work;
 - (c) Arrange for site and property access as required for GHD to perform the services;
 - (d) Give prompt written notice to GHD of any event that affects the scope or timing of GHD's services.

Payment

6. Method of Payment. OWNER shall pay GHD the Fees as defined under the Exhibits.

Additionally, OWNER will pay for any additional approved services GHD undertakes, and any Liability, cost or expense GHD incurs, if:

 - (a) The general approved scope, schedule, extent or character of Services is changed materially. In this event, the amount of compensation provided for

herein shall be subject to equitable adjustment in accordance with paragraph 3, Change of Scope;

- (b) Any Information OWNER (or OWNER's employees, agents or contractors) provides to GHD is not complete and accurate;
 - (c) Part or all of the Services are delayed or suspended (other than as a result of GHD's breach of the Agreement);
 - (d) OWNER fails to pay an amount due under the Agreement; or
 - (e) OWNER ends the Agreement before GHD has completed the services.
7. GHD will submit monthly invoices for services rendered and payment will be made within 30 days of OWNER's receipt of such invoices. If OWNER fails to make any payment due GHD for Services within 30 days after receipt of GHD's invoice, then:
 - (a) Interest a 1% per month will be charged on all past due amounts; and
 - (b) GHD may, after giving seven (7) days written notice to OWNER, suspend Services under this Agreement until OWNER has paid in full all amounts due for Services, and other related charges. OWNER waives any and all claims against GHD for any such suspension.

When the Fees are on the basis of a lump sum, fixed fee, or a percentage of construction cost for the Project, GHD's invoices will be based upon GHD's estimate of the proportion of the services actually completed at the date of the invoice. If OWNER objects to any invoice submitted by GHD, OWNER shall so advise GHD in writing giving reasons therefore within fourteen (14) days of receipt of such invoice. If no such objection is made, the invoice will be considered acceptable by OWNER.

Insurance

8. GHD shall maintain continuously during the life of this Agreement the following insurance requirements:
 - (a) Workers' Compensation Insurance with statutory limits and Employer's Liability of \$1,000,000 per occurrence;
 - (b) Commercial General Liability Insurance, comprehensive form, with combined single limits of \$1,000,000 in any one occurrence or in the aggregate, applicable to bodily injury, sickness, or death and for loss of or damage to property;
 - (c) Automobile Liability Insurance covering all owned, non-owned, or hired vehicles used by GHD with limits of \$1,000,000 combined single limits applicable to bodily injury, sickness, or death of any one person per occurrence and for loss of or damage to property;
 - (d) Professional Liability Insurance in the amount of \$1,000,000 covering claims, damages and Liability arising out of, or resulting from, GHD's professional negligence in performance of the services.
9. The policies under 8(b) and 8(c) above shall: (1) name OWNER as an Additional Insured; (2) be endorsed to be primary and non-contributory to any other insurance maintained by OWNER.
10. GHD will provide OWNER with satisfactory evidence of the above insurances upon request.

Total Liability for Damages

11. (a) Notwithstanding any other provisions of this Agreement, but subject to clause 11(b) below, to the maximum extent permitted by law, the total aggregate Liability of GHD to OWNER and/or anyone claiming by, through, or under OWNER shall be limited to the amounts set out in clause 8 for the relevant insurance policy or, if no insurance is applicable, to \$1,000,000.
- (b) With respect to professional errors or omissions only, notwithstanding any other provision of this Agreement, to the maximum extent permitted by law, the total aggregate Liability of GHD to OWNER and/or anyone claiming by, through, or under OWNER, for all Liabilities arising out of, or resulting from the professional errors or omissions of GHD in the performance or non-performance of the services shall be limited to \$1,000,000, or the total Fees actually paid to GHD under this Agreement, whichever is greater.
- (c) Neither party to this Agreement shall be liable to the other for any indirect, special, incidental, punitive or consequential damages, including but not limited to loss of profits, arising in connection with the performance or non-performance of this Agreement.

Intellectual Property

12. All Documents prepared or furnished by GHD are instruments of service in respect of the Project and GHD shall retain an ownership and property interest therein whether or not the Project is completed. Any reuse without written verification or adaptation by GHD for the specific purpose intended will be at OWNER's sole risk and without Liability or legal exposure to GHD, and OWNER shall indemnify and hold harmless GHD from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom.

Confidentiality, documents and information

13. GHD agrees to keep confidential and not disclose to any person or entity, other than GHD's employees and subcontractors, without the prior written consent of OWNER (which consent shall not be unreasonably withheld, delayed, or conditioned), all data and Information not previously known to GHD and marked "CONFIDENTIAL" by OWNER and provided in the course of GHD's performance of the services. This provision shall not apply to data or Information which is in the public domain or which was acquired by GHD independently from third parties not under any obligation to OWNER to keep such data and Information confidential or which GHD is required to disclose under any law, rule, regulation, ordinance, code, standard, or court order.

Termination

14. (a) The obligation to provide further services under this Agreement may be terminated by either party upon thirty days' written notice in the event of substantial failure by the other party to perform in accordance with the terms hereof through no fault of the terminating party. Upon such termination, OWNER shall pay to GHD all amounts owing to GHD under the Agreement, for all work performed up to the effective date of termination, plus reasonable termination costs.

- (b) This Agreement may be terminated for convenience by OWNER upon thirty days prior written notice to GHD. In the event of termination for convenience by OWNER, GHD shall be entitled to receive all amounts owing to GHD under the Agreement, for all work performed up to the effective date of termination, plus reasonable termination costs.

Indemnification

15. Subject to the provisions of section 11 of this Agreement, to the maximum extent permitted by law, each party shall indemnify and hold harmless (but shall have no duty to defend) the other party, its appointed and elected officials, partners, officers, directors, employees, and agents, from and against any and all Liabilities arising from the negligent or wrongful acts, errors, or omissions, or breach of contract, by a party; but only to the extent of an indemnifying party's relative degree of fault when considered together with the fault of all parties, including indemnified parties and any parties immune from suit.
16. In furtherance of these obligations, and *only* with respect to OWNER, GHD waives any immunity it may have or limitation on the amount or type of damages imposed under any industrial insurance, worker's compensation, disability, employee benefit, or similar laws. GHD ACKNOWLEDGES THAT THIS WAIVER OF IMMUNITY WAS MUTUALLY NEGOTIATED.

Dispute Resolution

17. Both parties agree in good faith to attempt to resolve amicably, without litigation, any dispute arising out of or relating to this Agreement or the work to be performed hereunder. Following notification of a dispute, the parties shall have five (5) business days from the date of notification to begin negotiations and fifteen (15) business days from the notification date to complete negotiations, unless otherwise agreed in writing. In the event that any dispute cannot be resolved through direct discussions, the parties agree to endeavor to settle the dispute by mediation. The parties shall have forty-five (45) calendar days within which to commence the first mediation session following the conclusion of their good faith negotiations or expiration of the time within which to negotiate. Either party may make a written demand for mediation, which demand shall specify the facts of the dispute. The matter shall be submitted to a mediator mutually selected by the parties. The mediator shall hear the matter and provide an informal nonbinding opinion and advice in order to help resolve the dispute. The mediator's fee shall be shared equally by the parties. If the dispute is not resolved through mediation, the matter may be submitted to the judicial system, in the courts of general jurisdiction where the Project is located, in which event all litigation and collection expenses, witness fees, court costs and attorneys' fees shall be paid to the prevailing party.

Independent Contractor

18. GHD shall act as an independent consultant and not as an agent or employee of OWNER, and will be solely responsible for the control and direct performance of the services provided by its employees and agents.

Assignment

19. This Agreement may be assigned by either party with the prior written consent of the other party.

Health and Safety

20. GHD shall only be responsible for the activities of its own employees and agents on the Project site with respect to safety.

Compliance with Laws, Permits and Licenses

21. This Agreement shall be governed by the law of the state where the majority of GHD's work for OWNER will be undertaken. GHD shall perform its Services in accordance with applicable laws, regulations, ordinances, permits, licenses, and other rules.

Severability

22. The parties agree that, in the event one or more of the provisions of this Agreement should be declared void or illegal, the remaining provisions shall not be affected and shall continue in full force and effect.

No Third-Party Beneficiaries

23. Nothing in this Agreement shall be construed to create, impose, or give rise to any duty owed by OWNER or GHD to any third party. All duties and responsibilities undertaken under this Agreement shall be for the sole and exclusive benefit of OWNER and GHD. There are no intended third-party beneficiaries. Notwithstanding the foregoing, should a court find a third party to be a beneficiary of this Agreement, it is the intent of the parties that the judicially created third-party beneficiary be bound by and subject to all of the terms and conditions of this Agreement.

Notification Period

24. Any applicable Statute of Limitation shall be deemed to commence running on the date which the claimant knew, or should have known, of the facts giving rise to their claims, but in no event later than the date of the final invoice for GHD's services under this Agreement. To the maximum extent permitted by law, as a condition precedent to commencing a judicial proceeding, a party shall give written notice of their claims, including all amounts claimed, and the factual basis for their claims, to the other party within two (2) years of when the claimant knew, or should have known, of the facts giving rise to their claims, but in no event later than two (2) years from the date of GHD's final invoice for Services under this Agreement.

Complete Agreement

25. This Agreement represents the entire understanding between the OWNER and GHD, and supersedes all prior negotiations, representations, understandings or agreements, either written or oral. This Agreement may be amended only by written instrument signed by both the parties hereto.
26. All notices or other written communications required under this Agreement shall be given personally upon delivery or by certified mail, return receipt requested, upon deposit in a U.S. Mail receptacle to the appropriate parties at the addresses shown on the signature page.
27. This Agreement applies to all services undertaken by GHD for OWNER relative to this Project, including any services undertaken prior to the Effective Date hereof.

Definitions

28. Unless the context otherwise requires, in the Agreement:

"Additional Insured" means that the interests of the client will be noted on the relevant policy, but does not mean that the client is an "Insured" under that policy.

"Agreement" means the agreement executed by the parties in connection with the services, including these terms and exhibits.

"Designated Representative" means specific individuals who act as Engineer's and OWNER's representatives with respect to the services to be performed or furnished by Engineer and responsibilities of OWNER under this Agreement. Such an individual shall have authority to transmit instructions, receive information, and render decisions relative to the Project on behalf of the respective party whom the individual represents.

"Document" or **"Documents"** includes a written or electronic document.

"Fees" means the amount set out in the agreement details including disbursements.

"Information" includes documents and information provided pertinent to the project.

"Liability" or **"Liabilities"** means any and all liabilities for actions (whether sounding in tort, contract (express or implied), warranty (express or implied), statutory liability, strict liability, or otherwise); claims (including, but not limited to, claims for bodily injury, death, property damage, (including bodily injury, death, or property damage to employees) or arising under environmental laws); and costs or damages of every nature without limitation (including, but not limited to, reasonable attorneys' fees and costs of defense).

"Project" means the project(s) that the services relate to.

"Services" means the services set out in the agreement details (or otherwise the services GHD undertakes).

"OWNER" means the person(s) set out in the agreement details (and if more than one person, "OWNER" means each of those persons severally and all of them jointly).



SCOPE OF SERVICES

The City of Watertown own and operates the William T. Field Water Pollution Control Plant (WPCP). The plant currently anaerobically digests biosolids prior to dewatering and land application. The City completed a Preliminary Design Report of Sludge Disposal Process Modifications for the William T. Field WPCP in June 2014 (June 2014 Report). The Report included recommendations to decommission the existing sewage sludge incineration and implement phased improvement projects to recommission and optimize the existing anaerobic digesters. Class A biosolids treatment technologies were also evaluated for consideration. The City has completed the first two phases of recommended improvements (Phase 1A and 1B) and is currently planning the next phase (Phase 2) of Sludge Disposal Modifications.

The Scope of Work for this project includes Preliminary Design Engineering Services, including development and conceptual layout of Phase 2 improvements, revised evaluation and life cycle cost analysis of Class A biosolids treatment technologies, and preparation of a Preliminary Design Report. The project generally includes the following tasks:

- Evaluation of alternatives for sludge thickening.
- Develop recommendations for new hauled waste receiving station.
- Develop recommendations for replacement of the biosolid dewatering polymer system.
- Develop recommendations for removal of the existing sewage sludge incinerator.
- Complete life cycle cost evaluation of Class A biosolids treatment technologies versus current Class B treatment process.

GHD will complete the following Scope of Services:

1. **Project Initiation Kick-Off and Chartering.** Engineer and the Owner will participate in a project kick-off and chartering meeting at the start of this project. One of the key purposes of the meeting will be to review and revise previously established critical success factors that will make the project successful for the Owner. These critical success factors will include technical goals for the Phase 2 improvements to the anaerobic digestion process and goals for Class A biosolids production. We will also discuss project team roles, responsibilities, lines of communication, project schedule, deliverables, and project decision-making procedures. The critical success factors and project team discussions will be captured in meeting minutes and distributed to the team.
2. **Basis of Design Summary.** The Basis of Design prepared in the June 2014 Report will be updated to reflect the most recent data for solids production and disposal. The proposed basis of Design will include estimates for outside sludge and septage disposal. The Basis of Design will be used for evaluation of alternatives and the development of recommendations. Data will be collected and summarized for the period of 2015 through 2019. Data will include sludge quantity and characteristics, digester gas production, quantities of outside waste and septage,

3. Development of Phase 2 Improvements. Engineer will evaluate and develop recommendations for the following Phase 2 Sludge Disposal Process Modifications.
 - a. Sludge Thickening. Evaluate alternatives for sludge thickening including mechanical gravity deck centrifuge, rotary drum and screw press. Complete a cost comparison of up to three (3) alternatives including capital construction costs and operation and maintenance cost. Prepare conceptual layouts of each of the alternatives.
 - b. Outside Waste/Septage/Leachate Receiving Station. Develop recommendations for a new hauled waste receiving station, capable of receiving outside sludge, septage and leachate. Station to include screening equipment, grit removal (optional), and separate storage/feed tanks for thickened sludge and leachate. Prepare conceptual site plan locations and building plan layout. Prepare engineers estimate of probable construction cost.
 - c. Polymer System. Develop recommendations for replacement of the existing dry polymer feed system with a new liquid polymer storage and feed system. System will be designed based on polymer(s) recommended by chemical supplier testing. Prepare a conceptual location layout plan of storage and feed equipment. Prepare engineers estimate of probable construction cost.
 - d. Existing Incinerator demolition. Prepare recommendations for the demolition and removal of the existing sewage sludge and incinerator and ancillary equipment. Prepare engineers estimate of probable construction cost.
4. Class A Biosolids Treatment Alternatives. Develop a listing of those technologies which produce a Class A biosolids. This listing will consider those technologies identified in the June 2014 Report including:
 - Thermophilic Anaerobic Digestion
 - Temperature-Phased Anaerobic Digestion
 - Two-Phase Anaerobic Digestion
 - Thermal Hydrolysis
 - Sludge Heat Drying
 - Other Identified Technologies

Following the identification of technologies, a prescreening step will be completed to select those technologies most closely suited to the specific needs and existing systems for the Owner. Each of these alternatives will be reviewed for the following:

1. Ability to reliably produce Class A biosolids.
2. Digester gas/energy production.
3. Ease of modification (cost) to existing facilities.
4. Cost effectiveness, improved efficiencies in time and production, training of staff.
5. Operability.
6. History of full-scale operation in U.S.

Technologies will also be evaluated for the ability to remove PFAS related compounds.

Per- and Polyfluoroalkyl substances (PFAS) are a class of synthetic compounds used for firefighting and in a wide variety of consumer products due their water and stain repellent properties and thermal resistance. These compounds are persistent in the environment, migrate easily, and can concentrate in the food chain.

Federal regulations are being developed to address potential PFAS contamination. Potential PFAS contamination of groundwater is a newly emerging concern in the water and wastewater industries. Future regulations on PFAS compounds could limit land application options. Engineer will provide a brief overview of PFAS concerns and potential impacts for biosolids disposal, review of proposed regulations and discussion of potential mitigation treatment technologies.

This information will be summarized in tabular form.

Owner and Engineer will meet to discuss and review findings. The purpose of this meeting will be to select the most viable alternatives for detailed evaluation. Up to three (3) Class A digester process alternatives will be selected for detailed evaluation and comparison to the current mesophilic digester operation.

Following this meeting, more detailed cost analysis will then be prepared to determine and select the most cost-effective and reliable technology to meet the Owner's goals. The evaluations will consider capital costs and operation and maintenance costs. These costs will be compared in a 20-year present worth analysis.

5. Preliminary Design Report. Following completion of Tasks 1 through 4, Engineer will prepare a Preliminary Design Report which summarizes all the findings associated with data collection and review, proposed basis of design, evaluation of alternatives and recommended improvements. The Preliminary Design Report will also include a summary opinion of anticipated capital construction costs, annual operation and maintenance costs, and biosolids disposal cost/reuse revenue.
6. Review Meeting and Final Report. Following completion and submission of a Draft Report, Owner and Engineer will meet to review the report findings and receive comments. Following the meeting Engineer will revise the report based upon Owners comments, and prepare a Final Report.

PROJECT SCHEDULE

Engineer will complete the Scope of Services through submission of the Draft Report within sixteen (16) weeks of Authorization to Proceed. Final Report will be prepared within 14 days from the receipt of final comments from the Owner.

PROJECT FEES

GHD will complete the Scope of Services as described above for a lump sum amount of \$115,700 including labor and expenses.

May 26, 2020

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planning and Community Development Director

Subject: Finding That Changing the Approved Zoning Classification of VL-2 Gaffney Dr., Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and Changing the Approved Zoning Classification of 234-238 Glenn Ave., 419 Glenn Ave., 233 Stanton St. and M151 Carlton Ave., Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2 and the Construction of a Proposed 44-Space Parking Lot and Reconfiguration of the Existing Parking Lots at the Same Locations Will Not Have a Significant Impact on the Environment

At its May 5, 2020 meeting, the City Planning Board adopted a motion recommending that the City Council change the approved zoning classification of VL-2 Gaffney Drive, Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and change the approved zoning classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2. The City Council has scheduled a public hearing on the request for Monday, June 1, 2020, at 7:30 p.m.

As you will note in Part 1 of the attached Short Environmental Assessment Form (EAF), the description of the proposed project includes the zone change as well as the construction of a proposed of a 47-space parking lot and reconfiguring the existing parking lots on The ARC's campus. In order to avoid segmentation of the SEQRA review, the Council must consider the zone change along with other planned nearby or interrelated projects. Proposals or parts of proposals that are related to each other closely enough to be, in effect, a single course of action should be evaluated as one whole action. The proposed parking lot activities are closely related to the zone change request and should therefore be considered when conducting the environmental review.

Additionally, the applicants communicated to Staff after the May 5, 2020 Planning Board meeting that they no longer proposed a second vehicular access drive connecting from Glenn Avenue. This modification is significant enough to warrant a resubmission to the Planning Board. Staff has attached the resubmitted site plan to this resolution. This updated design is the version of the site plan that the Council must consider when responding to questions on the SEQR form.

The City Council must complete Part 2 and Part 3 if necessary, of the Short Environmental Assessment Form (EAF) and adopt the attached resolution before it may vote on the Zone Change Ordinance. The resolution states that the proposed zone change and construction of the new parking lot, as well as reconfiguring the existing lots will not have a significant impact on the environment.

RESOLUTION

Page 1 of 2

Finding That Changing the Approved Zoning Classification of VL-2 Gaffney Dr., Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and Changing the Approved Zoning Classification of 234-238 Glenn Ave., 419 Glenn Ave., 233 Stanton St. and M151 Carlton Ave., Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2 and the Construction of a Proposed 47-Space Parking Lot and Reconfiguration of the Existing Parking Lots at the Same Locations Will Not Have a Significant Impact on the Environment

Council Member COMPO, Sarah V.
 Council Member HENRY-WILKINSON, Ryan J.
 Council Member ROSHIA, Jesse C. P.
 Council Member RUGGIERO, Lisa A.
 Mayor SMITH, Jeffrey M.
 Total

YEA	NAY

Introduced by

WHEREAS the City Council of the City of Watertown, New York, has before it an Ordinance for the zone change application submitted by Howard Ganter of The ARC of Jefferson-St. Lawrence to change the approved zoning classification of VL-2 Gaffney Drive, Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and to change the approved zoning classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2, and

WHEREAS The ARC of Jefferson-St. Lawrence has also submitted a request for Site Plan Approval for a 47-space parking lot, a reconfiguration of the existing parking lot, including reconfigured traffic patterns, and associated site improvements, and

WHEREAS the City Council must evaluate all proposed actions submitted for its consideration in light of the State Environmental Review Act (SEQRA), and the regulations promulgated pursuant thereto, and

WHEREAS the approval of the zone change and the construction of the parking lot construction and reconfiguration would both constitute such an "Action," and

WHEREAS the City Council has determined that changing the zoning classification of these properties and the proposed parking lot construction and reconfiguration constitute an Unlisted Action as that term is defined by 6NYCRR Section 617.2 (ak), and

RESOLUTION

Page 2 of 2

Finding That Changing the Approved Zoning Classification of VL-2 Gaffney Dr., Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and Changing the Approved Zoning Classification of 234-238 Glenn Ave., 419 Glenn Ave., 233 Stanton St. and M151 Carlton Ave., Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2 and the Construction of a Proposed 47-Space Parking Lot and Reconfiguration of the Existing Parking Lots at the Same Locations Will Not Have a Significant Impact on the Environment

Council Member COMPO, Sarah V.
 Council Member HENRY-WILKINSON, Ryan J.
 Council Member ROSHIA, Jesse C. P.
 Council Member RUGGIERO, Lisa A.
 Mayor SMITH, Jeffrey M.

Total

YEA	NAY

WHEREAS there are no other involved agencies for SEQRA review as that term is defined in 6NYCRR Section 617.2 (s), and

WHEREAS to aid the City Council in its determination as to whether the proposed zone change and parking lot construction and reconfiguration will have a significant impact on the environment, the applicant has submitted Part 1 of a Short Environmental Assessment Form, a copy of which is attached and made part of this Resolution,

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Watertown, New York, that:

1. Based upon its examination of the Short Environmental Assessment Form and comparing the proposed action with the criteria set forth in 6NYCRR Section 617.7, no significant impact is known and the adoption of the zone change and the construction and reconfiguration of the parking lot will not have a significant impact on the environment.
2. The Mayor of the City of Watertown is authorized to execute the Environmental Assessment Form to the effect that the City Council is issuing a Negative Declaration under SEQRA.
3. This Resolution shall take effect immediately.

Seconded by

Short Environmental Assessment Form

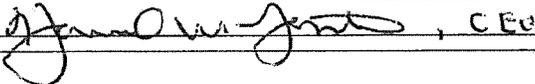
Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information				
Name of Action or Project: The ARC Jefferson-St. Lawrence Renovations				
Project Location (describe, and attach a location map): 420 Gaffney Drive, Watertown, NY 13601				
Brief Description of Proposed Action: Project includes the renovation of the existing building including the addition of new canopies at the north and south drop-offs; facade improvements, new wall mounted lighting, reconstruction of the north, south, and east parking lots, new storm sewer pipes and structures, a new water line, new landscaping, and new sidewalks. Requesting a zone change for parcels 8-18-303, 8-18-322, 8-19-207, and 8-19-206.100 from Residence C to Planned Development; also requesting a zone change for parcel 8-40-108 from Commercial to Planned Development.				
Name of Applicant or Sponsor: Howard Ganter		Telephone: 315.836.1230 E-Mail: hwganter@jeffrehabcenter.org		
Address: 380 Gaffney Drive				
City/PO: Watertown		State: NY	Zip Code: 13601	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NYSDEC- SPDES GENERAL PERMIT			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		5.47 acres		
b. Total acreage to be physically disturbed?		2 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		7.4 acres		
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland				

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p>	NO	YES
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p>	NO	YES
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: <u>The NYSDEC Environmental Mapper has identified Remediation Site 623009 as being within 2,000'</u> <u>The identified remediation site is approximately 1/4 mile away and downgradient from the ARC project site. See attached Environmental Site Remediation Database Search Details for more information.</u></p>	NO	YES
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Howard W. Gantzer</u> Date: <u>03/25/2020</u></p> <p>Signature: <u></u>, CEO</p>		

Project:

Date:

***Short Environmental Assessment Form
Part 2 - Impact Assessment***

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Project:

Date:

Short Environmental Assessment Form
Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

 Name of Lead Agency

 Date

 Print or Type Name of Responsible Officer in Lead Agency

 Title of Responsible Officer

 Signature of Responsible Officer in Lead Agency

 Signature of Preparer (if different from Responsible Officer)

PRINT FORM



Environmental Design & Research,
Landscape Architecture, Engineering & Environmental Services, D.P.C.

217 Montgomery Street, Suite 1000, Syracuse, New York 13202
P. 315.471.0688 • F. 315.471.1061 • www.edrdpc.com

letter of transmittal

To: Mr. Michael Lumbis
Planning and Community Development Director
City of Watertown Planning & Community
Development Department
245 Washington Street, Room 304
Watertown, New York 13601

EDR Project No: 19192

From: Rob Seeley

Date: May 20, 2020

Reference: The Arc Jefferson-St. Lawrence

We are sending: Attached

Sent Via: UPS

Comments:

Mike,

We have revised the site plans for the ARC Jefferson-St Lawrence Project in response to the comment letter received dated April 30, 2020 and comments received during the Planning Board meeting held on May 5, 2020. In response to comments that were received from the neighbors that live to the north of the ARC property, a 6' height fence has been added along the north property line and the northern driveway off Glenn Ave has been eliminated.

This package includes 4 sets of full-size documents and 12 sets of reduced size documents, for your review, as well as a letter responding to the comments made in the memorandum dated April 30th. Also enclosed, please find a purchase agreement letter for the lot on Glenn Ave where the east parking lot is and an authorization letter from the current owner of the parcel granting permission for The ARC to apply for the Site Plan approval and zone change. I will email you a link where you can download digital files for these documents. All other documents that were originally submitted previously for the project have not changed and therefore have not been included again in this package. Should you decide that additional hard copies of any of these documents are needed, please let me know and I will get them sent out to you.

With this submission, we are requesting to be included on the Planning Board agenda for the meeting scheduled on June 2 at 3 pm. Feel free to contact me with any questions regarding this submittal.

Thanks,
Rob Seeley
315.842.6149



Environmental Design & Research,
Landscape Architecture, Engineering & Environmental Services, D.P.C.
217 Montgomery Street, Suite 1000, Syracuse, New York 13202
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May 20, 2020

Mr. Michael Lumbis
Planning and Community Development Director
City of Watertown Planning & Community Development Department
245 Washington Street, Room 304
Watertown, New York 13601

**RE: The ARC of Jefferson-St. Lawrence
EDR Project No. 19192**

Dear Mike:

We have reviewed your memorandum of comments dated April 30, 2020 related to the materials submitted for the above referenced project and offer the following responses *in italics*:

1. The applicant must identify all proposed one-way drive aisles on the site plan.
The one-way drive aisles have been identified on the site plan.
2. The applicant must assemble all seven (7) subject parcels, as proposed, by way of a new metes and bounds description that is filed with the County Clerk.
The applicant will prepare a property survey to combine the seven parcels and file it with the County Clerk once the sale of the eastern parcel on Glenn Ave is finalized.
3. The applicant should consider increasing the topsoil depth to 2 ½ feet in both landscaped strips, including bump outs, along Gaffney Drive and Glenn Avenue and supply high quality topsoil throughout to ensure the long-term survival of the proposed trees.
This change has been made to the site plans.
4. The applicant must address all issues identified in the "Utilities and Hydrology" section of Planning Staff's April 30, 2020 memorandum to the Planning Board.
These changes have been made to the site plans.
5. The applicant must submit proof of ownership of 419 Glenn Avenue or be prepared to provide written permission from WGS Arsenal Housing Associates, LLC authorizing the applicant to apply for Site Plan Approval on the property owner's behalf.
A copy of the purchase agreement and an authorization letter from the current owner granting permission to proceed with Site Plan Approval and the Zone Change has been enclosed.

Mr. Michael Lumbis
May 20, 2020

6. The applicant must obtain the following permits, minimally, prior to demolition and construction: Building Permit, General City Permit, Sanitary Sewer Connection Permit, Water Supply Permit and a Certificate of Zoning Compliance.
The applicant will apply for these permits prior to commencement of demolition and construction activities.

Sincerely,



Robert M. Seeley, RLA
Senior Project Manager

WGS Arsenal Housing Associates, LLC
300 Jordan Road
Troy, NY 12180
518-687-7300

May 14, 2018

To Whom It May Concern;

Re: 419 Glenn Avenue
Watertown, New York

I, Michael J. Uccellini, as an authorized representative of WGS Arsenal Housing Association, LLC, the owner of 419 Glenn Avenue in the City of Watertown, NY, hereby give permission to Howard Ganter, of The ARC of Jefferson-St. Lawrence, to apply for a Site Plan Approval and a Zone Change on behalf of WGS Housing Arsenal Assoc LLC for the property identified above.

Should you require anything further please contact John Peterson.

Thank you.

Sincerely,

A handwritten signature in black ink that reads "Michael J. Uccellini". The signature is written in a cursive style with a large initial "M" and "U".

Michael J. Uccellini

REAL ESTATE PURCHASE AND SALE AGREEMENT

AGREEMENT, by and between

Jefferson Hostels, Inc.
380 Gaffney Dr.
Watertown, New York 13601

("Purchaser")

And

WGS Arsenal Housing
Associates, LLC
300 Jordan Road
Troy, New York 12180

("Seller")

as follows:

A. **PURPOSE:** This Agreement is intended as a formal understanding and binding contractual commitment for Seller to sell, and Purchaser to buy, certain property. The terms and conditions of that transaction, and the obligations and promises of the parties in connection with it, are as stated in this document.

B. **PROPERTY:** The property to be sold by Seller and acquired by Purchaser (collectively, the "Property") consists of:

1. **Real Estate:**

(a) An approximately .54 acre parcel of land situate on Glen Avenue in the City of Watertown, Jefferson County, New York, and identified on the latest completed assessment roll for the City of Watertown as tax parcel #8-18322.000 as show on the map attached here as Exhibit "A".

C. **PURCHASE PRICE, PAYMENT AND SECURITY:**

1. **Purchase Price:** The purchase price to be paid by Purchaser for the property is the sum of Nine Thousand Five Hundred and No/100 Dollars (\$9,500.00), exclusive of the adjustments, if any, noted in paragraph "F" below.

2. **Payment:** Purchaser will pay Seller the total purchase price for the property as follows:

(a) An earnest money deposit of Five Hundred and No/100 Dollars (\$500.00) upon execution and delivery of this Agreement, to be held by Purchaser's attorney, Barclay Damon LLP, and applied against the

purchase price at closing. Buyer's attorney will transfer deposit to Seller's attorney upon receipt of written instructions from Seller's attorney.

(B) The additional sum of Nine Thousand No/100 Dollars (\$9,000.00), in certified funds or bank check, plus the adjustments noted in paragraph "F" below, at the time of closing.

D. PRE-CLOSING MATIERS:

1. **Risk of Loss:** Risk of loss or damage to the property by fire, flood or any other cause until delivery of the deed, is assumed by Seller. Pending the closing and except as provided herein, Seller shall maintain the Property in its present condition and undertake such repairs and replacements as are necessary to satisfy this responsibility. If, prior to closing, all or a portion of the Property is destroyed, appropriated, stolen, lost or irreparably damaged (a "loss") and Seller is not reasonably able to restore or replace the loss, Purchaser shall have the option to either:

(a) Demand and receive a reduction of the purchase price payable under this Agreement in the amount of the reasonable value of the loss; or

(b) Cancel this Agreement, where the loss materially impairs Purchaser's anticipated use, operation or enjoyment of the Property, unless Seller agrees to, and does restore or replace the loss within a period of time acceptable to Purchaser.

2. **Title:** At least twenty (20) days before closing, Seller shall procure and deliver to Purchaser adequate proof of its title to the Property, including:

(c) A current, forty (40) year title search of the Real Estate, certified by an abstract company;

(d) Current, ten (10) year town/county/village real estate tax search, certified by an abstract company or by a public official;

(e) Copies of receipted real estate tax bills, sewer and water rent bills, and other assessments imposed upon the property within the thirteen (13) months preceding closing.

In the event that Seller is unable to deliver to Purchaser good and marketable title to the property, Seller shall have the right to cancel this agreement and have no further obligation to Purchaser, except to return to Purchaser the earnest money deposit.

3. **Survey:** An instrument survey, if requested or required by Purchaser, shall be paid for by Purchaser.
4. **Release:** The transaction shall be contingent upon the approval of Seller's lender to release the Property as security.
5. **Subdivision:** The transaction shall be contingent upon Purchaser obtaining any subdivision approval that may be required at Purchaser's expense.
6. **Inspections:** Purchaser shall be permitted to inspect the Property within forty-eight (48) hours of closing to verify its status and condition.

E. **CLOSING:** The transfer of Property ownership to Purchaser shall occur on or about May 15, 2020, or at such earlier time as Purchaser and Seller may agree. At closing there shall be delivered:

1. **By Seller:**

- (a) A duly executed warranty deed with lien covenant, conveying good and marketable title to the property free from all liens and encumbrances, other than: private deed restrictions and utility easements whose scope and application do not conflict with the present development and use of the Real Estate.
- (b) Releases or satisfactions of all liens affecting the Property.
- (c) Such collateral documents as are customarily furnished by the Seller in such transactions.

2. **By Purchaser:**

- (d) The funds due Seller at closing for the purchase of the Property, in the form of cash or a certified or bank cashier's check.
- (e) Such collateral documents as are customarily furnished by the Purchaser in such transactions.

F. **ADJUSTMENTS:** The aggregate purchase price due at closing shall be adjusted for prepaid real estate taxes. Except in consequence of early occupancy, these adjustments shall be determined by reference to the closing date.

G. **CLOSING AND OTHER COSTS:**

1. **Seller:** Seller assumes, and agrees to pay, the following closing charges and other costs:
 - (a) Fees for its attorney services in connection with:

- (i) the fulfillment of Seller's pre-closing obligations, and
- (ii) the preparation and delivery of the deed and other collateral documents to be furnished by Seller's attorney.

(b) Real Estate transfer taxes due or imposed in consequence of the sale of the Property to Purchaser, together with filing fees for the transfer tax return.

(c) Fees imposed to file and/or record any and all satisfactions, releases or terminations necessary to eliminate and extinguish any lien affecting the Property.

2. **Purchaser:** Purchaser assumes, and agrees to pay, the following charges:

(d) Deed recordation and assessment roll transfer report filing fees.

(e) Fees for attorney services in connection with examination and certification of title to the Property, preparation and delivery of closing documents to be furnished by Purchaser, and closing and document recording arrangements.

H. POSSESSION: Purchaser shall be entitled to possession of the Property, upon delivery and acceptance of the deed, which shall be effected immediately after closing.

I. BROKERAGE: Seller represents and warrants to Purchaser that it has not taken any action which would give rise to a claim for broker commissions or finder fees in connection with the transaction contemplated by this Agreement. Seller hereby indemnifies and holds Purchaser harmless in respect of any claim for recovery of a broker's commission or finder's fee because of any action, arrangement, or agreement taken or made by Seller.

J. MODIFICATION: This Agreement cannot be changed or modified except by:

3. **Writing:** A written instrument signed by both Seller and Purchaser; or

4. **Alteration:** Penned insertions and deletions upon this Agreement which are initialed and dated by both Seller and Purchaser.

K. ASSIGNMENT: Except as otherwise provided in it, this Agreement may not be assigned by Purchaser or Seller without the prior consent of the other.

L. EFFECT AND SCOPE: This Agreement is binding upon, and ensures to the benefit of, Seller and Purchaser and the respective representatives, successors, heirs or assigns of each. This Agreement supersedes all prior discussions and negotiations and replaces all prior understandings, verbal and/or otherwise, relative to the subject transaction.

M. **NOTICES AND CONSENTS:** Any notices, consents or demands referred to in this Agreement shall, except where otherwise indicated, be in writing and delivered to the proper recipient either personally or by mail.

N. **CAPTIONS:** The captions employed herein are for the sake of convenience only and do not limit or qualify the content, scope or intent of the specific provisions of this Agreement which they introduce.

O. **GOVERNING LAW:** This Agreement shall be interpreted and construed in accordance with the laws of the State of New York.

P. **COUNTERPARTS:** This Agreement may be signed in one or more identical counterpart copies, each of which shall then constitute an original, and fully binding, instrument. Facsimile or electronic (PDF) copies shall also constitute originals.

IN WITNESS WHEREOF, THIS AGREEMENT has been executed as of the dates hereinafter set forth.

SELLER:

WGS Arsenal Housing Associates, LLC
By Arsenal Funding Corporation, Managing Member

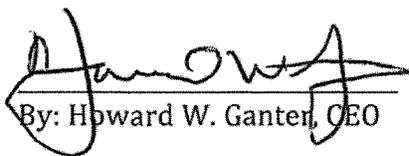
Date: 5/5/20

Name: Michael J. Uccellini
Title: President

PURCHASER:

Jefferson Hostels, Inc.

Date: 04/27/2020


By: Howard W. Ganter, CEO

Res No. 12

May 26, 2020

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planning and Community Development Director

Subject: Finding That Changing the Approved Zoning Classification of 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence B to Neighborhood Business Will Not Have a Significant Impact on the Environment

At its May 5, 2020 meeting, the City Planning Board adopted a motion recommending that the City Council change the approved zoning classification of 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence B to Neighborhood Business. The City Council has scheduled a public hearing on the request for Monday, June 1, 2020, at 7:30 p.m.

As you will note in Part 1 of the attached Short Environmental Assessment Form (EAF), the description of the proposed project includes the zone change as well as proposed future redevelopment, consisting of mixed use retail, professional services and apartment space. The proposed redevelopment would require a Special Use Permit (for the apartments) and Site Plan Approval, both of which would also necessitate a SEQRA review.

In order to avoid segmentation of the SEQRA review, the Council must consider the zone change along with other planned nearby or interrelated projects. Proposals or parts of proposals that are related to each other closely enough to be, in effect, a single course of action should be evaluated as one whole action. Although the final design and layout for the proposed redevelopment has not yet been completed, it is closely related to the zone change request and should therefore be considered when conducting the environmental review.

The City Council must complete Part 2 and Part 3 if necessary, of the Short Environmental Assessment Form (EAF) and adopt the attached resolution before it may vote on the Zone Change Ordinance. The resolution states that the proposed zone change and construction of the future mixed use retail, professional services and apartment building and parking lot will not have a significant impact on the environment.

RESOLUTION

Page 1 of 2

Finding That Changing the Approved Zoning Classification of 1348, 1352, and 1356 Washington St., Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence C to Neighborhood Business Will Not Have a Significant Impact on the Environment

Council Member COMPO, Sarah V.

Council Member HENRY-WILKINSON, Ryan J.

Council Member ROSHIA, Jesse C. P.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total

YEA	NAY

Introduced by

WHEREAS the City Council of the City of Watertown, New York, has before it an Ordinance for the zone change application submitted by Michael Altieri, P.E., of BCA Architects & Engineers, on behalf of Sundus and Sarah, LLC, to change the approved zoning classification of 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence B to Neighborhood Business, and

WHEREAS the applicant’s clients wish to redevelop the subject parcels into a future mixed-use retail, professional services and apartment space, and

WHEREAS the City Council must evaluate all proposed actions submitted for its consideration in light of the State Environmental Review Act (SEQRA), and the regulations promulgated pursuant thereto, and

WHEREAS the approval of the Zone Change, as well as a Special Use Permit and Site Plan Approval for the proposed future mixed-use development, consisting of retail, professional services, apartment space and parking would all constitute such an “Action,” and

WHEREAS the City Council has determined that changing the zoning classification of this property and the proposed future mixed-use retail, professional services and apartment space constitute an Unlisted Action as that term is defined by 6NYCRR Section 617.2 (ak), and

WHEREAS there are no other involved agencies for SEQRA review as that term is defined in 6NYCRR Section 617.2 (s), and

WHEREAS to aid the City Council in its determination as to whether the proposed zone change and proposed future development will have a significant impact on the

RESOLUTION

Page 2 of 2

Finding That Changing the Approved Zoning Classification of 1348, 1352, and 1356 Washington St., Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence C to Neighborhood Business Will Not Have a Significant Impact on the Environment

Council Member COMPO, Sarah V.

Council Member HENRY-WILKINSON, Ryan J.

Council Member ROSHIA, Jesse C. P.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total

YEA	NAY

environment, Part 1 of a Short Environmental Assessment Form has been prepared by the applicant, a copy of which is attached and made part of this Resolution,

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Watertown, New York, that:

1. Based upon its examination of the Short Environmental Assessment Form and comparing the proposed action with the criteria set forth in 6NYCRR Section 617.7, no significant impact is known and the adoption of the zone change and the proposed future mixed-use development, consisting of mixed-use retail, professional services, apartment space and parking will not have a significant impact on the environment.
2. The Mayor of the City of Watertown is authorized to execute the Environmental Assessment Form to the effect that the City Council is issuing a Negative Declaration under SEQRA.
3. This Resolution shall take effect immediately.

Seconded by

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information				
Name of Action or Project: Sundus and Sarah LLC - Zone Change Application and Special Use Permit Application				
Project Location (describe, and attach a location map): Parcel numbers 14-21-106, 14-21-107 and 14-21-108 south of 1340 Washington Street, please see survey map attached.				
Brief Description of Proposed Action: The applicant is requesting that parcel numbers 14-21-106, 14-21-107 and 14-21-108 currently zoned 'Residence C' be combined and rezoned as 'Neighborhood Business' for the purposes of development of a future mixed use retail, professional services and apartment space. The applicant is also requesting the combination of these uses be allowed by means of a Special Use Permit.				
Name of Applicant or Sponsor: Sundus and Sarah LLC.		Telephone: (315) 256-1035 E-Mail: sarahlatif@hotmail.com		
Address: 1340 Washington Street				
City/PO: Watertown		State: New York	Zip Code: 13601	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? Note - See Cover Letter Attached If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>	YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland				

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Michael D. Altieri, P.E.</u> Date: <u>4/15/2020</u></p> <p>Signature: _____</p>		

Project:

Date:

***Short Environmental Assessment Form
Part 2 - Impact Assessment***

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Project:

Date:

Short Environmental Assessment Form
Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

 Name of Lead Agency Date

 Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer

 Signature of Responsible Officer in Lead Agency Signature of Preparer (if different from Responsible Officer)

Public Hearing – 7:30 p.m.

May 26, 2020

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planning and Community Development Director

Subject: Changing the Approved Zoning Classification of VL-2 Gaffney Drive, Parcel Number 8-40-108.000 from Commercial to Planned Development District #2 and to change the approved zoning classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2

A request has been submitted by Howard Ganter of The ARC of Jefferson-St. Lawrence for the above subject zone change request. The Planning Board reviewed the request at its May 5, 2020 meeting and adopted a motion recommending that City Council approve the zone change request as submitted.

The Jefferson County Planning Board considered the zone change request at its meeting held on May 26, 2020, pursuant to General Municipal Law Section 239-m, and adopted a motion that the project does not have any significant county-wide or inter-municipal issues and is of local concern only.

Attached is the zone change application, the Staff Report prepared for the Planning Board, an excerpt from their meeting minutes, and an existing zoning map. The complete application package can also be found in the online version of the City Council agenda.

The City Council has scheduled a public hearing on the zone change ordinance for 7:30 p.m. on Monday, June 1, 2020. After the public hearing, the City Council must approve the SEQRA resolution before voting on the attached ordinance.

ORDINANCE

Page 1 of 2

Changing the Approved Zoning Classification of VL-2 Gaffney Drive, Parcel Number 8-40-108.000 from Commercial to Planned Development District #2 and to Change the Approved Zoning Classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2

Council Member COMPO, Sarah V.
 Council Member HENRY-WILKINSON, Henry J.
 Council Member ROSHIA, Jesse C. P.
 Council Member RUGGIERO, Lisa A.
 Mayor SMITH, Jeffrey M.
 Total

YEA	NAY

Introduced by

Council Member Ryan J. Henry-Wilkinson

BE IT ORDAINED where Howard Ganter of The ARC of Jefferson-St. Lawrence has made an application by petition filed with the City Clerk, pursuant to Section 83 of the New York General City Law to change the approved zoning classification of VL-2 Gaffney Drive, Parcel Number 8-40-108.000 from Commercial to Planned Development District #2 and to change the approved zoning classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2, as shown on plans submitted to the City Planning and Community Development Department on April 23, 2020, and

WHEREAS the Planning Board of the City of Watertown considered the zone change request at its May 5, 2020 meeting and adopted a motion recommending that City Council approve the zone change, and

WHEREAS City Planning Staff referred the proposed zone change to the Jefferson County Planning Board, pursuant to New York State General Municipal Law Section 239-m, and

WHEREAS a public hearing was held on the proposed zone change on June 1, 2020, after due public notice, and

WHEREAS the City Council has made a declaration of Negative Findings of the impacts of the proposed zone change according to the requirements of SEQRA, and

WHEREAS the City Council deems it in the best interest of the citizens of the City of Watertown to approve the requested zone change,

NOW THEREFORE BE IT ORDAINED that the approved zoning classification shall be changed for VL-2 Gaffney Drive, Parcel Number 8-40-108.000 from Commercial to Planned Development District #2 and the approved zoning classification shall be changed for 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue,

ORDINANCE

Page 2 of 2

Changing the Approved Zoning Classification of VL-2 Gaffney Drive, Parcel Number 8-40-108.000 from Commercial to Planned Development District #2 and to Change the Approved Zoning Classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2

Council Member COMPO, Sarah V.
 Council Member HENRY-WILKINSON, Henry J.
 Council Member ROSHIA, Jesse C. P.
 Council Member RUGGIERO, Lisa A.
 Mayor SMITH, Jeffrey M.
 Total

YEA	NAY

Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2, as shown on plans submitted to the City Planning and Community Development Department on April 23, 2020, and

BE IT FURTHER ORDAINED that the Zoning Map of the City of Watertown shall be amended to reflect the zone change, and

BE IT FURTHER ORDAINED this amendment to the Zoning Ordinance of the City of Watertown shall take effect as soon as it is published once in the official newspaper of the City of Watertown, or otherwise printed as the City Manager directs.

Seconded by



Environmental Design & Research,
Landscape Architecture, Engineering & Environmental Services, D.P.C.
217 Montgomery Street, Suite 1000, Syracuse, New York 13202
P. 315.471.0688 • F. 315.471.1061 • www.edrdpc.com

April 22, 2020

Honorable Mayor and City Council
Engineering Department, Room 305
245 Washington Street
Watertown, NY 13601

RE: Request for Zone Change

Dear Honorable Mayor and City Council:

On behalf of The ARC of Jefferson-St. Lawrence (Applicant), please accept this letter as application for a request for zone change for the parcels listed below located in the City of Watertown. These changes are being requested so that the seven contiguous parcels owned by the applicant can be combined into one single parcel and so that the proposed site/parking lot improvements are compatible with the zoning classification. A Zone Change Request Map has been included in this submittal package outlining the subject parcels of the requested changes.

Requesting a Zone change from Residence C to Planning Development for these four parcels:

- Tax ID 8-18-322.000*
- Tax ID 8-18-303.000
- Tax ID 8-19-207
- Tax ID 8-19-206.100

*Applicant is in the process of purchasing this lot; closing is scheduled to occur on May 1, 2020.

Requesting a Zone change from Commercial to Planning Development for this parcel:

- Tax ID 8-40-108

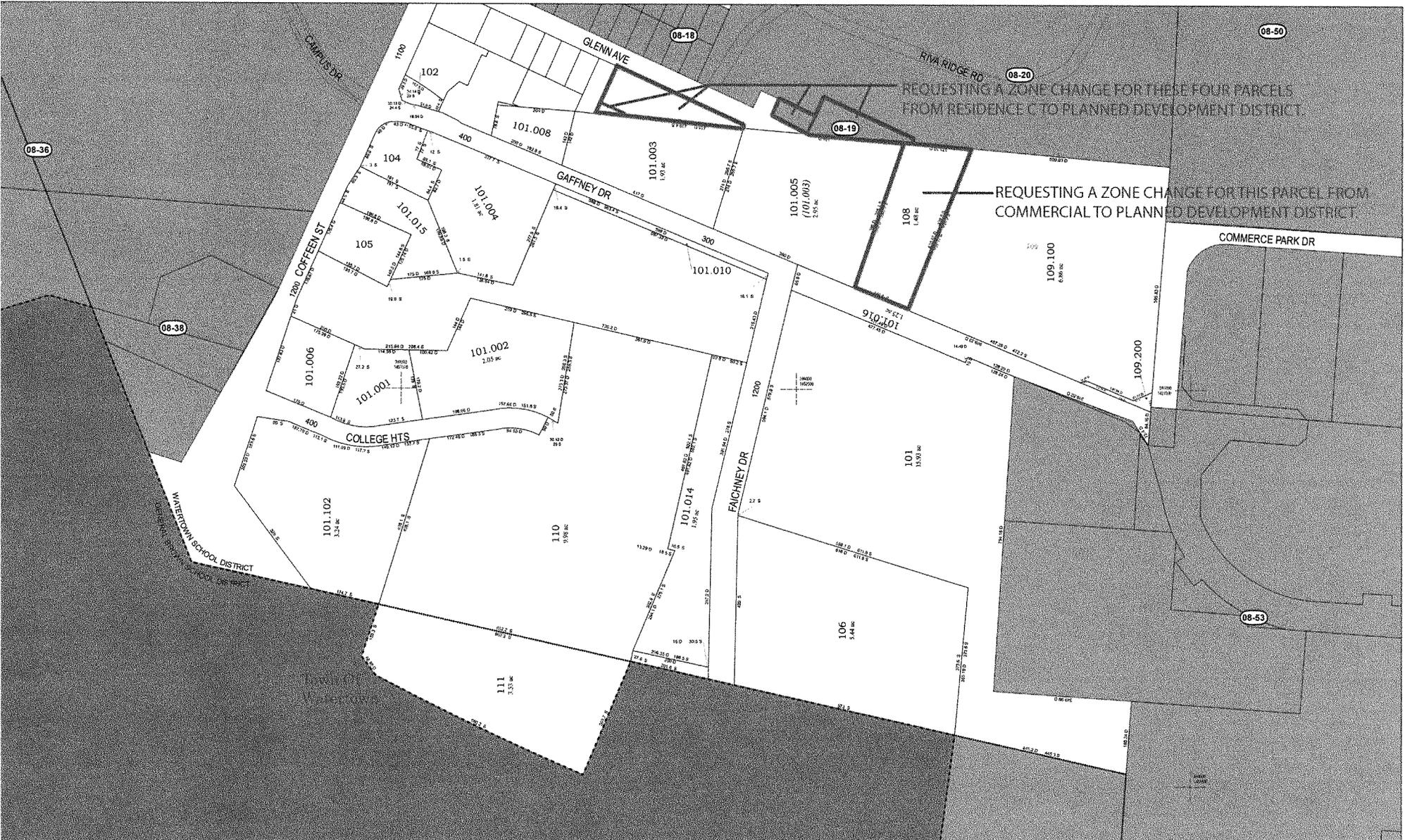
Applicant's contact information:

Mr. Howard Ganter
380 Gaffney Drive
Watertown, NY 13601
hwganter@jeffrehabcenter.org

A Short Environmental Assessment Form, a metes and bounds survey map, and proposed site plans have been included in this application package for your review in consideration of this request. Feel free to contact me or the applicant if you need any additional information or have any questions regarding this request.

Sincerely,

Robert M. Seeley, RLA
Senior Project Manager



Prepared by
City of Watertown GIS
 For
City of Watertown
 Assessment Department

For Tax Purposes Only
 Not to be Used for Conveyance

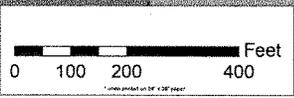
NAD 83 STATE PLANE
 CENTRAL ZONE 18 FEET

Parcel ID	Area	Shape
101.003	1.91 AC	101.003
101.004	1.81 AC	101.004
101.005	2.95 AC	101.005
101.010	3.00 AC	101.010
101.008	1.91 AC	101.008
101.002	2.05 AC	101.002
101.001	1.81 AC	101.001
101.006	1.81 AC	101.006
101.102	3.34 AC	101.102
110	3.98 AC	110
111	3.55 AC	111
106	5.44 AC	106
101	13.98 AC	101
108	1.48 AC	108
109.100	6.06 AC	109.100

ZONE CHANGE REQUEST MAP

APRIL 22, 2020

- Property Line
- Historic Property Line
- Battering Outline
- Railroad
- City Boundary
- School District Boundary
- Parcel ID
- Appearance ID
- Indicates property controlled parcels

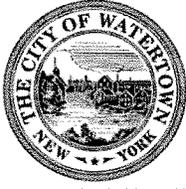


Tax Map **Section 08 Block 40**

City of Watertown

Jefferson County, NY

Printed Date: 7/26/2019



MEMORANDUM

CITY OF WATERTOWN, NEW YORK
OFFICE OF PLANNING AND COMMUNITY DEVELOPMENT
245 WASHINGTON STREET, ROOM 304, WATERTOWN, NY 13601
PHONE: 315-785-7740 – FAX: 315-785-7829

TO: Planning Board Members

FROM: Michael A. Lumbis, Planning and Community Development Director

SUBJECT: Zone Change – VL-2 Gaffney Drive, 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue

DATE: April 30, 2020

Request: To change the approved zoning classification of VL-2 Gaffney Drive, Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and to change the approved zoning classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2.

Applicant: Howard Ganter of the ARC of Jefferson-Saint Lawrence

Owner(s): Jefferson Hostels, Inc., WGS Housing Arsenal Associates, LLC and The ARC of Jefferson-St. Lawrence

SEQRA: Unlisted

County review: Yes

Comments: The applicant is concurrently applying for Site Plan Approval for a parking lot reconfiguration occurring primarily on two of the subject parcels. However, all five parcels, along with 420 Gaffney Drive (which itself is actually two parcels), collectively make up the campus of The ARC of Jefferson-St. Lawrence. Collectively, these seven parcels span three different Zoning districts. The applicant seeks to create uniform zoning by assimilating all of the parcels into Planned Development District #2, and then assemble them into a single property.

A map of the proposed zone change, prepared by City GIS Staff, is attached for your review.

Comprehensive Plan: The adopted Comprehensive Plan recommends the site for Interstate Commercial land use. The Interstate Commercial designation was added to the Future Land Use Map in the Comprehensive Plan out of the realization that this part of the is City largely developed around the two interchanges with I-81 and has such, assumes a different character than traditional arterial or collector road development in other parts of the City. Regional destinations occupying large footprints are a feature of this land use designation.

Planned Development District # 2: Planned Development District # 2 was originally created in 1968 and is located in the general area along Gaffney Drive, Faichney Drive and Coffeen Street. It consists of several parcels with a variety of allowed uses that comprise the mixed use district including multi-family residential, light industrial, retail, professional offices and the ARC of Jefferson-St. Lawrence (formerly JRC).

Ownership/Permissions: The applicant's survey depicts one of the subject parcels, 419 Glenn Avenue, as still owned by WGS Arsenal Housing Associates, LLC, which owns the adjacent Parkstead Watertown at City Center apartment complex. The applicant indicates in his cover letter that The ARC of Jefferson-St. Lawrence is in the process of purchasing this parcel and expects to close on the property on Friday, May 1, 2020. This closing date is after the time of this writing, but before the Planning Board meeting.

The applicant must show proof of ownership at the meeting. If for whatever reason, closing does not occur prior to the Planning Board meeting, then the applicant should be prepared to provide written permission from WGS Arsenal Housing Associates, LLC authorizing the applicant to apply for a zone change on the property owner's behalf.

SEQR: The applicant has submitted a State Environmental Quality Review (SEQR) Short Environmental Assessment Form (EAF) as part of the application for the zone change. The City Council, as the lead agency, will complete Part 2 of the EAF. As discussed in the site plan memo, the Council must consider the site plan and zone change as one action.

cc: City Council Members

Howard Ganter, The ARC of Jefferson-St. Lawrence
Patrick Currier Jr., RA, C&S Companies
Robert M. Seeley, Environmental Design & Research
Ben Arquitt, Civil Engineer I

ZONE CHANGE

**VL-2 GAFFNEY DRIVE, PARCEL NUMBER 8-40-108.000
COMMERCIAL TO PLANNED DEVELOPMENT DISTRICT #2**

AND

**234-238 and 419 GLENN AVENUE, 233 STANTON STREET and M151 CARLTON
AVENUE, PARCEL NUMBERS 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000
RESIDENCE C TO DOWNTOWN**

The Planning Board then considered a request submitted by Howard Ganter of The ARC of Jefferson-St. Lawrence to change the approved zoning classification of VL-2 Gaffney Drive, Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and to change the approved zoning classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2.

Mr. Coburn noted that this was directly related to the previous request, and the purpose was to assemble multiple parcels across multiple zoning districts into a single, uniformly zoned parcel. He then asked if there were any questions.

Ms. Capone asked if the zone change was consistent with the recommended Interstate Commercial land use in the City's newly adopted Comprehensive Plan. Mr. Urda replied in the affirmative.

Mr. Babcock then moved to recommend that City Council approve the request submitted by Howard Ganter of The ARC of Jefferson-St. Lawrence to change the approved zoning classification of VL-2 Gaffney Drive, Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and to change the approved zoning classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2.

Mr. Katzman seconded the motion and all voted in favor.

Ms. Capone then stated that she had to leave the meeting.



Environmental Design & Research,
Landscape Architecture, Engineering & Environmental Services, D.P.C.
217 Montgomery Street, Suite 1000, Syracuse, New York 13202
P. 315.471.0688 • F. 315.471.1061 • www.edrdpc.com

April 22, 2020

Honorable Mayor and City Council
Engineering Department, Room 305
245 Washington Street
Watertown, NY 13601

RE: Request for Zone Change

Dear Honorable Mayor and City Council:

On behalf of The ARC of Jefferson-St. Lawrence (Applicant), please accept this letter as application for a request for zone change for the parcels listed below located in the City of Watertown. These changes are being requested so that the seven contiguous parcels owned by the applicant can be combined into one single parcel and so that the proposed site/parking lot improvements are compatible with the zoning classification. A Zone Change Request Map has been included in this submittal package outlining the subject parcels of the requested changes.

Requesting a Zone change from Residence C to Planning Development for these four parcels:

- Tax ID 8-18-322.000*
- Tax ID 8-18-303.000
- Tax ID 8-19-207
- Tax ID 8-19-206.100

*Applicant is in the process of purchasing this lot; closing is scheduled to occur on May 1, 2020.

Requesting a Zone change from Commercial to Planning Development for this parcel:

- Tax ID 8-40-108

Applicant's contact information:

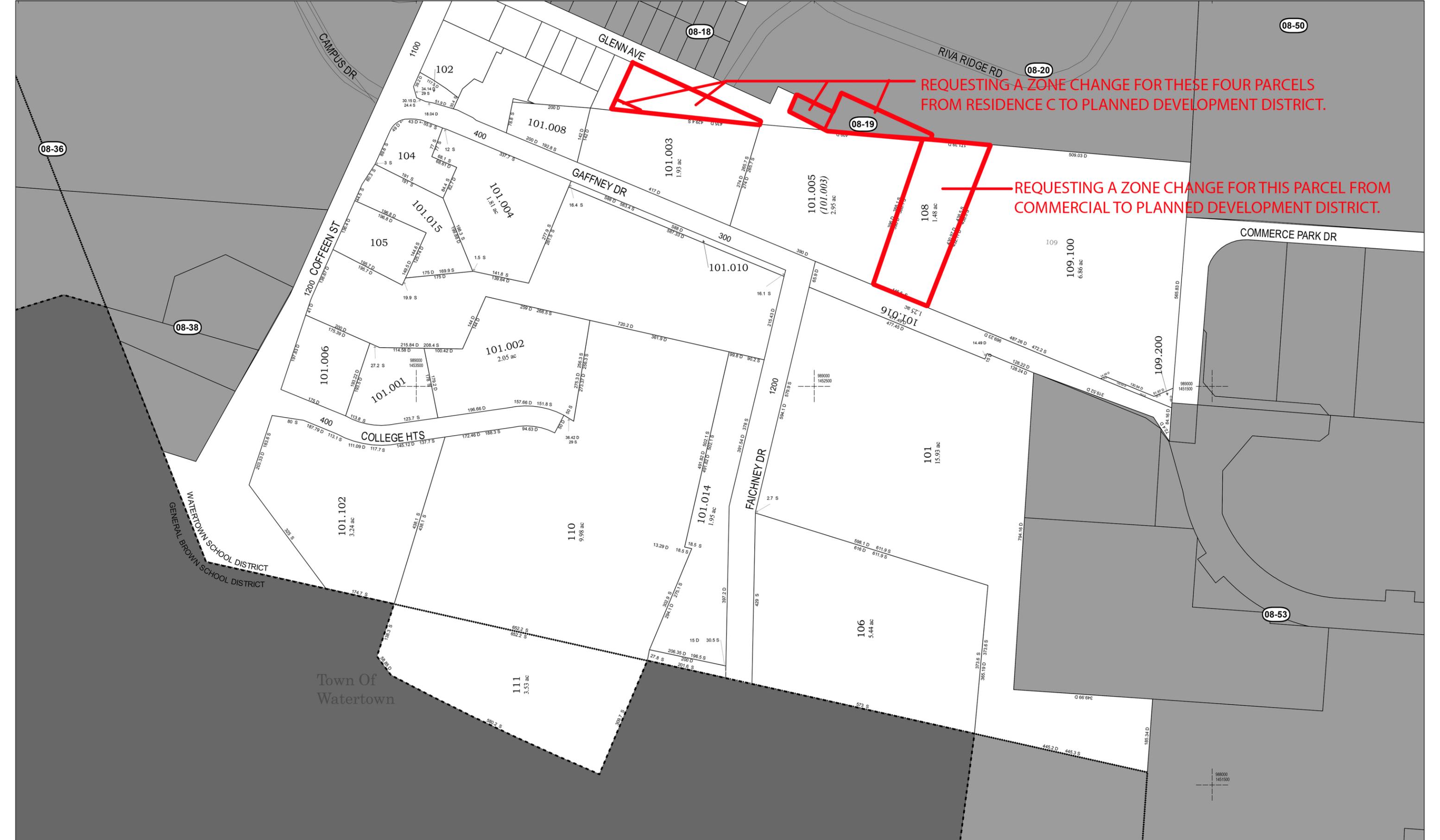
Mr. Howard Ganter
380 Gaffney Drive
Watertown, NY 13601
hwganter@jeffrehabcenter.org

A Short Environmental Assessment Form, a metes and bounds survey map, and proposed site plans have been included in this application package for your review in consideration of this request. Feel free to contact me or the applicant if you need any additional information or have any questions regarding this request.

Sincerely,

A handwritten signature in black ink that reads "Robert M. Seeley".

Robert M. Seeley, RLA
Senior Project Manager



REQUESTING A ZONE CHANGE FOR THESE FOUR PARCELS FROM RESIDENCE C TO PLANNED DEVELOPMENT DISTRICT.

REQUESTING A ZONE CHANGE FOR THIS PARCEL FROM COMMERCIAL TO PLANNED DEVELOPMENT DISTRICT.

Prepared by
City of Watertown GIS
For
City of Watertown
Assessment Department

For Tax Purposes Only
Not to be Used for Conveyance

NAD 83 STATE PLANE
CENTRAL ZONE, US FEET

Print Key	Date
8-40-109.000	03/05/2018

ZONE CHANGE REQUEST MAP
APRIL 22, 2020

- Property Line
- Historic Property Line
- Building Outline
- Railroad
- City Boundary
- School District Boundary
- Coordinate Grid
- Parcel ID
- Assessment ID (indicates informally combined parcels)



Tax Map
City of Watertown
Jefferson County, NY
Section 08 Block 40
Printed Date: 7/26/2019

Short Environmental Assessment Form

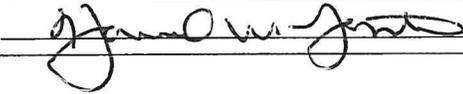
Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: The ARC Jefferson-St. Lawrence Renovations			
Project Location (describe, and attach a location map): 420 Gaffney Drive, Watertown, NY 13601			
Brief Description of Proposed Action: Project includes the renovation of the existing building including the addition of new canopies at the north and south drop-offs; facade improvements, new wall mounted lighting, reconstruction of the north, south, and east parking lots, new storm sewer pipes and structures, a new water line, new landscaping, and new sidewalks. Requesting a zone change for parcels 8-18-303, 8-18-322, 8-19-207, and 8-19-206.100 from Residence C to Planned Development; also requesting a zone change for parcel 8-40-108 from Commercial to Planned Development.			
Name of Applicant or Sponsor: Howard Ganter		Telephone: 315.836.1230 E-Mail: hwganter@jeffrehabcenter.org	
Address: 380 Gaffney Drive			
City/PO: Watertown		State: NY	Zip Code: 13601
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NYSDEC- SPDES GENERAL PERMIT			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		5.47 acres	
b. Total acreage to be physically disturbed?		2 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		7.4 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <u>The NYSDEC Environmental Mapper has identified Remediation Site 623009 as being within 2,000'. The identified remediation site is approximately 1/4 mile away and downgradient from the ARC project site. See attached Environmental Site Remediation Database Search Details for more information.</u></p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p>		
<p>Applicant/sponsor name: <u>Howard W. GANTER</u></p>		<p>Date: <u>03/25/2020</u></p>
<p>Signature: <u> , CEO</u></p>		

Project:

Date:

***Short Environmental Assessment Form
Part 2 - Impact Assessment***

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing:		
a. public / private water supplies?		
b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Project:

Date:

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)



MEMORANDUM

CITY OF WATERTOWN, NEW YORK
OFFICE OF PLANNING AND COMMUNITY DEVELOPMENT
245 WASHINGTON STREET, ROOM 304, WATERTOWN, NY 13601
PHONE: 315-785-7740 – FAX: 315-785-7829

TO: Planning Board Members

FROM: Michael A. Lumbis, Planning and Community Development Director

SUBJECT: Zone Change – VL-2 Gaffney Drive, 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue

DATE: April 30, 2020

Request: To change the approved zoning classification of VL-2 Gaffney Drive, Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and to change the approved zoning classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2.

Applicant: Howard Ganter of the ARC of Jefferson-Saint Lawrence

Owner(s): Jefferson Hostels, Inc., WGS Housing Arsenal Associates, LLC and The ARC of Jefferson-St. Lawrence

SEQRA: Unlisted

County review: Yes

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Comprehensive Plan: The adopted Comprehensive Plan recommends the site for Interstate Commercial land use. The Interstate Commercial designation was added to the Future Land Use Map in the Comprehensive Plan out of the realization that this part of the City is largely developed around the two interchanges with I-81 and has such, assumes a different character than traditional arterial or collector road development in other parts of the City. Regional destinations occupying large footprints are a feature of this land use designation.

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SEQR: The applicant has submitted a State Environmental Quality Review (SEQR) Short Environmental Assessment Form (EAF) as part of the application for the zone change. The City Council, as the lead agency, will complete Part 2 of the EAF. As discussed in the site plan memo, the Council must consider the site plan and zone change as one action.

cc: City Council Members

Howard Ganter, The ARC of Jefferson-St. Lawrence

Patrick Currier Jr., RA, C&S Companies

Robert M. Seeley, Environmental Design & Research

Ben Arquitt, Civil Engineer I

ZONE CHANGE

**VL-2 GAFFNEY DRIVE, PARCEL NUMBER 8-40-108.000
COMMERCIAL TO PLANNED DEVELOPMENT DISTRICT #2**

AND

**234-238 and 419 GLENN AVENUE, 233 STANTON STREET and M151 CARLTON
AVENUE, PARCEL NUMBERS 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000
RESIDENCE C TO DOWNTOWN**

The Planning Board then considered a request submitted by Howard Ganter of The ARC of Jefferson-St. Lawrence to change the approved zoning classification of VL-2 Gaffney Drive, Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and to change the approved zoning classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2.

Mr. Coburn noted that this was directly related to the previous request, and the purpose was to assemble multiple parcels across multiple zoning districts into a single, uniformly zoned parcel. He then asked if there were any questions.

Ms. Capone asked if the zone change was consistent with the recommended Interstate Commercial land use in the City's newly adopted Comprehensive Plan. Mr. Urda replied in the affirmative.

Mr. Babcock then moved to recommend that City Council approve the request submitted by Howard Ganter of The ARC of Jefferson-St. Lawrence to change the approved zoning classification of VL-2 Gaffney Drive, Parcel Number 8-140-108.000 from Commercial to Planned Development District #2 and to change the approved zoning classification of 234-238 Glenn Avenue, 419 Glenn Avenue, 233 Stanton Street and M151 Carlton Avenue, Parcel Numbers 8-19-206.100, 8-19-207.100, 8-18-322.000 and 8-18-303.000 from Residence C to Planned Development District #2.

Mr. Katzman seconded the motion and all voted in favor.

Ms. Capone then stated that she had to leave the meeting.

Legend

-  REQUESTED ZONE CHANGE
-  RIVER DEVELOPMENT DISTRICT
-  DOWNTOWN CORE OVERLAY
-  Open Space and Recreation
-  DOWNTOWN
-  RESIDENCE A
-  RESIDENCE B
-  RESIDENCE C
-  WATERFRONT
-  LIMITED BUSINESS
-  NEIGHBORHOOD BUSINESS
-  COMMERCIAL
-  HEALTH SERVICES
-  LIGHT INDUSTRY
-  HEAVY INDUSTRY
-  PLANNED DEVELOPMENT



CITY OF WATERTOWN, NEW YORK
GIS DEPARTMENT



ROOM 305B, MUNICIPAL BUILDING
245 WASHINGTON STREET
WATERTOWN, NEW YORK 13601

TEL: (315) 785-7793

Drawn By: V. Robenski

Date: 4/27/2020

Requested By: G. Urda

Date:

Scale: As Noted

Map Number:

Revision:	Description of Revision:	Date:	By:



Project:

ZONE CHANGE MAP

(Commercial & Residence C to Planned Development District #2)

Title: VL-2 Gaffney Dr, 234-238 & 419 Glenn Ave,
233 Stanton & M151 Carlton Ave
(8-18-303.000, 8-18-322.000, 8-19-206.100, 8-19-207.000, 8-40-108.000)



Environmental Design & Research,
Landscape Architecture, Engineering & Environmental Services, D.P.C.
217 Montgomery Street, Suite 1000, Syracuse, New York 13202
P. 315.471.0688 • F. 315.471.1061 • www.edrdpc.com

letter of transmittal

To: Mr. Michael Lumbis
Planning and Community Development Director
City of Watertown Planning & Community
Development Department
245 Washington Street, Room 304
Watertown, New York 13601

EDR Project No: 19192

From: Rob Seeley

Date: May 20, 2020

Reference: The Arc Jefferson-St. Lawrence

We are sending: Attached

Sent Via: UPS

Comments:

Mike,

We have revised the site plans for the ARC Jefferson-St Lawrence Project in response to the comment letter received dated April 30, 2020 and comments received during the Planning Board meeting held on May 5, 2020. In response to comments that were received from the neighbors that live to the north of the ARC property, a 6' height fence has been added along the north property line and the northern driveway off Glenn Ave has been eliminated.

This package includes 4 sets of full-size documents and 12 sets of reduced size documents, for your review, as well as a letter responding to the comments made in the memorandum dated April 30th. Also enclosed, please find a purchase agreement letter for the lot on Glenn Ave where the east parking lot is and an authorization letter from the current owner of the parcel granting permission for The ARC to apply for the Site Plan approval and zone change. I will email you a link where you can download digital files for these documents. All other documents that were originally submitted previously for the project have not changed and therefore have not been included again in this package. Should you decide that additional hard copies of any of these documents are needed, please let me know and I will get them sent out to you.

With this submission, we are requesting to be included on the Planning Board agenda for the meeting scheduled on June 2 at 3 pm. Feel free to contact me with any questions regarding this submittal.

Thanks,
Rob Seeley
315.842.6149



Environmental Design & Research,
Landscape Architecture, Engineering & Environmental Services, D.P.C.
217 Montgomery Street, Suite 1000, Syracuse, New York 13202
P. 315.471.0688 • F. 315.471.1061 • www.edrdpc.com

May 20, 2020

Mr. Michael Lumbis
Planning and Community Development Director
City of Watertown Planning & Community Development Department
245 Washington Street, Room 304
Watertown, New York 13601

**RE: The ARC of Jefferson-St. Lawrence
EDR Project No. 19192**

Dear Mike:

We have reviewed your memorandum of comments dated April 30, 2020 related to the materials submitted for the above referenced project and offer the following responses *in italics*:

1. The applicant must identify all proposed one-way drive aisles on the site plan.
The one-way drive aisles have been identified on the site plan.
2. The applicant must assemble all seven (7) subject parcels, as proposed, by way of a new metes and bounds description that is filed with the County Clerk.
The applicant will prepare a property survey to combine the seven parcels and file it with the County Clerk once the sale of the eastern parcel on Glenn Ave is finalized.
3. The applicant should consider increasing the topsoil depth to 2 ½ feet in both landscaped strips, including bump outs, along Gaffney Drive and Glenn Avenue and supply high quality topsoil throughout to ensure the long-term survival of the proposed trees.
This change has been made to the site plans.
4. The applicant must address all issues identified in the “Utilities and Hydrology” section of Planning Staff’s April 30, 2020 memorandum to the Planning Board.
These changes have been made to the site plans.
5. The applicant must submit proof of ownership of 419 Glenn Avenue or be prepared to provide written permission from WGS Arsenal Housing Associates, LLC authorizing the applicant to apply for Site Plan Approval on the property owner’s behalf.
A copy of the purchase agreement and an authorization letter from the current owner granting permission to proceed with Site Plan Approval and the Zone Change has been enclosed.

Mr. Michael Lumbis
May 20, 2020

6. The applicant must obtain the following permits, minimally, prior to demolition and construction: Building Permit, General City Permit, Sanitary Sewer Connection Permit, Water Supply Permit and a Certificate of Zoning Compliance.
The applicant will apply for these permits prior to commencement of demolition and construction activities.

Sincerely,



Robert M. Seeley, RLA
Senior Project Manager

WGS Arsenal Housing Associates, LLC
300 Jordan Road
Troy, NY 12180
518-687-7300

May 14, 2018

To Whom It May Concern;

Re: 419 Glenn Avenue
Watertown, New York

I, Michael J. Uccellini, as an authorized representative of WGS Arsenal Housing Association, LLC, the owner of 419 Glenn Avenue in the City of Watertown, NY, hereby give permission to Howard Ganter, of The ARC of Jefferson-St. Lawrence, to apply for a Site Plan Approval and a Zone Change on behalf of WGS Housing Arsenal Assoc LLC for the property identified above.

Should you require anything further please contact John Peterson.

Thank you.

Sincerely,

A handwritten signature in cursive script that reads "Michael J. Uccellini".

Michael J. Uccellini

REAL ESTATE PURCHASE AND SALE AGREEMENT

AGREEMENT, by and between

Jefferson Hostels, Inc.
380 Gaffney Dr.
Watertown, New York 13601

("Purchaser")

And

WGS Arsenal Housing
Associates, LLC
300 Jordan Road
Troy, New York 12180

("Seller")

as follows:

A. **PURPOSE:** This Agreement is intended as a formal understanding and binding contractual commitment for Seller to sell, and Purchaser to buy, certain property. The terms and conditions of that transaction, and the obligations and promises of the parties in connection with it, are as stated in this document.

B. **PROPERTY:** The property to be sold by Seller and acquired by Purchaser (collectively, the "Property") consists of:

1. **Real Estate:**

(a) An approximately .54 acre parcel of land situate on Glen Avenue in the City of Watertown, Jefferson County, New York, and identified on the latest completed assessment roll for the City of Watertown as tax parcel #8-18322.000 as show on the map attached here as Exhibit "A".

C. **PURCHASE PRICE, PAYMENT AND SECURITY:**

1. **Purchase Price:** The purchase price to be paid by Purchaser for the property is the sum of Nine Thousand Five Hundred and No/100 Dollars (\$9,500.00), exclusive of the adjustments, if any, noted in paragraph "F" below.

2. **Payment:** Purchaser will pay Seller the total purchase price for the property as follows:

(a) An earnest money deposit of Five Hundred and No/100 Dollars (\$500.00) upon execution and delivery of this Agreement, to be held by Purchaser's attorney, Barclay Damon LLP, and applied against the

purchase price at closing. Buyer's attorney will transfer deposit to Seller's attorney upon receipt of written instructions from Seller's attorney.

(B) The additional sum of Nine Thousand No/100 Dollars (\$9,000.00), in certified funds or bank check, plus the adjustments noted in paragraph "F" below, at the time of closing.

D. PRE-CLOSING MATIERS:

1. Risk of Loss: Risk of loss or damage to the property by fire, flood or any other cause until delivery of the deed, is assumed by Seller. Pending the closing and except as provided herein, Seller shall maintain the Property in its present condition and undertake such repairs and replacements as are necessary to satisfy this responsibility. If, prior to closing, all or a portion of the Property is destroyed, appropriated, stolen, lost or irreparably damaged (a "loss") and Seller is not reasonably able to restore or replace the loss, Purchaser shall have the option to either:

(a) Demand and receive a reduction of the purchase price payable under this Agreement in the amount of the reasonable value of the loss; or

(b) Cancel this Agreement, where the loss materially impairs Purchaser's anticipated use, operation or enjoyment of the Property, unless Seller agrees to, and does restore or replace the loss within a period of time acceptable to Purchaser.

2. Title: At least twenty (20) days before closing, Seller shall procure and deliver to Purchaser adequate proof of its title to the Property, including:

(c) A current, forty (40) year title search of the Real Estate, certified by an abstract company;

(d) Current, ten (10) year town/county/village real estate tax search, certified by an abstract company or by a public official;

(e) Copies of receipted real estate tax bills, sewer and water rent bills, and other assessments imposed upon the property within the thirteen (13) months preceding closing.

In the event that Seller is unable to deliver to Purchaser good and marketable title to the property, Seller shall have the right to cancel this agreement and have no further obligation to Purchaser, except to return to Purchaser the earnest money deposit.

3. **Survey:** An instrument survey, if requested or required by Purchaser, shall be paid for by Purchaser.
4. **Release:** The transaction shall be contingent upon the approval of Seller's lender to release the Property as security.
5. **Subdivision:** The transaction shall be contingent upon Purchaser obtaining any subdivision approval that may be required at Purchaser's expense.
6. **Inspections:** Purchaser shall be permitted to inspect the Property within forty-eight (48) hours of closing to verify its status and condition.

E. **CLOSING:** The transfer of Property ownership to Purchaser shall occur on or about May 15, 2020, or at such earlier time as Purchaser and Seller may agree. At closing there shall be delivered:

1. **By Seller:**

- (a) A duly executed warranty deed with lien covenant, conveying good and marketable title to the property free from all liens and encumbrances, other than: private deed restrictions and utility easements whose scope and application do not conflict with the present development and use of the Real Estate.
- (b) Releases or satisfactions of all liens affecting the Property.
- (c) Such collateral documents as are customarily furnished by the Seller in such transactions.

2. **By Purchaser:**

- (d) The funds due Seller at closing for the purchase of the Property, in the form of cash or a certified or bank cashier's check.
- (e) Such collateral documents as are customarily furnished by the Purchaser in such transactions.

F. **ADJUSTMENTS:** The aggregate purchase price due at closing shall be adjusted for prepaid real estate taxes. Except in consequence of early occupancy, these adjustments shall be determined by reference to the closing date.

G. **CLOSING AND OTHER COSTS:**

1. **Seller:** Seller assumes, and agrees to pay, the following closing charges and other costs:
 - (a) Fees for its attorney services in connection with:

- (i) the fulfillment of Seller's pre-closing obligations, and
- (ii) the preparation and delivery of the deed and other collateral documents to be furnished by Seller's attorney.

(b) Real Estate transfer taxes due or imposed in consequence of the sale of the Property to Purchaser, together with filing fees for the transfer tax return.

(c) Fees imposed to file and/or record any and all satisfactions, releases or terminations necessary to eliminate and extinguish any lien affecting the Property.

2. **Purchaser:** Purchaser assumes, and agrees to pay, the following charges:

(d) Deed recordation and assessment roll transfer report filing fees.

(e) Fees for attorney services in connection with examination and certification of title to the Property, preparation and delivery of closing documents to be furnished by Purchaser, and closing and document recording arrangements.

H. **POSSESSION:** Purchaser shall be entitled to possession of the Property, upon delivery and acceptance of the deed, which shall be effected immediately after closing.

I. **BROKERAGE:** Seller represents and warrants to Purchaser that it has not taken any action which would give rise to a claim for broker commissions or finder fees in connection with the transaction contemplated by this Agreement. Seller hereby indemnifies and holds Purchaser harmless in respect of any claim for recovery of a broker's commission or finder's fee because of any action, arrangement, or agreement taken or made by Seller.

J. **MODIFICATION:** This Agreement cannot be changed or modified except by:

3. **Writing:** A written instrument signed by both Seller and Purchaser; or

4. **Alteration:** Penned insertions and deletions upon this Agreement which are initialed and dated by both Seller and Purchaser.

K. **ASSIGNMENT:** Except as otherwise provided in it, this Agreement may not be assigned by Purchaser or Seller without the prior consent of the other.

L. **EFFECT AND SCOPE:** This Agreement is binding upon, and ensures to the benefit of, Seller and Purchaser and the respective representatives, successors, heirs or assigns of each. This Agreement supersedes all prior discussions and negotiations and replaces all prior understandings, verbal and/or otherwise, relative to the subject transaction.

M. **NOTICES AND CONSENTS:** Any notices, consents or demands referred to in this Agreement shall, except where otherwise indicated, be in writing and delivered to the proper recipient either personally or by mail.

N. **CAPTIONS:** The captions employed herein are for the sake of convenience only and do not limit or qualify the content, scope or intent of the specific provisions of this Agreement which they introduce.

O. **GOVERNING LAW:** This Agreement shall be interpreted and construed in accordance with the laws of the State of New York.

P. **COUNTERPARTS:** This Agreement may be signed in one or more identical counterpart copies, each of which shall then constitute an original, and fully binding, instrument. Facsimile or electronic (PDF) copies shall also constitute originals.

IN WITNESS WHEREOF, THIS AGREEMENT has been executed as of the dates hereinafter set forth.

SELLER:

WGS Arsenal Housing Associates, LLC
By Arsenal Funding Corporation, Managing Member

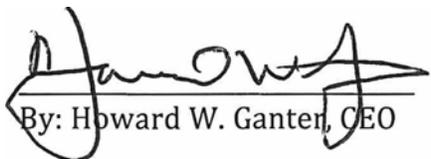
Date: 5/5/20

Name: Michael J. Uccellini
Title: President

PURCHASER:

Jefferson Hostels, Inc.

Date: 04/27/2020


By: Howard W. Ganter, CEO

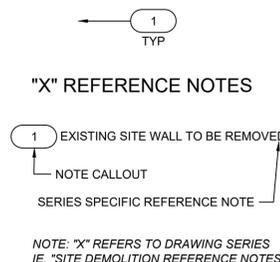
GENERAL NOTES

- REFER TO PROJECT SPECIFICATIONS FOR DETAILED INFORMATION AND COORDINATE WITH PROJECT DRAWINGS
- THE CONTRACTOR SHALL USE THE WRITTEN DIMENSIONS PROVIDED WITHIN THE CONTRACT DRAWINGS. SCALED DIMENSIONS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.
- THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE IMMEDIATELY IF CLARIFICATION OR INTERPRETATION OF THE CONTRACT DOCUMENTS, OR ANY OTHER ASPECTS OF THE PROJECT, IS REQUIRED.
- THE CONTRACTOR SHALL APPLY FOR ALL REQUIRED PERMITS AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES HAVING JURISDICTION OVER THE FACILITIES AND NATURAL FEATURES FOUND ON SITE.
- SITE ACCESS IS RESTRICTED TO THE LOCATIONS SPECIFICALLY DESIGNATED ON PLAN.
- THE CONTRACTOR SHALL ADHERE TO ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE AND LOCAL SAFETY REGULATIONS.
- PROMPTLY REPORT TO THE OWNER'S REPRESENTATIVE ANY DISCREPANCIES FOUND ON THE SITE OR IN THE CONTRACT DOCUMENTS FOR REVIEW AND RESOLUTION BEFORE PROCEEDING WITH THE WORK IN THE AREA IN QUESTION. PROVIDE FIELD INFORMATION SPECIFIC TO THE DISCREPANCY TO EXPEDITE RESOLUTION.
- AVOID ANY DISTURBANCE OF EXISTING VEGETATION ON THE SITE EXCEPT THE VEGETATION SPECIFICALLY DESIGNATED TO BE REMOVED.
- TAKE ALL PRECAUTIONS NECESSARY TO PREVENT EROSION AND CONTROL SEDIMENTATION AS REQUIRED BY THE AGENCIES OF GOVERNMENT HAVING JURISDICTION.
- THIS PROJECT HAS OBTAINED COVERAGE UNDER THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES, PERMIT NO. GP-0-15-002 (GENERAL PERMIT). THE GENERAL PERMIT AUTHORIZES STORMWATER DISCHARGES TO SURFACE WATERS OF THE STATE FROM CONSTRUCTION RELATED ACTIVITIES. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED IN ACCORDANCE WITH THIS PERMIT, AND IS PART OF THE CONTRACT AND CONSTRUCTION REQUIREMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVED SWPPP FOR THIS PROJECT, PRIOR TO DEVELOPING A BID PRICE FOR THE OWNER. THE SWPPP INCLUDES THE REQUIREMENTS FOR PRECONSTRUCTION ACTIVITIES, INSPECTIONS DURING CONSTRUCTION, AND POST CONSTRUCTION CERTIFICATIONS THAT MUST BE FOLLOWED BY THE CONTRACTOR AND THE OWNER TO STAY IN COMPLIANCE WITH THIS PERMIT. THESE REQUIREMENTS ARE DESCRIBED IN THE SWPPP, AND SHALL BE INCLUDED INTO THE CONTRACTOR'S BID PRICING FOR THIS PROJECT, AS WELL AS THE CONDITIONS OF WORK BY BOTH THE CONTRACTOR AND OWNER.
- THE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS PREPARED BY AUBERTINE AND CURRIER ARCHITECTS, ENGINEERS & LAND SURVEYORS, PLLC AND DATED JANUARY 14, 2020.
- SUBSURFACE SOIL INFORMATION WAS OBTAINED ON THIS SITE AND PREPARED BY ATLANTIC TESTING LABORATORIES AND DATED FEBRUARY 20, 2020. THE CONDITIONS DESCRIBED ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY OR CONTINUITY BETWEEN TEST LOCATIONS.
- THE START OF ANY ON-SITE CONSTRUCTION INCLUDING STRIPPING TOPSOIL, REMOVING CUT OR PLACING FILL MATERIAL ESTABLISHES THAT THE CONTRACTOR ACCEPTS THE CONTRACT DOCUMENTS AS ACCURATELY REPRESENTING THE EXISTING SITE CONDITIONS.
- ALL FACILITIES TO BE CONSTRUCTED OR INSTALLED SHALL COMPLY WITH ALL SECTIONS AND LATEST REVISIONS OF THE REQUIREMENTS OF ALL AGENCIES OF GOVERNMENT HAVING JURISDICTION.
- EXISTING UTILITIES (LOCATIONS, SIZES AND INVERT ELEVATIONS) SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORDED MAPS AND SHALL BE INTERPRETED AS APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXISTING INFORMATION AT LOCATIONS IN CLOSE PROXIMITY TO UTILITIES UNDER CONSTRUCTION.
- LONG LEAD AND SCARCE MATERIALS SHALL BE ORDERED IN A TIMELY MANNER TO PREVENT AVOIDABLE CONSTRUCTION DELAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE CAUSED BY CONSTRUCTION TO EXISTING UTILITIES AND FACILITIES WHICH ARE NOT INCLUDED AS PART OF THE INTENDED WORK. THE CONTRACTOR SHALL REPAIR, RESTORE AND/OR REPLACE ALL DAMAGE TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED SURFACES TO ORIGINAL OR BETTER CONDITION INCLUDING 6 INCHES OF TOPSOIL, SEED, FERTILIZER, AND MULCH. OTHER SURFACES SHALL BE RESTORED AS SHOWN ON THE DETAILS.
- THE OWNER'S REPRESENTATIVE SHALL REVIEW THE LAYOUT OF ALL PAVEMENTS, UTILITIES, AND PLANTINGS IN THE FIELD BEFORE INSTALLATION. THE CONTRACTOR SHALL SCHEDULE ADVANCED NOTIFICATION TO THE OWNER'S REPRESENTATIVE TO FACILITATE TIMELY REVIEW.
- TOP DRESS, SEED AND MULCH ALL LAWN AREAS DISTURBED BY THE CONSTRUCTION AS SOON AS THE FINISHED GRADING OPERATION IS COMPLETED.
- ADJUST THE RIM ELEVATIONS OF EXISTING UTILITY STRUCTURES SCHEDULED TO REMAIN TO BE FLUSH WITH THE FINISHED GRADE ELEVATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR HANDLING, CUTTING AND DISPOSAL OF ALL ASBESTOS CEMENT (AC) PIPE TO BE REMOVED OR CUT IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- MAINTAIN AN ADEQUATE SUPPLY OF EROSION AND SEDIMENT CONTROL MATERIALS AT THE CONSTRUCTION SITE AT ALL TIMES TO BE USED FOR URGENT SITUATIONS, SUCH AS UNEXPECTED HEAVY RAINFALL.
- MAINTENANCE AND REPAIR OF ALL EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM AND FUEL TANK DRAIN DOWN, DEGREASING OPERATIONS AND OTHER ACTIVITIES THAT MAY RESULT IN THE ACCIDENTAL RELEASE OF CONTAMINANTS MUST BE CONDUCTED OFF-SITE. ACCIDENTAL SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINANTS DISPOSED OF PROPERLY.
- THE CONTRACTOR SHALL ULTIMATELY BE RESPONSIBLE FOR LOCATING SOIL AND EXCESS EXCAVATED EARTH STOCK PILES AT A STABLE LOCATION. STOCK PILES SHALL BE STABILIZED PER THE DETAIL.
- CONSTRUCTION ROUTES SHALL BE STABILIZED PER THE NYS STANDARDS FOR EROSION AND SEDIMENT CONTROL, AS NECESSARY BASED ON SITE CONDITIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PLACEMENT, DESIGN, APPROVAL, AND OPERATION OF THE CONCRETE WASHOUTS. THE CONCRETE WASHOUTS SHALL BE INSTALLED A MINIMUM OF 50' FROM STORM DRAINAGE OR SURFACE WATER. CONCRETE WASTE MATERIAL SHALL NOT BE ALLOWED TO ESCAPE FROM THE CONCRETE WASHOUT.
- SOLID WASTE SHALL BE STORED IN COVERED DUMPSTERS OR OTHER APPROPRIATE CONTAINERS. WASTE IS TO BE DISPOSED OF REGULARLY AND PROPERLY IN ACCORDANCE WITH LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
- THE EROSION AND SEDIMENT CONTROLS ARE SHOWN FOR A CONDITION WHEN ALL WORK IS OCCURRING SIMULTANEOUSLY. ACTUAL INSTALLATIONS SHALL BE ADJUSTED BASED ON CURRENT CONSTRUCTION ACTIVITY AND SITE CONDITIONS.

ABBREVIATIONS

AL	ALUMINUM	DMH	DROP MANHOLE	IN	INCH/INCHES	PC	POINT OF CURVATURE	TC	TOP OF CURB
ACT	ACTUAL	DWG	DRAWING	INL	INLET	PL	PROPERTY LINE	TOS	TOP OF SLOPE
APPR	APPROXIMATE/ APPROXIMATELY	E	EAST	INV	INVERT	PT	POINT OF TANGENT/ PERCOLATION TEST LOCATION	TS	TOP OF STAIR
BC	BOTTOM OF CURB	EA	EACH	IP	IRON PIPE	PVC	POLYVINYL CHLORIDE	TW	TOP OF WALL
BLDG	BUILDING	EJ	EXPANSION JOINT	JB	JUNCTION BOX	R	RADIUS	TYP	TYPICAL
BM	BENCHMARK	EL	ELEVATION	L	LENGTH/LONG	RCP	REINFORCED CONCRETE PIPE	T&G	TONGUE AND GROOVE
BOS	BOTTOM OF SLOPE	EQ	EQUAL	LA	LANDSCAPE ARCHITECT	REIN	REINFORCING	UD	UNDERDRAIN
BS	BOTTOM OF STAIR	ES	END SECTION	LAT	LATITUDE	REQD	REQUIRED	USGS	UNITED STATES GEOLOGICAL SURVEY
BW	BOTTOM OF WALL	EX	EXISTING	LF	LINEAR FEET	REV	REVISION	VAR	VARIABLE/VARIABLE
B&B	BALLED AND BURLAPPED	EXP	EXPANSION	LFT	LEFT	ROW	RIGHT OF WAY	VERT	VERTICAL
CAL	CALIPER	FFE	FINISHED FLOOR ELEVATION	LIN	LINEAR	RT	RIGHT	W	WEST
CB	CATCH BASIN	FG	FINISHED GRADE	LP	LOW POINT	SAN	SANITARY	WE	WATER ELEVATION
CF	CUBIC FEET	FIN	FINISH	M	METER	SECT	SECTION	WL	WALK LIGHT
CI	CAST IRON	FL	FLOOR	MAX	MAXIMUM	SF	SQUARE FOOT	WV	WATER VALVE
CIP	CAST IN PLACE	FTG	FOOTING	MH	MANHOLE	SG	SUB GRADE	WWM	WOVEN WIRE MESH
CIR	CIRCLE/CIRCULAR	FT	FOOT/FEET	MIN	MINIMUM	SH	SHEET	W	WITH
CJ	CONTROL JOINT	GA	GAUGE	MISC	MISCELLANEOUS	SI	STORM INLET	W/O	WITHOUT
CLF	CHAIN-LINK FENCE	GAL	GALLON	MON	MONUMENT	SL	STREET LIGHT	YD	YARD DRAIN
CLL	CONTRACT LIMIT LINE	GALV	GALVANIZED	N	NORTH	SP	SPECIFICATIONS/ SPECIFIED	±	CENTER LINE
CLR	CLEAR	GR	GENERAL CONTRACTOR	NIC	NOT IN CONTRACT	SQ	SQUARE	+	PLUS OR MINUS
CMP	CORRUGATED METAL PIPE	GV	GAS VALVE	NOM	NOMINAL	SS	STAINLESS STEEL	Δ	CHANGE IN VALUE
CO	CLEANOUT	HOR	HORIZONTAL	NTS	NOT TO SCALE	STA	STATION	<	LESS THAN
COL	COLUMN	HP	HIGH POINT	NUM	NUMBER	STL	STEEL	>	GREATER THAN
CONC	CONCRETE	HT	HEIGHT	OC	ON CENTER	SY	SQUARE YARD		
CONT	CONTAINER	HW	HEAD WALL	OCEW	ON CENTER EACH WAY	T	TANGENT		
CONTR	CONTRACTOR	HWY	HIGHWAY	OP	OUTSIDE DIAMETER	TB	TEST BORING		
CY	CUBIC YARDS	HYD	HYDRANT	PA	PLANTING AREA				
DET	DETAIL	ID	INSIDE DIAMETER						
DIM	DIMENSION								
DIA	DIAMETER								

REFERENCE NOTE LEGEND



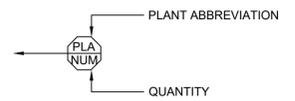
KEYNOTE LEGEND

KEYNOTE HEADING	DETAIL #	SHEET #	SPEC SECTION
4.1 Concrete Steps & Cheek Walls	1	C-601	033000
4.2 Concrete Steps	2	C-601	033000

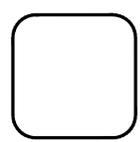
KEYNOTE ITEM AND BRIEF DESCRIPTION
KEYNOTE CALLOUT
PRIMARY KEYNOTE DETAIL REFERENCE NUMBER
DETAIL DRAWING NUMBER WHERE DETAIL CAN BE FOUND
SPECIFICATION REFERENCE (CSI SECTION NUMBER, MASTER FORMAT (NOTE MULTIPLE SPECIFICATIONS MAY BE REFERENCED))

- THE FOLLOWING LIST OF KEYNOTE HEADINGS (PROPOSED IMPROVEMENT SYSTEMS) HAVE BEEN INCORPORATED WITHIN THIS DRAWING SET
- EROSION AND SEDIMENT CONTROL
 - PLANT PROTECTION
 - PAVEMENTS, RAMPS, CURBS
 - STEPS
 - SITE WALLS
 - SITE FURNISHINGS
 - RAILINGS, BARRIERS AND FENCING
 - SITE LIGHTING (NOT USED)
 - SITE UTILITIES
 - PLANTING AND LANDSCAPE
 - MISCELLANEOUS ELEMENTS
- NOTE: IF A KEYNOTE HEADING IS NOT PART OF THIS PROJECT, A "NOT USED" NOTATION HAS BEEN PROVIDED AFTER THE HEADING.

PLANT IDENTIFICATION KEY



ENLARGEMENT/ALTERNATE AREAS



C&S Engineers, Inc.
499 Col. Eileen Collins Blvd.
Syracuse, New York 13212
Phone: 315-455-2000
Fax: 315-455-9667
www.cscos.com



The Arc
Jefferson - St. Lawrence
New York

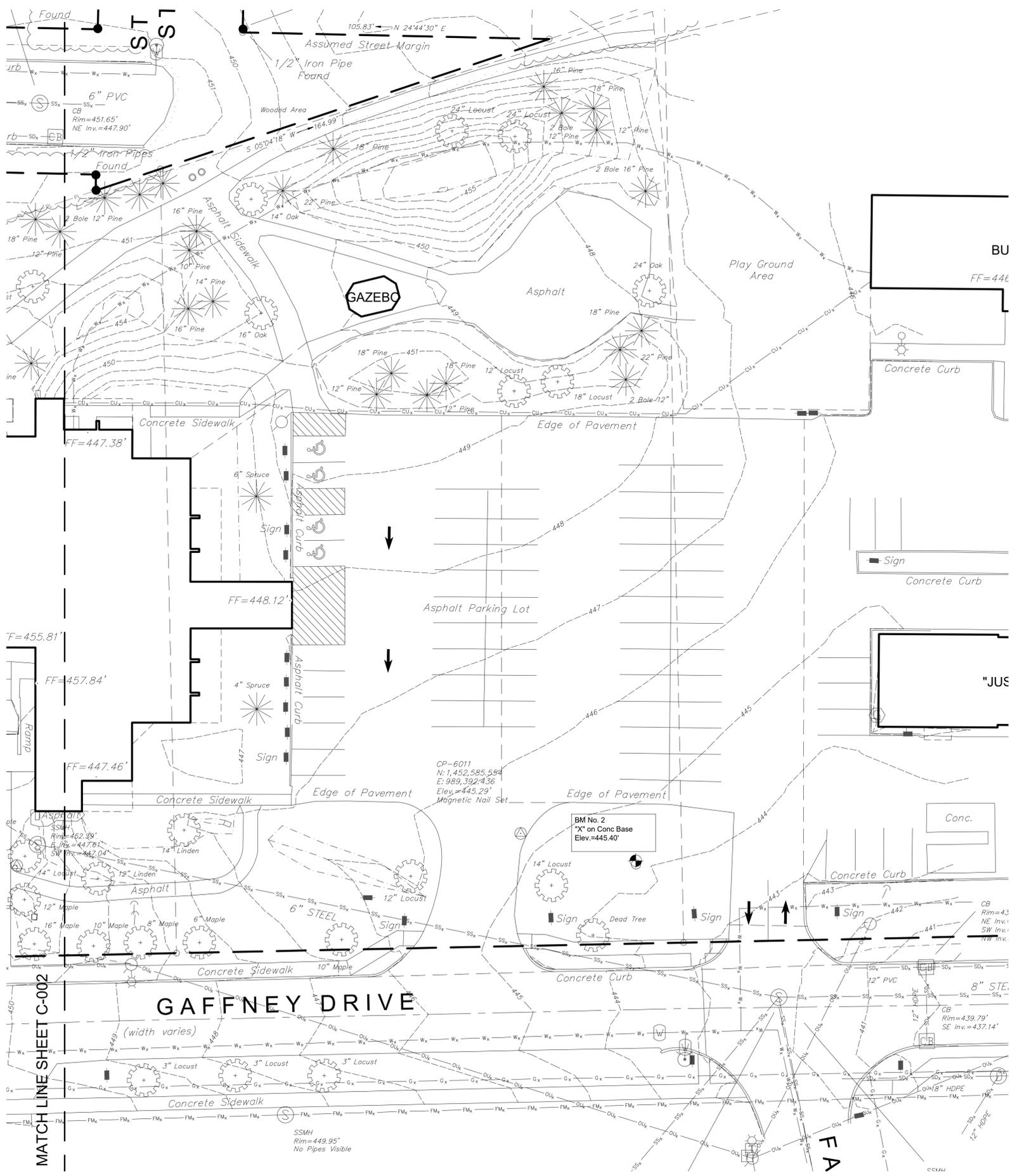
MARK	DATE	DESCRIPTION
3	5/19/20	ADDRESS CITY COMMENTS
2	4/30/20	BID DOCUMENTS
1	4/22/20	ADDRESS CITY COMMENTS

REVISIONS	
PROJECT NO:	W29.001.001
DATE:	03/24/2020
DRAWN BY:	SFG
DESIGNED BY:	CR
CHECKED BY:	DRB

NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW

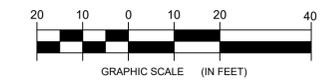
General Notes and Legends

C-001



GAFFNEY DRIVE
(width varies)

MATCH LINE SHEET C-002



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Environmental Design & Research
Landscape Architecture, Engineering & Environmental Services, D.P.C.
217 Montgomery Street, Suite 1000
Syracuse, New York 13202
P. 315.471.0688

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Existing Conditions Plan

C-003

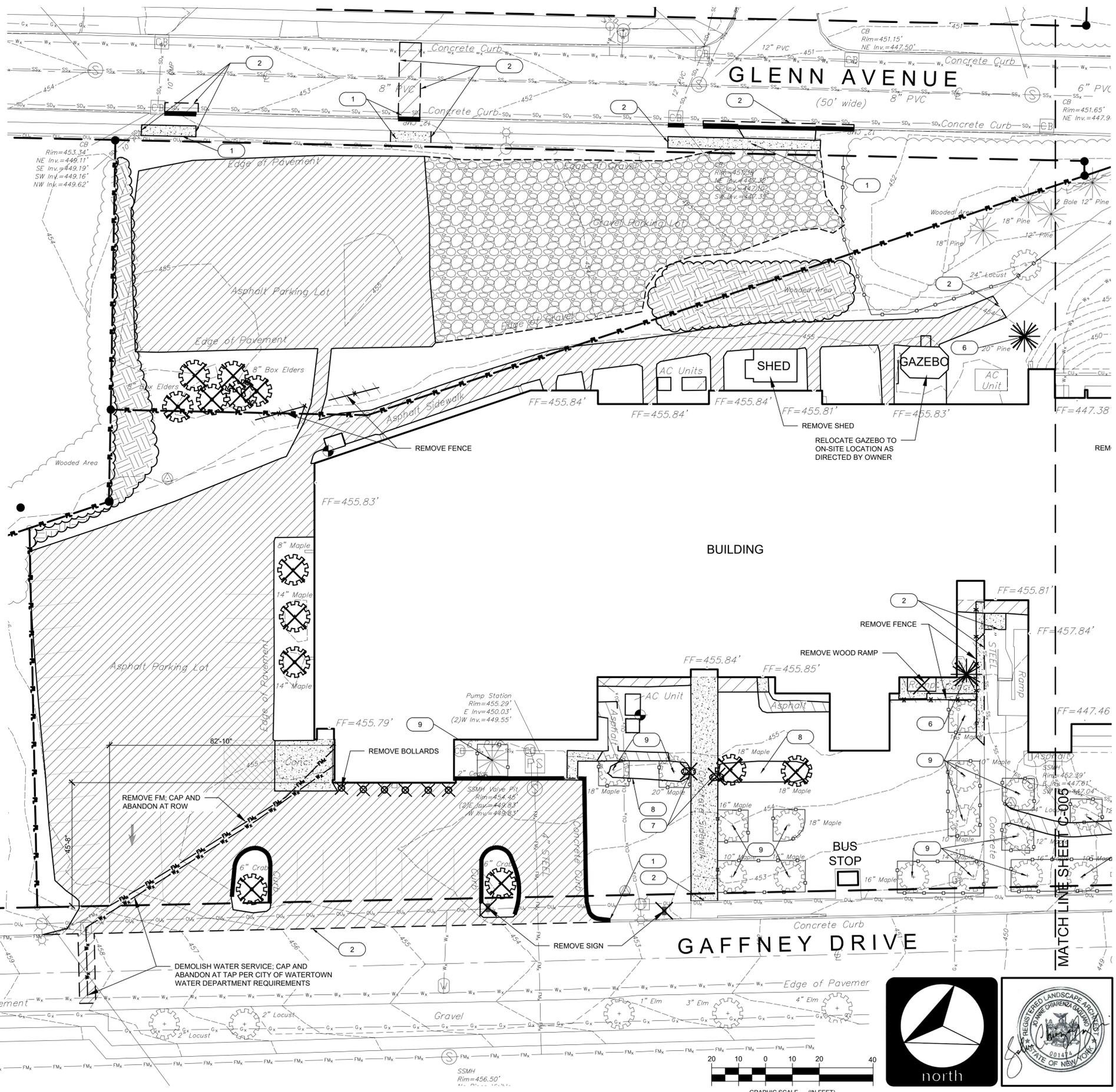
SITE DEMOLITION REFERENCE NOTES

- 1 COORDINATE CURB AND SIDEWALK REMOVAL LIMITS WITH THE SITE LAYOUT PLAN
- 2 SAWCUT EXISTING PAVEMENT IN NEAT, STRAIGHT LINE
- 3 REMOVE EXISTING PAVING AND AGGREGATE BASES
- 4 REMOVE EXISTING CONCRETE CURBING
- 5 REMOVE EXISTING SIGN AND SALVAGE FOR REINSTALLATION AT LOCATION PER OWNER'S REPRESENTATIVE. MATCH EX FOOTINGS.

C PLANT PROTECTION AND REMOVAL REFERENCE NOTES

- 6 REMOVE EXISTING TREE AND STUMP
- 7 REMOVE EXISTING LANDSCAPE FEATURE
- 8 REMOVE EXISTING MULCH BED
- 9 EXISTING TREE TO REMAIN. DO NOT DISTURB, PROTECT IN PLACE PER DETAIL 1/C-604

C-DEMO.DWG	
ITEM	SYMBOL
REMOVE EXISTING GRAVEL PAVEMENT	
REMOVE EXISTING CONCRETE PAVEMENT	
REMOVE EXISTING ASPHALT PAVEMENT - FULL DEPTH	
MILL TOP COURSE OF EXISTING ASPHALT PAVEMENT	
REMOVE EXISTING PLANT BED OR BRUSH	
REMOVE AND DISPOSE OF EXISTING CONCRETE CURB	
VEGETATION PROTECTION	
REMOVE EXISTING TREE SYMBOL	
REMOVE EXISTING SITE AMENITY SYMBOL	
REMOVE EXISTING FENCE	



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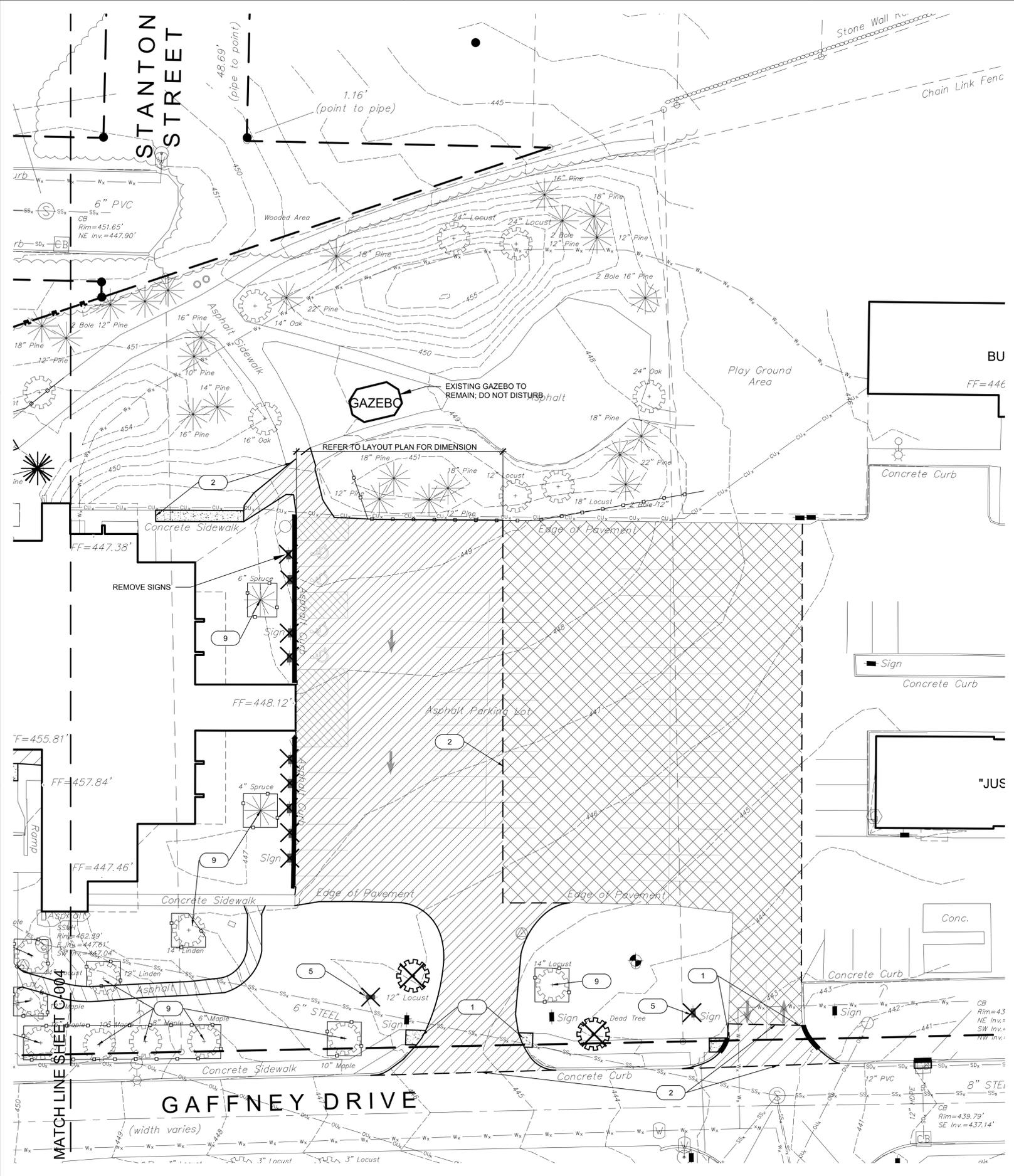
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CHECKED BY:	DRB

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Demolition Plan

C-004



SITE DEMOLITION REFERENCE NOTES

- 1 COORDINATE CURB AND SIDEWALK REMOVAL LIMITS WITH THE SITE LAYOUT PLAN
- 2 SAWCUT EXISTING PAVEMENT IN NEAT, STRAIGHT LINE
- 3 REMOVE EXISTING PAVING AND AGGREGATE BASES
- 4 REMOVE EXISTING CONCRETE CURBING
- 5 REMOVE EXISTING SIGN AND SALVAGE FOR REINSTALLATION AT LOCATION PER OWNER'S REPRESENTATIVE. MATCH EX FOOTINGS.

PLANT PROTECTION AND REMOVAL REFERENCE NOTES

- 6 REMOVE EXISTING TREE AND STUMP
- 7 REMOVE EXISTING LANDSCAPE FEATURE
- 8 REMOVE EXISTING MULCH BED
- 9 EXISTING TREE TO REMAIN. DO NOT DISTURB, PROTECT IN PLACE PER DETAIL 1/C-604

C-DEMO.DWG	
ITEM	SYMBOL
REMOVE EXISTING GRAVEL PAVEMENT	
REMOVE EXISTING CONCRETE PAVEMENT	
REMOVE EXISTING ASPHALT PAVEMENT - FULL DEPTH	
MILL TOP COURSE OF EXISTING ASPHALT PAVEMENT	
REMOVE EXISTING PLANT BED OR BRUSH	
REMOVE AND DISPOSE OF EXISTING CONCRETE CURB	
VEGETATION PROTECTION	
REMOVE EXISTING TREE SYMBOL	
REMOVE EXISTING SITE AMENITY SYMBOL	
REMOVE EXISTING FENCE	

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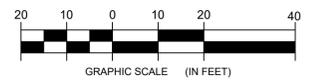
The Arc
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REVISIONS

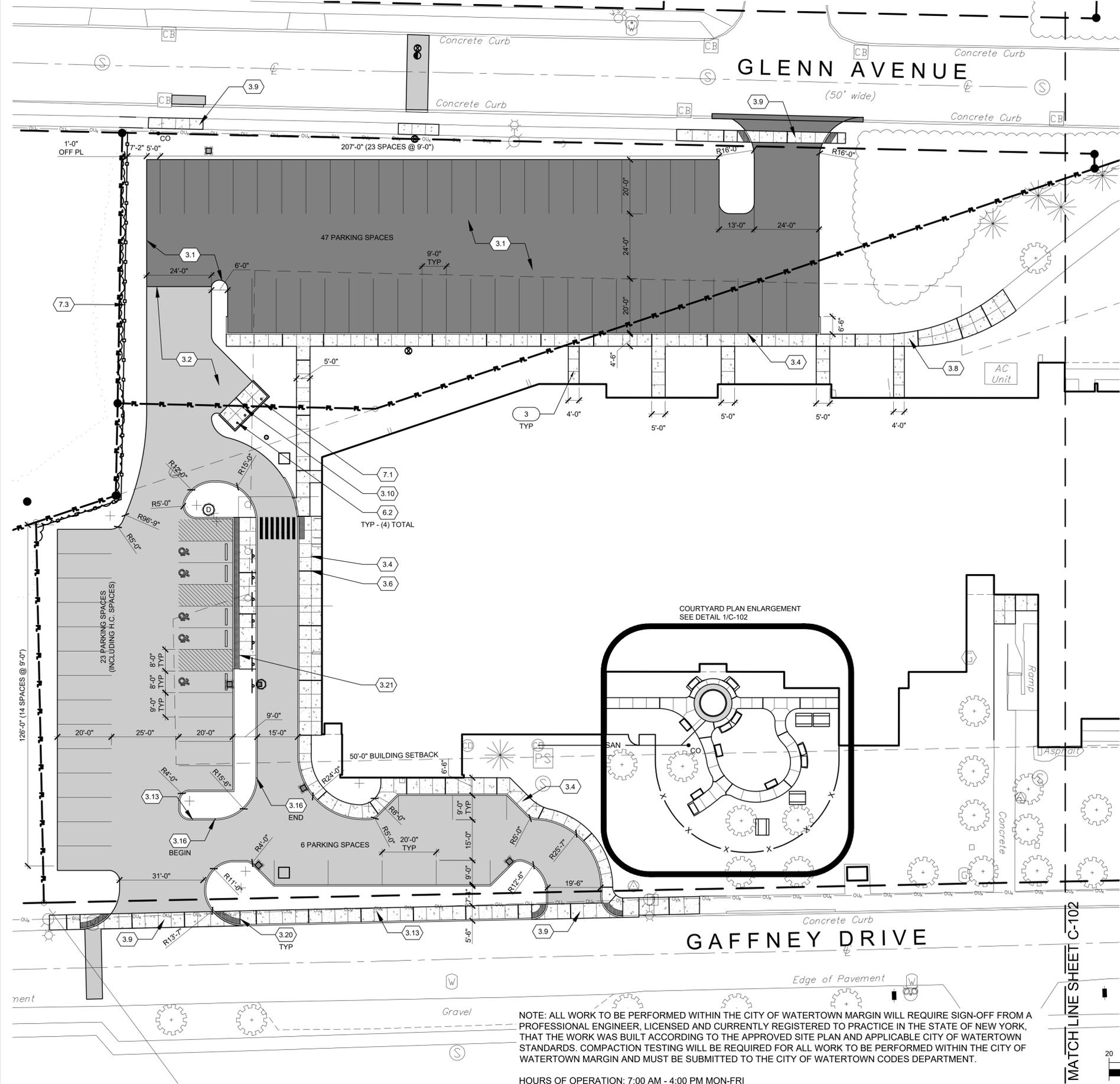
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Demolition Plan

C-005



LEGEND

ITEM	SYMBOL
CONTRACT LIMIT LINE	--- CLL ---
CENTERLINE	---
FENCE - CHAIN LINK	---
FENCE - DECORATIVE	-X-X-
TRAFFIC SIGN	⊕
C-ROAD-CURB_N	---
SNOW STORAGE AREA	---
BUILDING SETBACK LINE - 50'	---
CONCRETE WHEEL STOP	⊓
DETECTABLE WARNING TILE	▬

LEGEND

ITEM	SYMBOL
ASPHALT PAVEMENT - HEAVY DUTY	▬
CONCRETE PAVEMENT	▬
MILL & PAVE TOP COURSE ASPHALT PAVEMENT	▬
ASPHALT PAVEMENT - LIGHT DUTY	▬
DONOR INSCRIBED PAVERS	▬

SITE MATERIALS DETAIL KEYNOTES

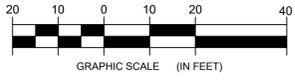
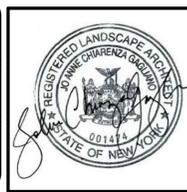
KEYNOTE	DESCRIPTION	DETAIL #	SHEET #	SPEC SECTION
3	PAVEMENTS, RAMPS, CURBS			
3.1	Asphalt Pavement - Light Duty	1	C-601	321216
3.2	Asphalt Pavement - Heavy Duty	2	C-601	321216
3.3	Asphalt Pavement Mill & Pave Top Course	4	C-601	321216
3.4	Concrete Walk & Integral Curb	15	C-601	321613
3.5	Concrete Pavement Finish	8	C-601	321313
3.6	Concrete Pavement Contraction Joint	7	C-601	321313
3.7	Concrete Pavement Isolation Joint	7	C-601	321313
3.8	Concrete Walk Pavement	6	C-601	321313
3.9	Concrete Pavement - Driveway Crossing	5	C-601	321313
3.10	Concrete Pavement Dumpster Pad	14	C-601	321313
3.13	Concrete Curb	9	C-601	321613
3.14	Concrete Curb - Transition	12	C-601	321613
3.16	Concrete Curb - Mountable	11	C-601	321613
3.17	Concrete Curb - Flush	10	C-601	321613
3.18	Concrete Wheel Stop	9	C-602	321613
3.19	Unit Paving - Light Duty	13	C-601	321400
3.20	Concrete ADA Ramp - Type 1	2	C-602	321613
3.21	Concrete ADA Ramp - Type 2	8	C-602	321613

KEYNOTE	DESCRIPTION	DETAIL #	SHEET #	SPEC SECTION
6	SITE FURNISHINGS			
6.1	Bench - Surface Mount	5	C-602	129300
6.2	Bollard - Steel Pipe	7	C-603	129300
6.3	Fountain	8	C-603	131213

KEYNOTE	DESCRIPTION	DETAIL #	SHEET #	SPEC SECTION
7	RAILING, BARRIERS AND FENCING			
7.1	Fence - Chain Link	6	C-602	323113
7.2	Fence - Decorative Metal	1	C-602	323119
7.3	Fence - Screen Fence	1	AD-4-5	NA

SITE MATERIALS REFERENCE NOTES

- 1 RELOCATE EXISTING PICNIC TABLE
- 2 MEET EXISTING CURB
- 3 CENTER WALK ON DOORWAY



NOTE: ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN WILL REQUIRE SIGN-OFF FROM A PROFESSIONAL ENGINEER, LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK, THAT THE WORK WAS BUILT ACCORDING TO THE APPROVED SITE PLAN AND APPLICABLE CITY OF WATERTOWN STANDARDS. COMPACTION TESTING WILL BE REQUIRED FOR ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN AND MUST BE SUBMITTED TO THE CITY OF WATERTOWN CODES DEPARTMENT.

HOURS OF OPERATION: 7:00 AM - 4:00 PM MON-FRI

MATCH LINE SHEET C-102

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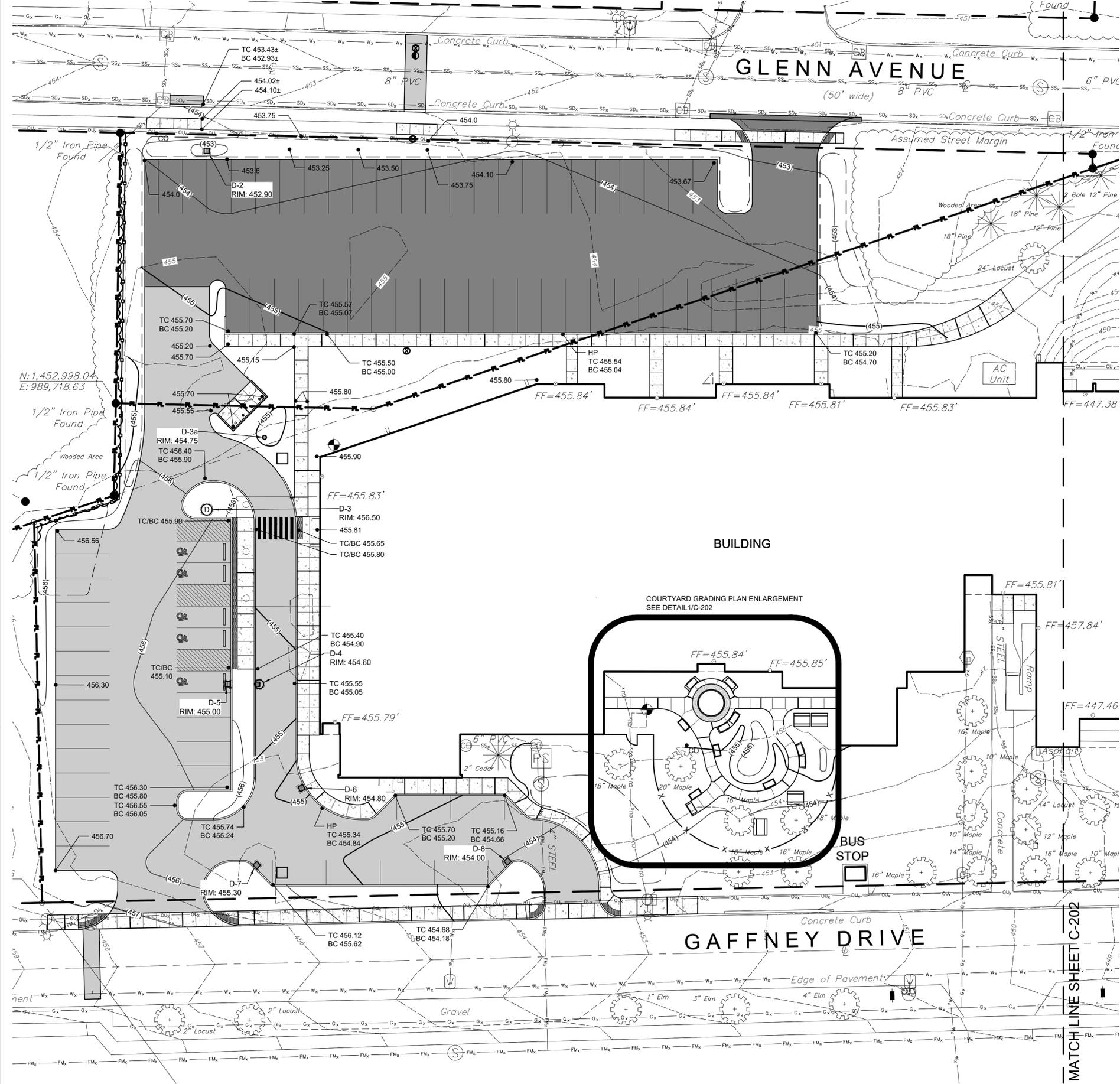
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Site Materials & Layout Plan

C-101



**SITE GRADING AND DRAINAGE
REFERENCE NOTES**

1 TIE INTO EXISTING GRADE. MEET SMOOTHLY AND EVENLY. PROVIDE POSITIVE PITCH TO DRAINS AS REQUIRED

LEGEND	
ITEM	SYMBOL
CONTOUR - FINISHED	(497)
CONTOUR - FINISHED - INDEX	(490)
SWALE CENTERLINE	(123.45)
SPOT ELEVATION - FINISHED	(123.45)

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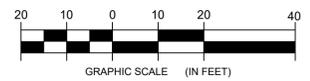
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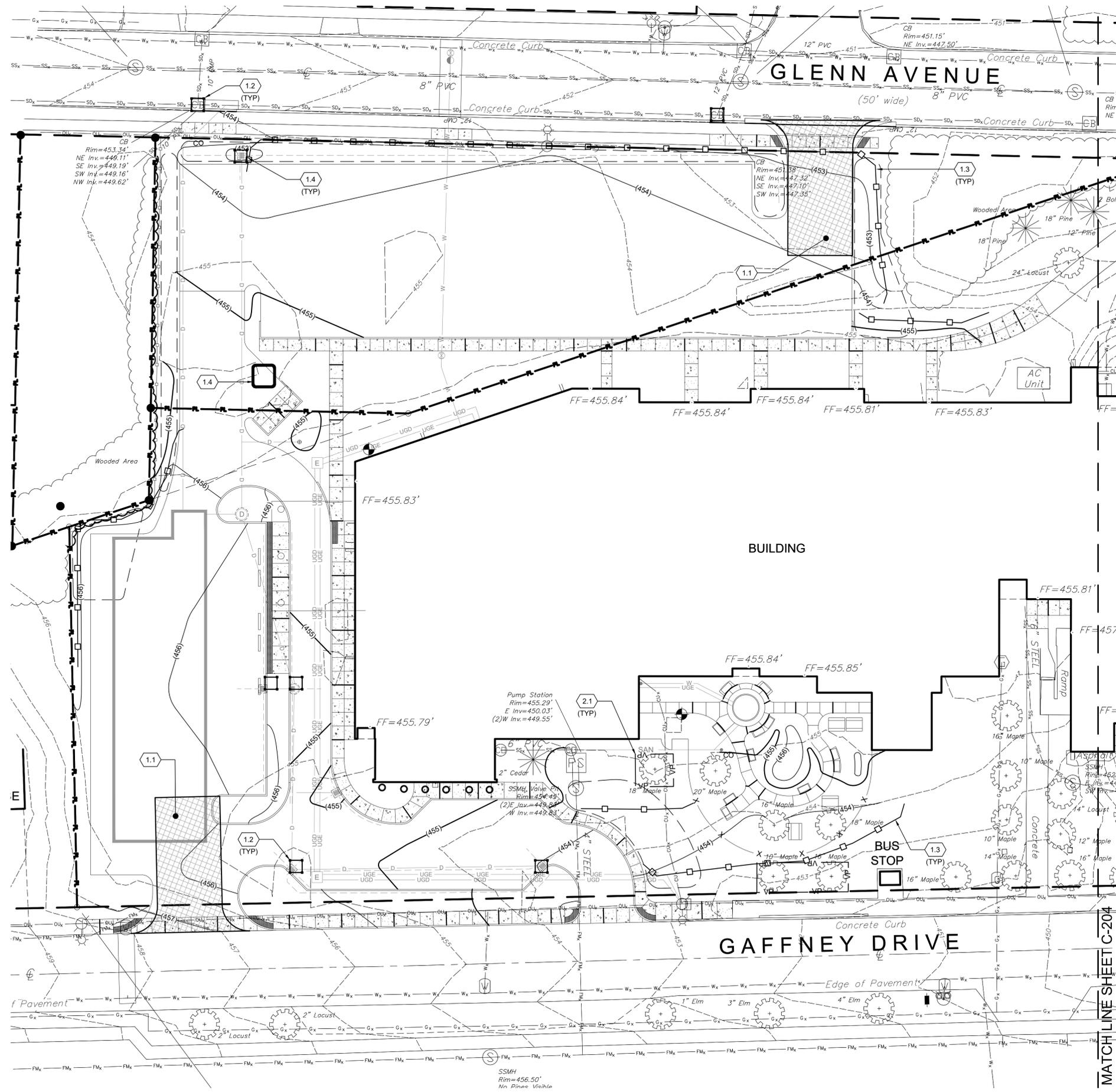
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Grading Plan

C-201



EROSION & SEDIMENT CONTROL KEYNOTES

1. TEMPORARY SEDIMENT & EROSION CONTROL		DETAIL #	SHEET #	SPEC SECTION
1.1	Stabilized Construction Access	2	C-604	312500
1.2	Inlet Protection	3	C-604	312500
1.3	Silt Fence	4	C-604	312500
1.4	Concrete Washout Area	5	C-604	312500

2. PLANT PROTECTION		DETAIL #	SHEET #	SPEC SECTION
2.1	Vegetation Protection	1	C-604	311000

EROSION CONTROL LEGEND

ITEM	SYMBOL
SILT FENCE	
VEGETATION PROTECTION	
STABILIZED CONSTRUCTION ENTRANCE	
INLET PROTECTION	
CONCRETE TRUCK WASHOUT	



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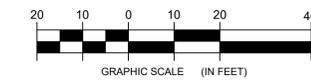


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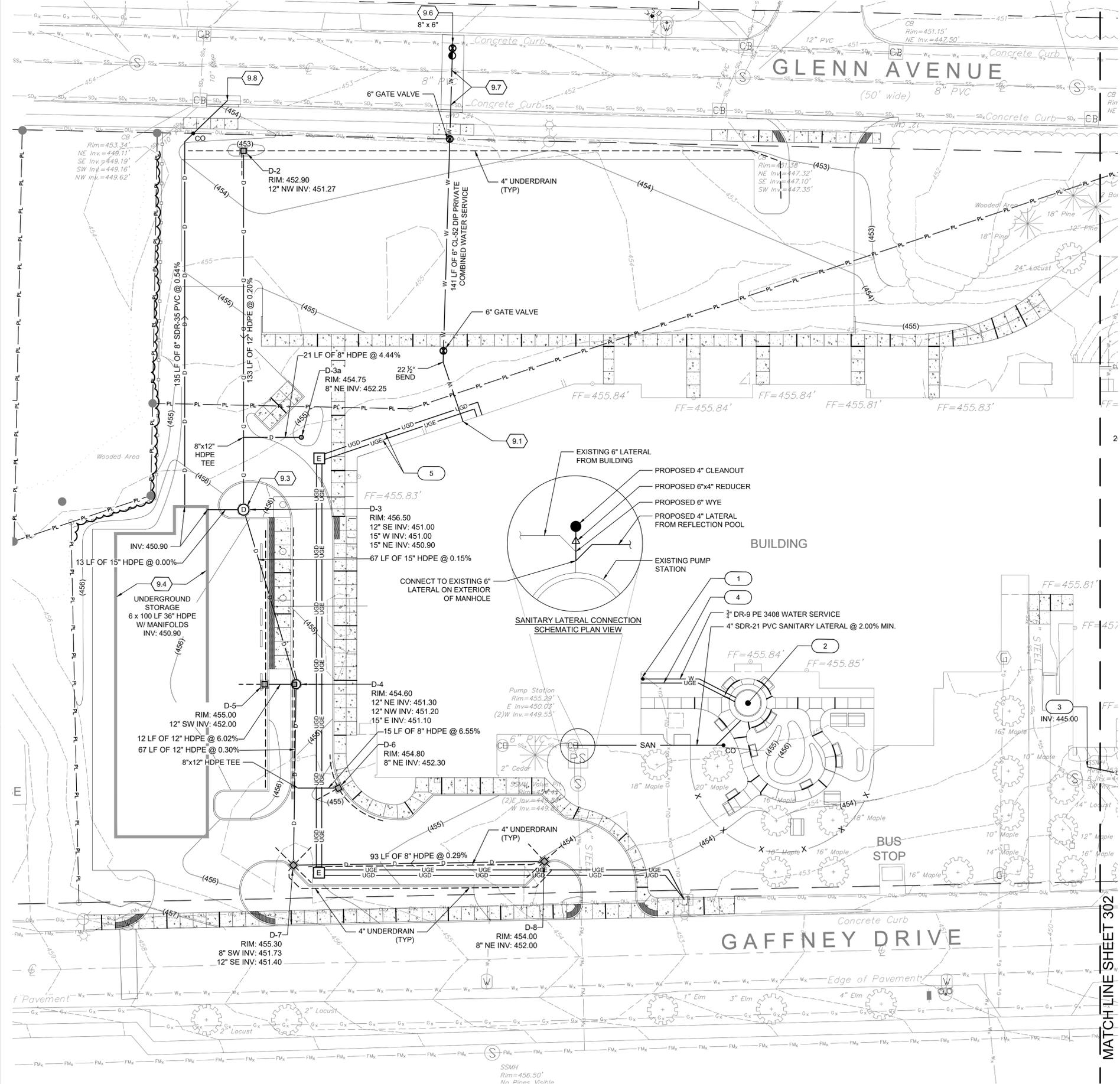
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Erosion & Sedimentation Control Plan

C-203



UTILITY SYMBOL LEGEND

SYMBOL	ITEM	DETAIL #	SHEET #	SPEC SECTION
● CO	Utility - Cleanout	5	C-604	333000
⊙	Water Disinfection And Sampling Tap	1	C-606	331000
⊗	Water Valve	3	C-606	331000
⊞	Storm Catch Basin	1	C-605	334000
⊕	Storm Manhole	2	C-605	334000
⊖	Area Drain - Nyloplast	3	C-605	334000

UTILITY DETAIL KEYNOTES

9	SITE UTILITIES	DETAIL #	SHEET #	SPEC SECTION
9.1	Utility - Limits of Utility Work at Building	2	C-604	330500
9.2	Bioretention Area	5	C-605	312000
9.3	Hydrodynamic Separator	6	C-605	334000
9.4	Underground Stormwater Storage	7	C-605	334000
9.5	Storm Pipe - Connection To Existing Manhole	4	C-604	334000
9.6	Water Tapping Sleeve And Valve	2	C-606	331000
9.7	Water Pipe - Sewer Crossing	4	C-606	331000
9.8	Lateral Wye Connection	3	C-607	331000

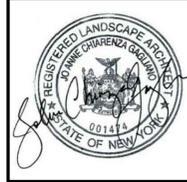
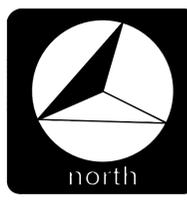
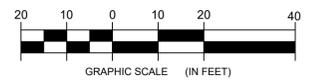
- ### UTILITY REFERENCE NOTES
- 1 COORDINATE LOCATION OF HOSE BIB, VACUUM BREAKER AND QUICK CONNECT WITH PLUMBING PLANS.
 - 2 COORDINATE UTILITIES CONNECTIONS WITH POOL EQUIPMENT LAYOUT BY OTHERS.
 - 3 CONNECT TO ROOF LATERAL; CONTRACTOR TO CONFIRM LOCATION, SIZE AND INVERT.
 - 4 UNDERGROUND ELECTRIC SHOWN FOR COORDINATION PURPOSES ONLY.
 - 5 UNDERGROUND ELECTRIC/TELECOM SHOWN FOR COORDINATION PURPOSES ONLY; REFER TO ELECTRIC PLANS FOR REQUIRED LAYOUT CLEARANCES, TOLERANCES AND INSTALLATION REQUIREMENTS. CONTRACTOR BID TO BE LIMITED TO EXCAVATION, BACKFILL AND RESTORATION; INSTALLATION OF CONDUIT, CONDUCTORS AND HANDHOLES BY OTHERS

NOTE:
ALL WATER MAIN AND SERVICE WORK MUST BE COORDINATED WITH THE CITY OF WATERTOWN WATER DEPARTMENT. THE WATER DEPARTMENT REQUIREMENTS SUPERSEDE ALL OTHER PLANS AND SPECIFICATIONS PROVIDED.

STRUCTURE	STRUCTURE TYPE	FRAME & COVER/GRATE
D-2	2'x2' Catch Basin	Frame: Retculine #9 Cover/Grate: Retculine #9
D-3	4' Dia. Hydrodynamic Separator	Frame: Per Manuf. Cover/Grate: Per Manuf.
D-3a	18" Nyloplast Drain Basin	Frame: 1899CGPL Cover/Grate: 1899CGPL
D-4	4' Dia. Manhole	Frame: Retculine #9 Cover/Grate: Retculine #9
D-5	2'x2' Catch Basin	Frame: Retculine #9 Cover/Grate: Retculine #9
D-6	2'x2' Catch Basin	Frame: Retculine #9 Cover/Grate: Retculine #9
D-7	2'x2' Catch Basin	Frame: Retculine #9 Cover/Grate: Retculine #9
D-8	2'x2' Catch Basin	Frame: Retculine #9 Cover/Grate: Retculine #9

UTILITY PLAN LEGEND

ITEM	SYMBOL
STORM DRAINAGE LINE	— D — D —
UNDERDRAIN LINE	— U — U —
SANITARY LINE	— SAN —
WATER LINE	— W — W —
ELECTRIC LINE - UNDERGROUND OR EMPTY SPARE CONDUIT	— UGE —
DATA LINE - UNDERGROUND	— UGD —
HAND HOLE	[E]
ROLLED EROSION CONTROL PRODUCT OR TURF REINFORCEMENT MAT	[Grid Pattern]



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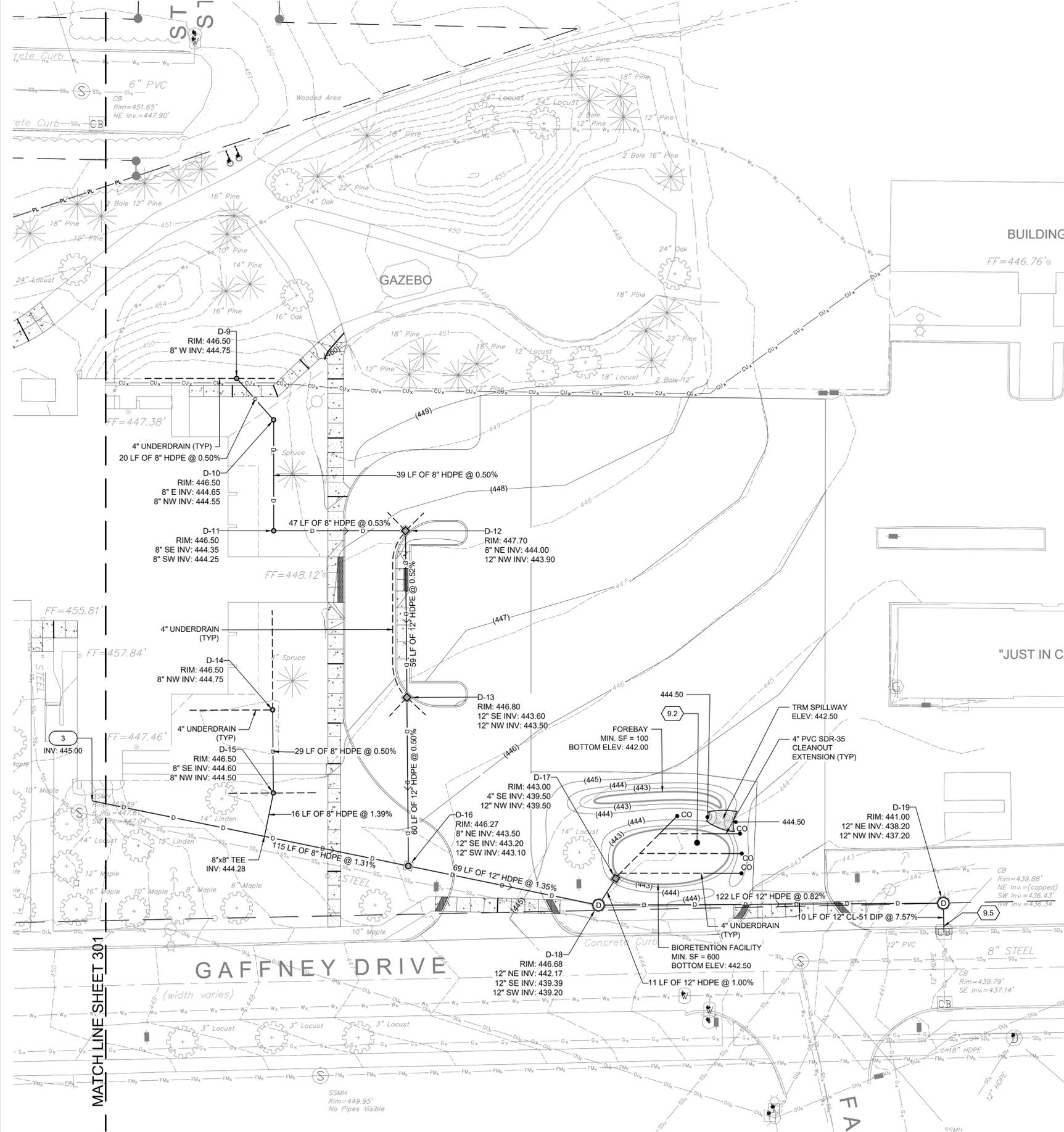
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Utility Plan

C-301



UTILITY SYMBOL LEGEND

SYMBOL	ITEM	DETAIL #	SHEET #	SPEC SECTION
• CO	Utility - Cleanout	5	C-604	333000
⊙	Water Disinfection And Sampling Tap	1	C-606	331000
⊗	Water Valve	3	C-606	331000
⊞	Storm Catch Basin	1	C-605	334000
⊕	Storm Manhole	2	C-605	334000
⊖	Area Drain - Nyloplast	3	C-605	334000

UTILITY DETAIL KEYNOTES

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9.2	Bioretention Area	5	C-605	312000
9.3	Hydrodynamic Separator	6	C-605	334000
9.4	Underground Stormwater Storage	7	C-605	334000
9.5	Storm Pipe - Connection To Existing Manhole	4	C-604	334000
9.6	Water Tapping Sleeve And Valve	2	C-606	331000
9.7	Water Pipe - Sewer Crossing	4	C-606	331000
9.8	Lateral Wye Connection	3	C-607	331000
9.9	Post-Indicator Valve	5	C-607	331000

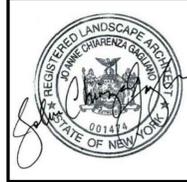
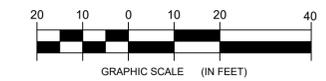
- ### UTILITY REFERENCE NOTES
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STRUCTURE	STRUCTURE TYPE	FRAME & COVER/GRATE
D-9	18" Nyloplast Drain Basin	Frame: 1899CGPL Cover/Grate: 1899CGPL
D-10	18" Nyloplast Drain Basin	Frame: 1899CGPL Cover/Grate: 1899CGPL
D-11	18" Nyloplast Drain Basin	Frame: 1899CGPL Cover/Grate: 1899CGPL
D-12	2'x2' Catch Basin	Frame: Reticuline #9 Cover/Grate: Reticuline #9
D-13	2'x2' Catch Basin	Frame: Reticuline #9 Cover/Grate: Reticuline #9
D-14	18" Nyloplast Drain Basin	Frame: 1899CGPL Cover/Grate: 1899CGPL
D-15	18" Nyloplast Drain Basin	Frame: 1899CGPL Cover/Grate: 1899CGPL
D-16	2'x2' Catch Basin	Frame: Neenah R-1795-G Cover/Grate: Neenah R-2401-A
D-17	2'x2' Catch Basin	Frame: Reticuline #9 Cover/Grate: Reticuline #9
D-18	4' Manhole	Frame: EJCO 1040Z Cover/Grate: EJCO 1040A "STORM"
D-19	4' Manhole	Frame: EJCO 1040Z Cover/Grate: EJCO 1040A "STORM"

UTILITY PLAN LEGEND

ITEM	SYMBOL
STORM DRAINAGE LINE	— D — D —
UNDERDRAIN LINE	— D — D —
SANITARY LINE	— SAN —
WATER LINE	— W — W —
ELECTRIC LINE - UNDERGROUND	— UGE —
DATA LINE - UNDERGROUND	— UGD —
HAND HOLE	[E]
ROLLED EROSION CONTROL PRODUCT OR TURF REINFORCEMENT MAT	[Grid Pattern]



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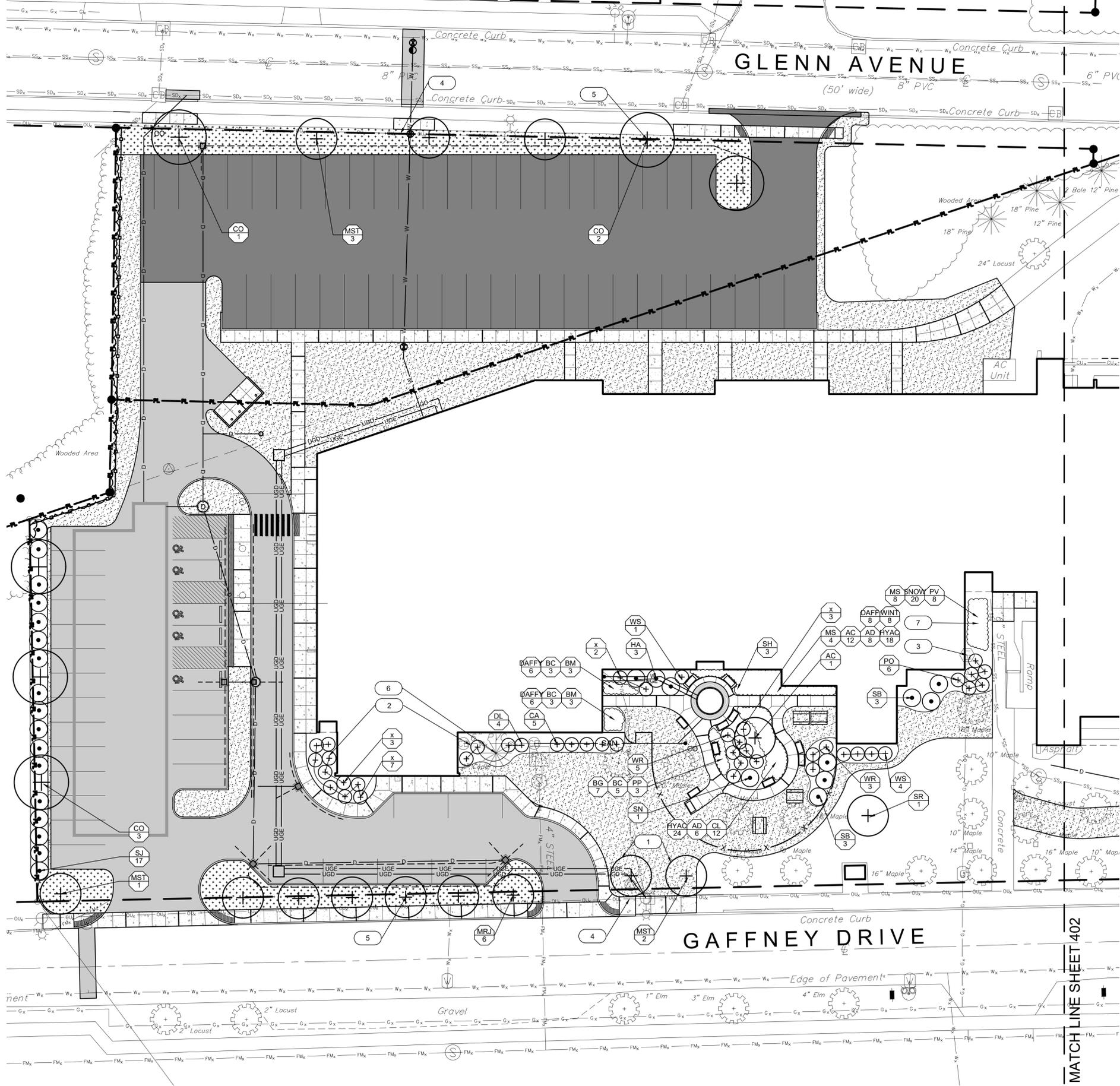
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Utility Plan

C-302



PLANTING LEGEND	
ITEM	SYMBOL
DECIDUOUS SHADE TREE	+
SMALL DECIDUOUS TREE	+
SHRUBS	+
PERENNIAL & GRASS PLANTINGS	☼
EDGE OF EXISTING TREES / BRUSH	~~~~~
LAWN	▨
INSTALL 30" DEPTH PLANTING SOIL MIX AND SEED	▩

PLANTING REFERENCE NOTES

- 1 DECIDUOUS TREE PLANTING, TYP
- 2 SHRUB PLANTING, TYP
- 3 COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT CONFLICTS TO LANDSCAPE ARCHITECT
- 4 EXISTING OVERHEAD UTILITY LINE TO REMAIN. DO NOT DISTURB. ONLY SMALL DECIDUOUS TREES SHALL BE PLANTED UNDER THIS LINE
- 5 LOCATE TREES PARALLEL WITH WALK
- 6 EXISTING TREE TO REMAIN. DO NOT DISTURB
- 7 PERENNIAL & GRASS PLANTING, TYP
- 8 BIORETENTION AREA SEED MIX
- 9 OMITTED
- 10 BACKFILL EDGES OF EXISTING WALKS WITH TOPSOIL FLUSH WITH SURFACE OF EXISTING WALK AND SEED

10	PLANTING AND LANDSCAPE	DETAIL #	SHEET #	SPEC SECTION
10. 3	Planting Deciduous Tree - upright stakes	1	C-603	329300
10. 5	Planting Deciduous Multi-Stem Tree	4	C-603	329300
10. 11	Planting Shrub - Massing	3	C-603	329300
10. 12	Planting Perennial and Groundcover	2	C-603	329300
10. 14	Planting - Plant Layout	5	C-603	329300
10. 16	Landscape Edge - Spade Cut	6	C-603	329300

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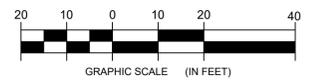
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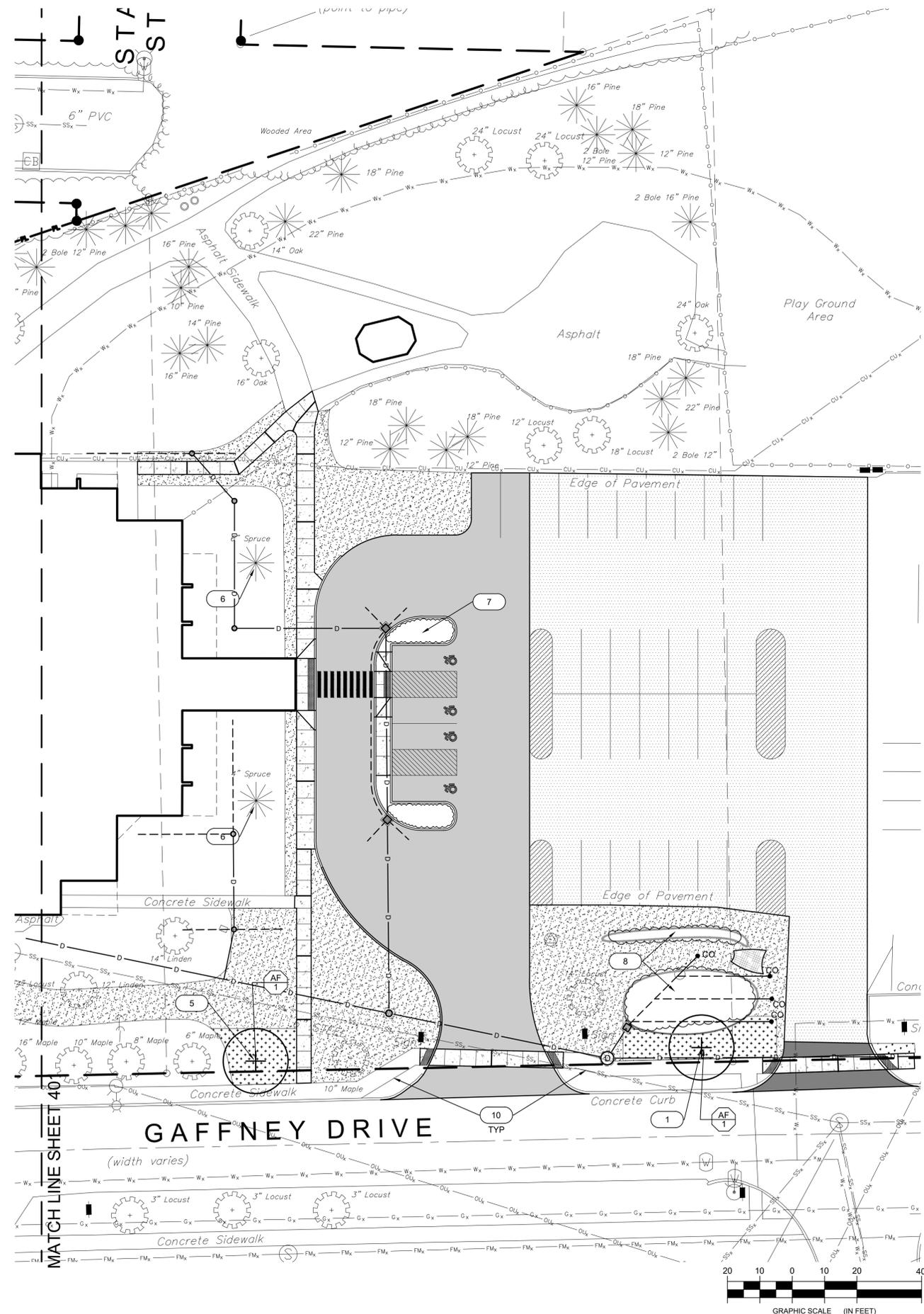
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Planting Plan

C-401



PLANT MATERIALS PALETTE						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS	QUALITIES
SHADE TREES						
AF	ACER X FREEMANII	FREEMAN MAPLE	2" CALIPER	BALLED & BURLAPPED (B&B)	PROVIDE ONE OF THE FOLLOWING CULTIVARS: AUTUMN BLAZE, MARMO, OR SIENA GLEN	FAST-GROWING; BRILLIANT FALL COLOR
CO	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRAIRIE PRIDE COMMON HACKBERRY	BALL & BURLAP	BALL & BURLAP		
SMALL - FLOWERING TREES						
AC	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	8' HEIGHT	BALLED & BURLAPPED (B&B)	HEAVY MULTISTEM, MIN 3 BOLES, MAX 5 BOLES	NATIVE FLOWERING TREE, FRUIT, MULTISTEM FORM & FALL COLOR
MRJ	MALUS 'JEWELCOLE'	RED JEWEL CRABAPPLE	1-1/2" CALIPER	B&B OR CONTAINER-GROWN		WHITE FLOWER, PERSISTENT SMALL RED FRUIT; DISEASE-RESISTANT
MST	MALUS 'SUTZAM'	SUGAR TYME CRABAPPLE	1-1/2" CALIPER	B&B OR CONTAINER-GROWN		WHITE FLOWER, PERSISTENT SMALL RED FRUIT; DISEASE-RESISTANT
SR	SYRINGA RETICULATA 'BALLNCE'	SNOWDANCE JAPANESE TREE LILAC	1-1/2" CALIPER	B&B OR CONTAINER-GROWN		
SHRUBS						
CA	CLETHRA ALNIFOLIA 'VANILLA SPICE'	VANILLA SPICE PEPPERBUSH	2 GALLON	CONTAINER		FRAGRANT WHITE SUMMER BLOOM; ATTRACTS POLLINATORS
DL	DIERVILLA LONICERA 'COPPER'	COPPER BUSH HONEYSUCKLE	2 GALLON	CONTAINER		COLD-HARDY NATIVE CULTIVAR; COPPER SPRING FOLIAGE; YELLOW FLOWERS & SEEDS ATTRACT BIRDS
HA	HYDRANGEA ARBORESCENS 'HAAS HALO'	HAAS HALO HYDRANGEA	3 GALLON	CONTAINER		COLD-HARDY, NATIVE CULTIVAR; WHITE BLOOM; ATTRACTS POLLINATORS
PF	POTENTILLA FRUTICOSA 'HAPPY FACE'	HAPPY FACE CINQUEFOIL	2 GALLON	CONTAINER		REPEAT SUNNY YELLOW BLOOM SPRING-LATE SUMMER, COMPACT SIZE
PO	PHYSOCARPUS OPULOFOLIUS 'SMNPOBLR'	GINGER WINE NINEBARK	2 GALLON	CONTAINER		NATIVE SHRUB CULTIVAR; GINGER-BRONZE FOLIAGE
SN	SAMBUCUS NIGRA F. PORPHYROPHYLLA 'BLACK LACE'	BLACK LACE ELDER	2 GALLON	CONTAINER		FERN-LIKE, DARK PURPLE FOLIAGE; LIGHT PINK FLOWERS; BERRIES
SJ	SPIREA JAPONICA 'DOUBLE PLAY DOOZIE'	DOUBLE PLAY DOOZIE SPIREA	2 GALLON	CONTAINER		REPEAT ROSE-PINK BLOOM SPRING-FALL; COMPACT SIZE
SB	SYRINGA X 'PENDA'	BLOOMERANG PURPLE LILAC	3 GALLON	CONTAINER		REPEAT BLOOM MAY-SEPT; FRAGRANT
WR	WEIGELA 'BOKRASPIWI'	SPILLED WINE WEIGELA	1 GALLON	CONTAINER		DARK RED FOLIAGE, ROSE-RED SPRING BLOOM; COMPACT SIZE & FORM
WS	WEIGELA 'SONIC BLOOM'	SONIC BLOOM WEIGELA	3 GALLON	CONTAINER		REPEAT ROSE-PINK BLOOM; ATTRACTS POLLINATORS
PERENNIALS						
AD	ARUNCUS DIOICUS	GOATSBEAR	1 GALLON	CONTAINER		NATIVE; WHITE PLUME FLOWER; SHADE-PART SUN
AC	ASTILBE CHINENSIS	ASTILBE	1 GALLON	CONTAINER		RED/PINK/WHITE PLUME FLOWER; SHADE-PART SUN; DRY SHADE
BC	BERGENIA CORDIFOLIA 'SPRING FLING'	SPRING FLING BERGENIA	#1	CONTAINER		THICK, SHINY FOLIAGE; PINK FLOWER SPRING; SHADE TO SUN; DRY SHADE
BM	BRUNNERA MACROPHYLLA 'JACK FROST'	JACK FROST BRUNNERA	#1	CONTAINER		WHITE-FROSTED FOLIAGE; SHADE
BG	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	#1	CONTAINER		NATIVE GRASS; ORNAMENTAL SEED HEADS; COMPACT SIZE
CL	CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	1 GALLON	CONTAINER		NATIVE GRASS; PART SHADE; ORNAMENTAL SEED HEADS; PROVIDES MOVEMENT & SOUND
MS	MATTEUCIA STRUTHIOPTERIS	OSTRICH FERN	1 GALLON	CONTAINER		NATIVE FERN; SHADE & MOISTURE; UPRIGHT FORM
PP	PHLOX PANICULATA	GARDEN PHLOX	#1	CONTAINER		LONG-FLOWERING; ATTRACTS POLLINATORS & BIRDS
PV	POLYGONATUM O. 'VARIEGATUM'	VARIEGATED SOLOMON'S SEAL	1 GALLON	CONTAINER		NATIVE CULTIVAR; SHADE
SH	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSSEED	1 GALLON	CONTAINER		NATIVE; FINE-TEXTURED CLUMP FORM GRASS
SPRING BULBS						
WINT	ERANTHIS HYEMALIS	WINTER ACONITE	3.5-4CM	TUBER	PLANT WITH 4 INCHES COVER.	EARLY YELLOW BLOOM; NATURALIZES
SNOW	GALANTHUS NIVALIS	SNOWDROPS	5CM/ UP	BULB	PLANT WITH 4 INCHES COVER.	EARLY WHITE BLOOM; NATURALIZES
HYAC	HYACINTHOIDES HISPANICA	WOOD HYACINTH	8CM/ UP	BULBS	MIXED BLUE & WHITE; PLANT WITH 4 INCHES COVER.	WHITE & BLUE BLOOMS LATE SPRING; NATURALIZES
DAFFY	NARCISSUS VARIETIES	DAFFODILS	DN1; 16CM+	BULBS	PLANT WITH 6 INCHES COVER.	MIDDLE-LATE YELLOW BLOOM; NATURALIZES
SUMMER BULBS						
ALLI	ALLIUM SPHAEROCEPHALON	DRUMSTICK ALLIUM	6/7 CM	BULBS	PLANT WITH 5 INCHES COVER.	EARLY SUMMER; UNIQUE BLOOM SHAPE
ASIA	LILIUM ASIATICUM	ASIATIC LILIES	16/17 CM	BULBS	MIXED COLORS; PLANT WITH 8 INCHES COVER.	MID-SUMMER; BRILLIANT COLORED BLOOMS
ORIE	LILIUM ORIENTALIS 'STARGAZER'	STARGAZER ORIENTAL LILY	16/17 CM	BULBS	PLANT WITH 8 INCHES COVER.	MID-LATE SUMMER; FRAGRANT BLOOMS

- PLANTING REFERENCE NOTES**
- DECIDUOUS TREE PLANTING, TYP
 - SHRUB PLANTING, TYP
 - COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT CONFLICTS TO LANDSCAPE ARCHITECT
 - EXISTING OVERHEAD UTILITY LINE TO REMAIN. DO NOT DISTURB. ONLY SMALL DECIDUOUS TREES SHALL BE PLANTED UNDER THIS LINE
 - LOCATE TREES PARALLEL WITH WALK
 - EXISTING TREE TO REMAIN. DO NOT DISTURB
 - PERENNIAL & GRASS PLANTING, TYP
 - BIORETENTION AREA SEED MIX
 - OMITTED
 - BACKFILL EDGES OF EXISTING WALKS WITH TOPSOIL FLUSH WITH SURFACE OF EXISTING WALK AND SEED

PLANTING LEGEND

ITEM	SYMBOL
DECIDUOUS SHADE TREE	+
SMALL DECIDUOUS TREE	+
SHRUBS	+ ⊙
PERENNIAL & GRASS PLANTINGS	☁
EDGE OF EXISTING TREES / BRUSH	~~~~~
LAWN	[Stippled Pattern]
INSTALL 30" DEPTH PLANTING SOIL MIX AND SEED	[Dotted Pattern]



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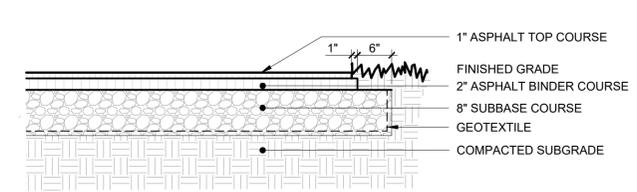
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PROJECT NO: W29.001.001
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 CHECKED BY: DRB

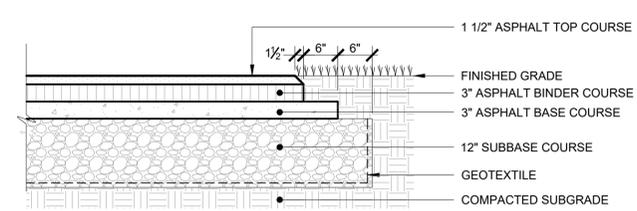
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Planting Plan

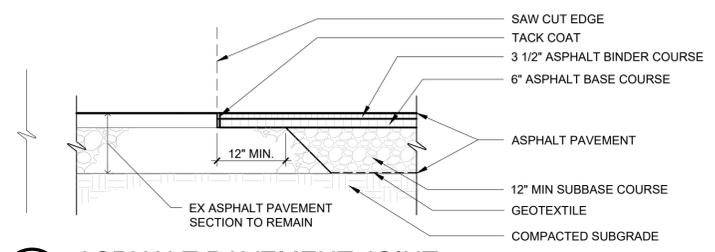
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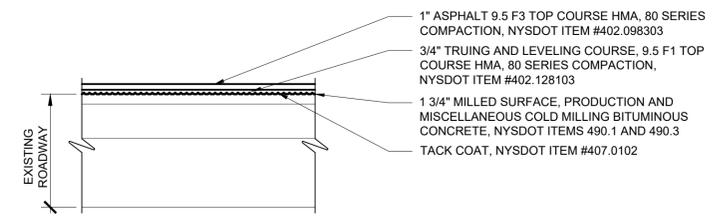
1 ASPHALT PAVEMENT - LIGHT DUTY
Scale: 3/4" = 1'-0"



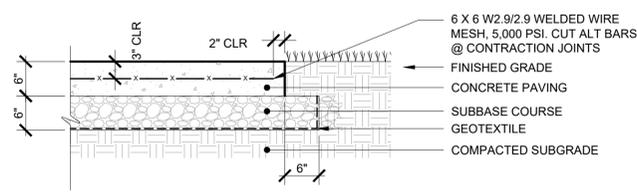
2 ASPHALT PAVEMENT - HEAVY DUTY
Scale: NTS



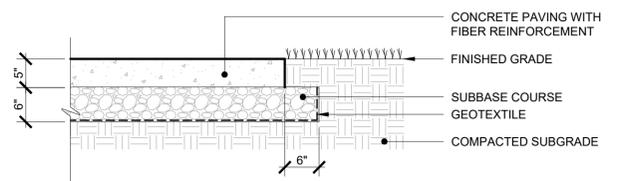
3 ASPHALT PAVEMENT JOINT
Scale: 3/4" = 1'-0"
FINAL SURFACE WILL BE MILLED & PAVED



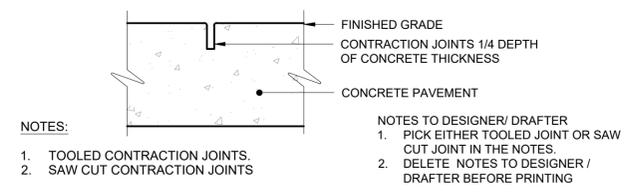
4 ASPHALT MILL & PAVE
Scale: 3/4" = 1'-0"



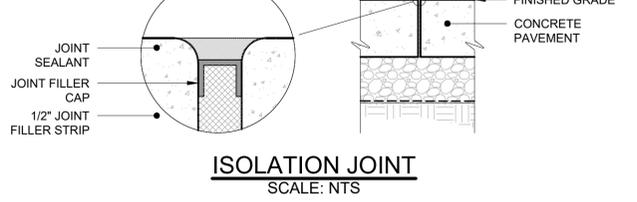
5 CONCRETE - WALK AT DRIVEWAYS
Scale: NTS
PEDESTRIAN & VEHICLE TRAFFIC



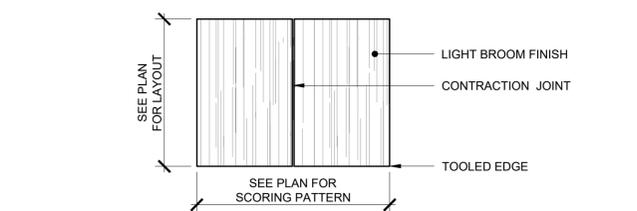
6 CONCRETE - WALK
Scale: NTS



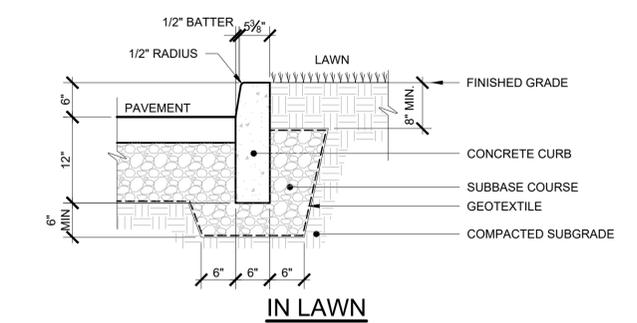
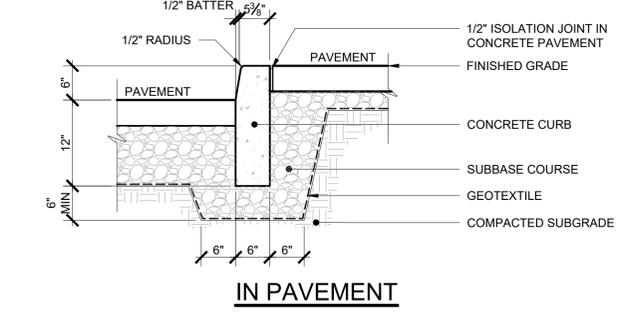
7 CONCRETE PAVEMENT JOINTS
Scale: NTS



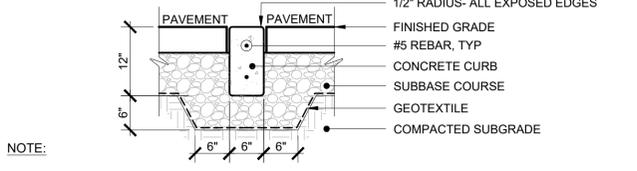
8 CONCRETE PAVEMENT FINISH
Scale: NTS



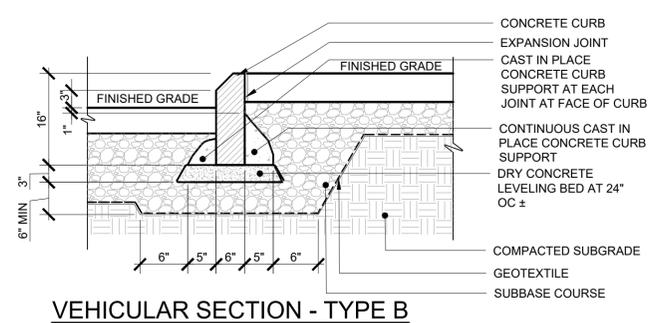
9 CONCRETE CURB - FLUSH
Scale: NTS



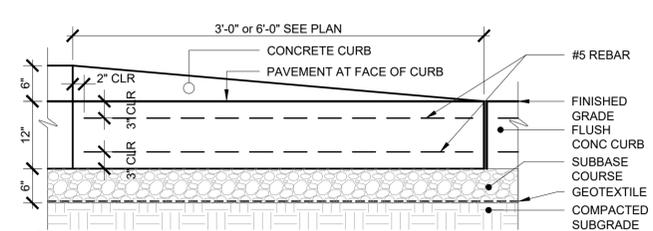
10 CONCRETE CURB - IN LAWN
Scale: NTS



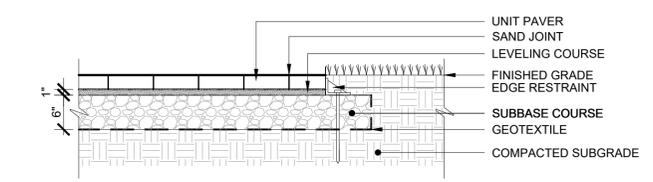
11 CONCRETE CURB - INTEGRAL
Scale: NTS



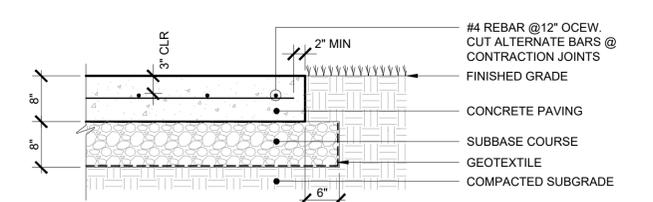
12 VEHICULAR SECTION - TYPE B
Scale: 3/4" = 1'-0"



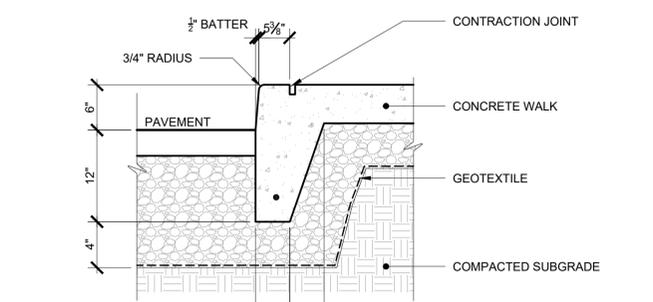
13 CONCRETE CURB - TRANSITION
Scale: NTS



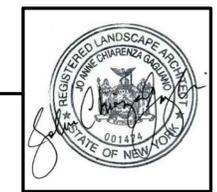
14 UNIT PAVING - LIGHT DUTY
Scale: NTS
PEDESTRIAN



15 CONCRETE DUMPSTER PAD
Scale: NTS



16 CONCRETE WALK & INTEGRAL CURB
Scale: NTS



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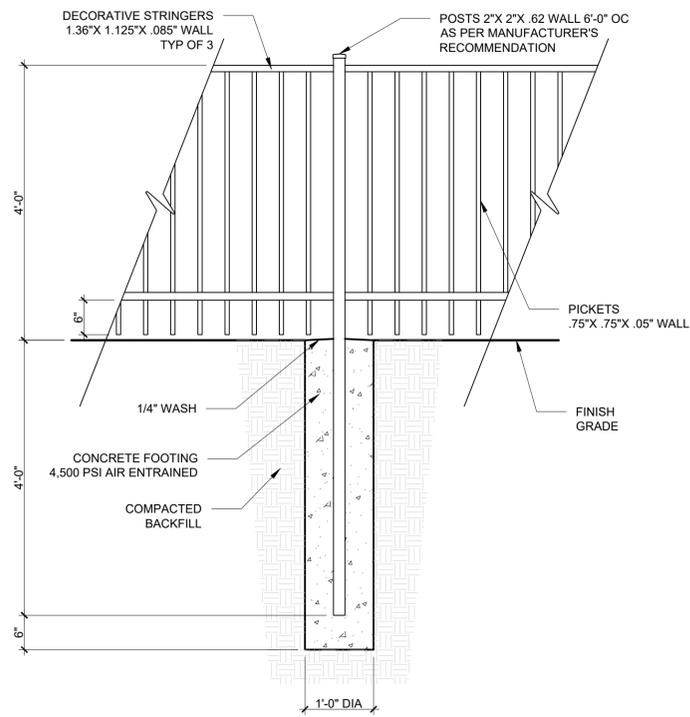
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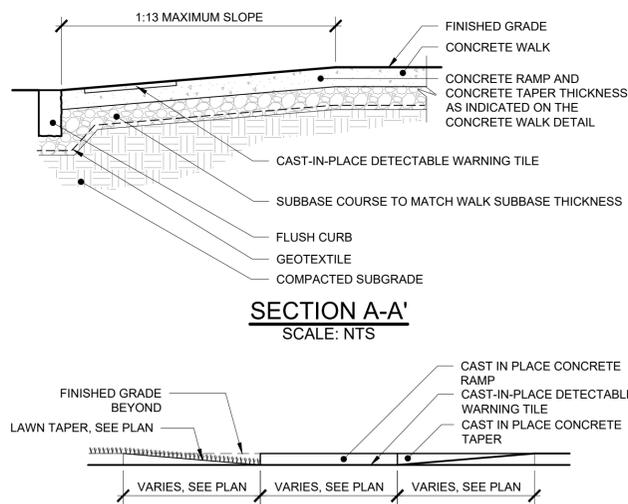
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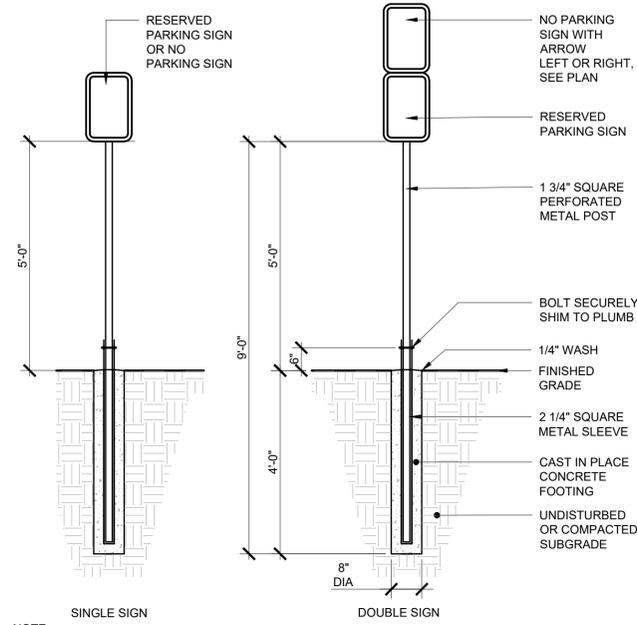
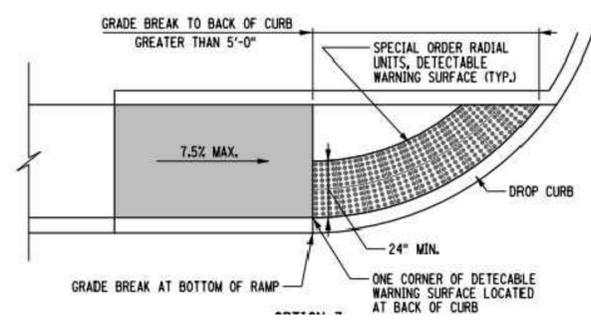
Site Details
C-601



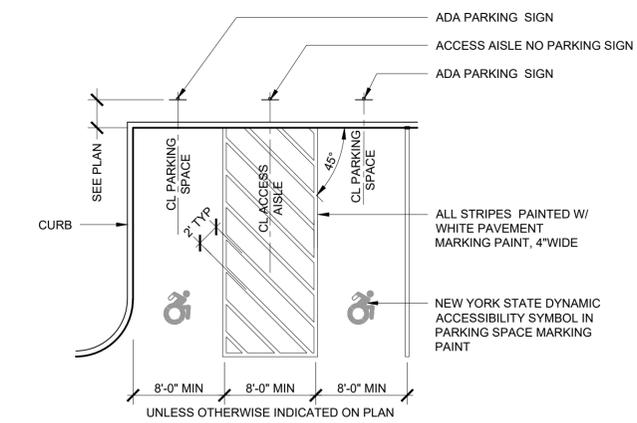
1 ORNAMENTAL METAL FENCE
Scale: NTS



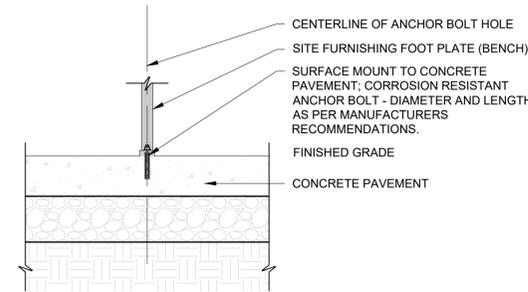
2 CONCRETE - ADA RAMP - TYPE 1
Scale: NTS
CAST-IN-PLACE TACTILE WARNING SURFACE



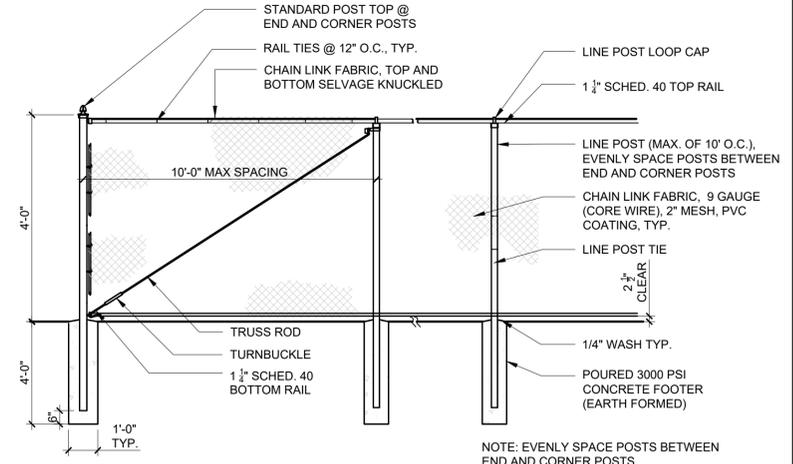
3 ADA PARKING SPACE - TRAFFIC SIGNS
Scale: 1/2" = 1'-0"
IN GREENSPACE



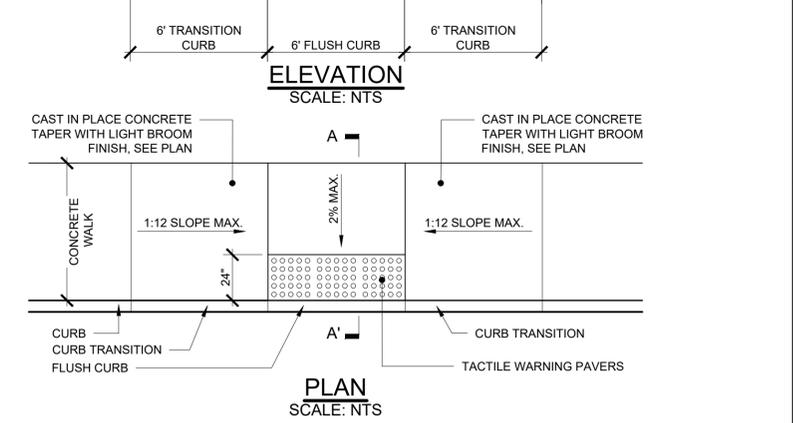
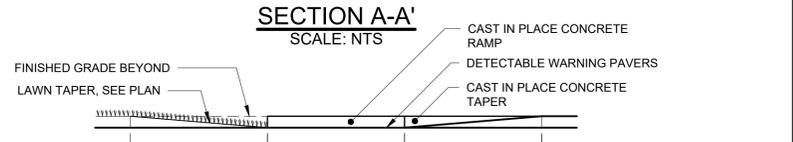
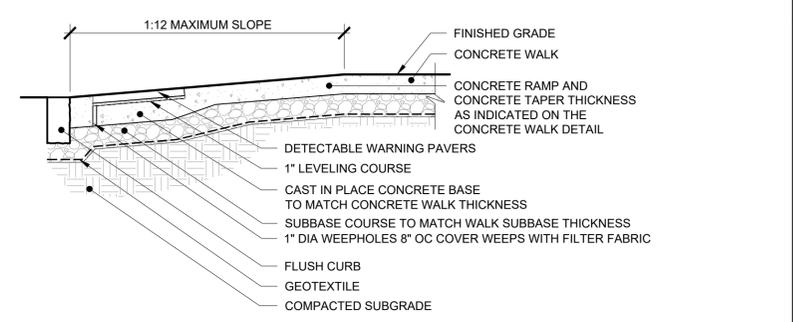
4 ADA PAVEMENT MARKING
Scale: NTS
NYS DYNAMIC



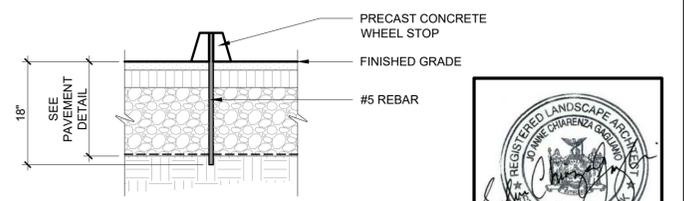
5 SITE FURNISHING SURFACE MOUNT
Scale: NTS



6 CHAIN LINK FENCE
Scale: NTS



8 CONCRETE - ADA RAMP - TYPE 2
Scale: NTS
TACTILE WARNING PAVERS



9 CONCRETE WHEEL STOP
Scale: NTS



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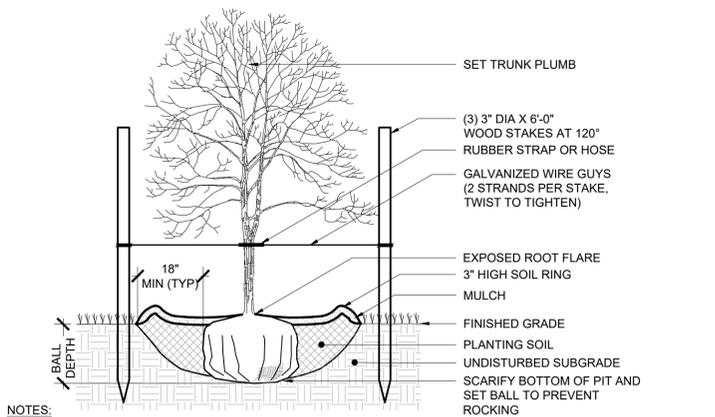
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Site Details

C-602

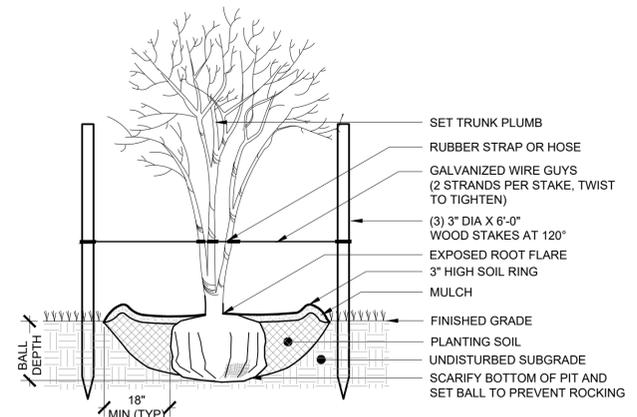
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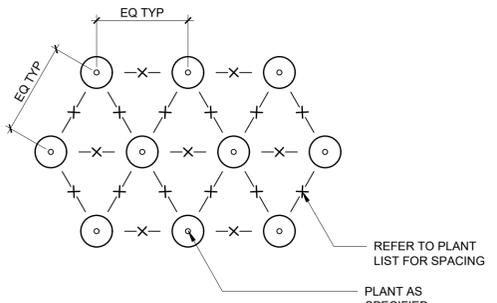
- NOTES:**
1. REMOVE BURLAP, ROPE, OR WIRE BASKET FROM TOP 1/3 OF BALL MINIMUM, CUT REMAINING PORTIONS OF ROPE OR WIRE BASKET ONCE PLANT IS IN THE FINAL POSITION IN PIT.
 2. TOP OF ROOT BALL SHALL BE SET FLUSH WITH SURROUNDING FINISHED GRADE.
 3. PLANTING SOIL: TOPSOIL MODIFIED TO PRODUCE VIABLE PLANTING SOIL BLEND TOPSOIL WITH THE AMENDMENTS LISTED, IN THE FOLLOWING QUANTITY BY VOLUME TO PRODUCE PLANTING SOIL:
 1. FIVE (5) PARTS TOPSOIL
 2. ONE (1) PART COMPOST
 3. PROVIDE 30" DEPTH PLANTING SOIL IN THE TREE PLANTING BUFFER STRIPS (INCLUDING BUMPOUTS) ALONG GAFFNEY DRIVE AND GLENN AVE AS SHOWN ON DWG C-401.

1 PLANTING - DECIDUOUS TREE
Scale: NTS WITH UPRIGHT STAKES

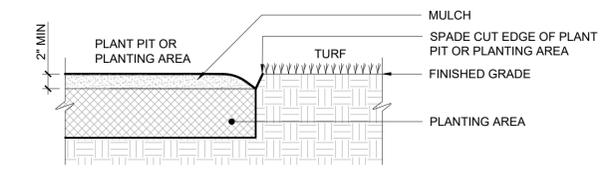


- NOTES:**
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 2. TOP OF ROOT BALL SHALL BE SET FLUSH WITH SURROUNDING FINISHED GRADE.

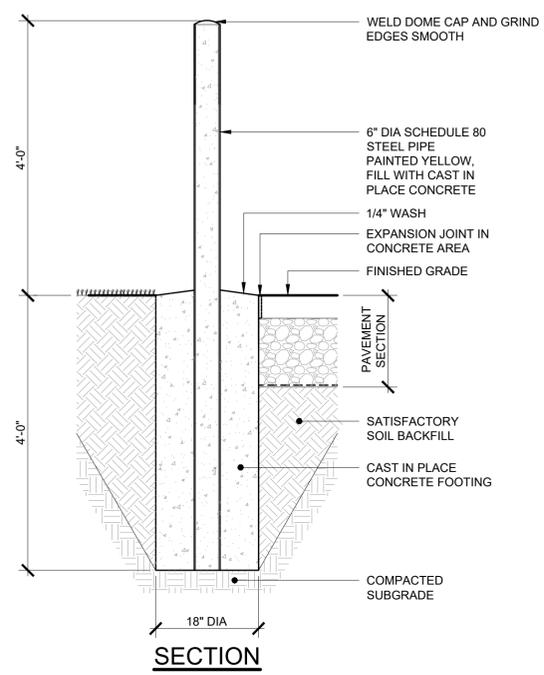
4 PLANTING - MULTI-STEM TREE
Scale: NTS WITH UPRIGHT STAKES



5 PLANTING - PLANT LAYOUT
Scale: NTS



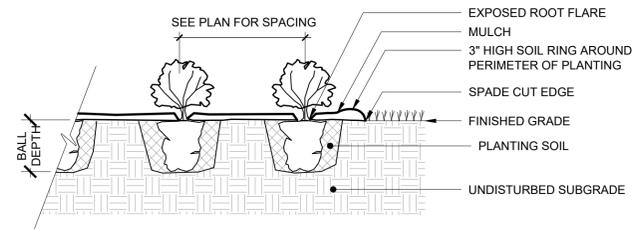
6 PLANTING - SPADE CUT EDGE
Scale: NTS



7 BOLLARD - STEEL PIPE
Scale: NTS PAINTED

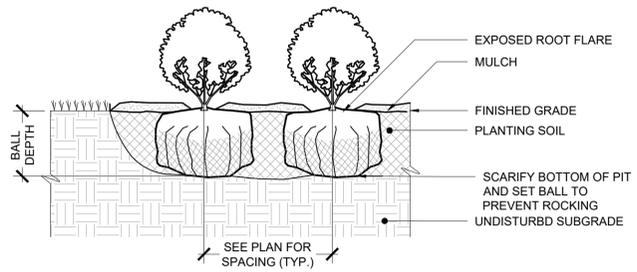
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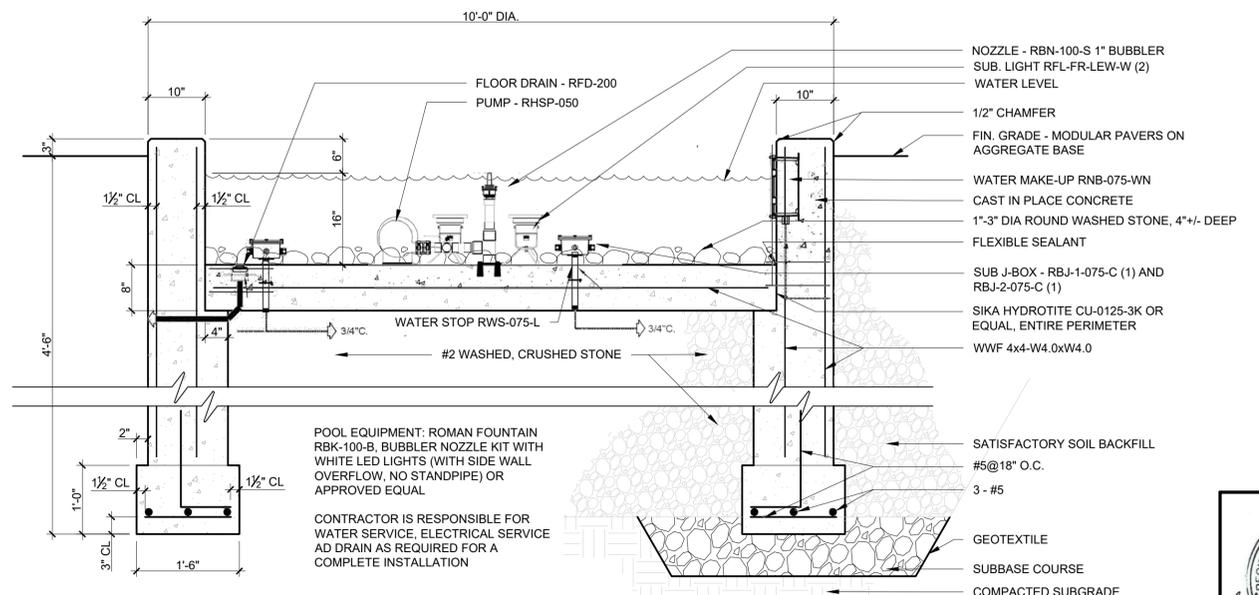
- NOTES:**
1. REMOVE GROWING CONTAINER
 2. LOOSEN POT BOUND ROOTS
 3. TOP OF ROOT BALL SHALL BE SET FLUSH WITH SURROUNDING FINISHED GRADE.
 4. SET PLANTS PLUMB

2 PLANTING - PERENNIAL & GROUND COVER
Scale: NTS



- NOTES:**
1. TOP OF ROOT BALL SHALL BE SET FLUSH WITH SURROUNDING FINISHED GRADE.
 2. SET PLANTS PLUMB

3 PLANTING SHRUB - MASSING
Scale: NTS WITH CONTINUOUS PLANT BED



8 FOUNTAIN
Scale: NTS

A

A

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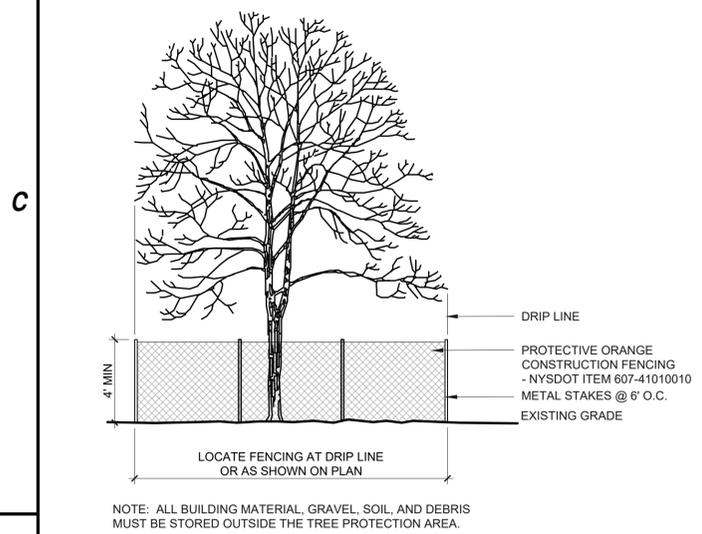
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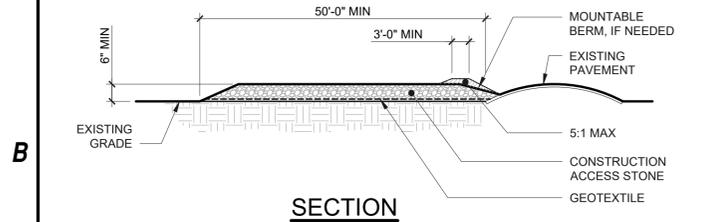
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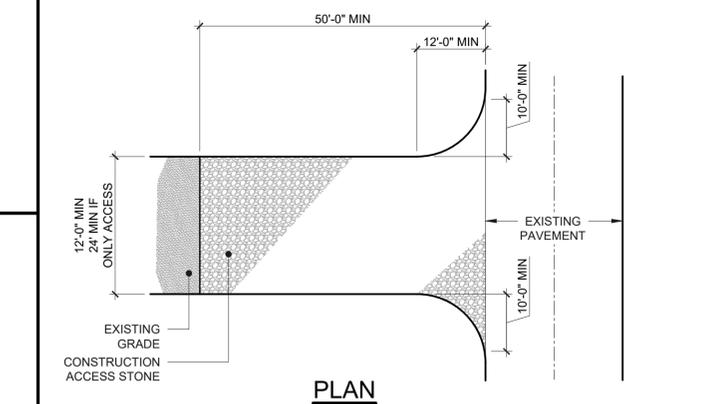
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C-603



1 VEGETATION PROTECTION
Scale: NTS



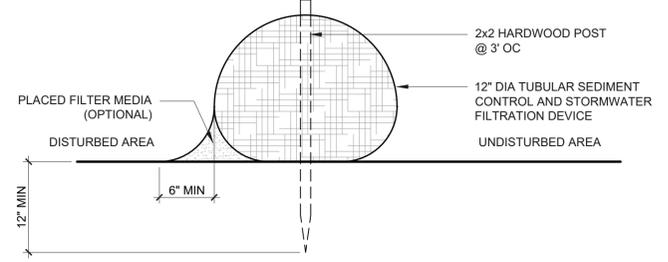
SECTION



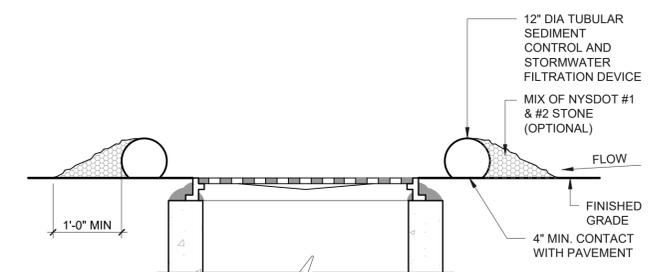
PLAN

- NOTES:**
- CONSTRUCTION ACCESS STONE SIZE - USE A 50% TO 50% MIX OF NYS DOT #4 AND #5 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - GEOTEXTILE:
 - MIRAFI 500X OR APPROVED EQUAL.
 - SHALL BE PLACED UNDER THE ENTIRE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED ACROSS THE STABILIZED CONSTRUCTION ACCESS. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHALL BE USED.
 - MAINTENANCE - THE CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ACCESS ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO A NYS DEC APPROVED SEDIMENT TRAPPING DEVICE.
 - TRAINED CONTRACTOR SHALL PROVIDE DAILY INSPECTIONS.

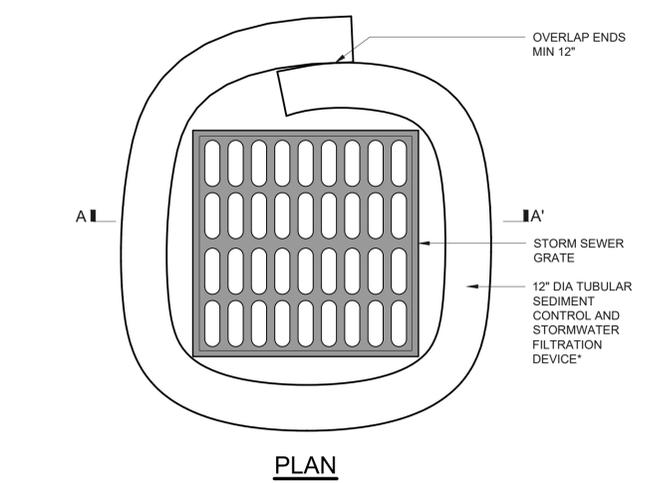
2 STABILIZED CONSTRUCTION ACCESS
Scale: NTS TEMPORARY



SECTION A-A' - NON-PAVED



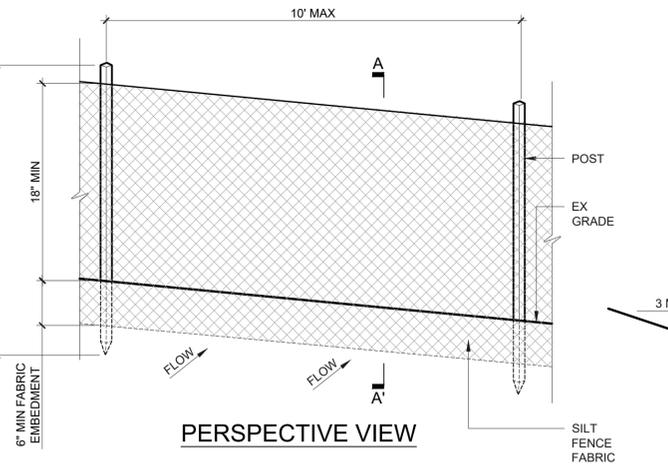
SECTION A-A' - PAVED



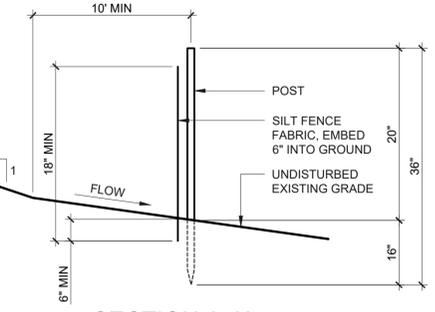
PLAN

- NOTES:**
- TUBULAR SEDIMENT CONTROL AND STORMWATER FILTRATION DEVICE SHALL BE FILTREXX FILTERS-0XX, OR EQUIVALENT.
 - REPLACE AND DISPOSE OF PER MANUFACTURERS SPECIFICATIONS.
 - MAXIMUM CONTRIBUTING DRAINAGE AREA SHALL BE 1.0 ACRES.

3 INLET PROTECTION
Scale: NTS TEMPORARY



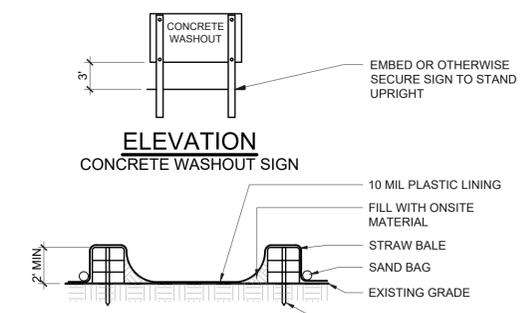
PERSPECTIVE VIEW



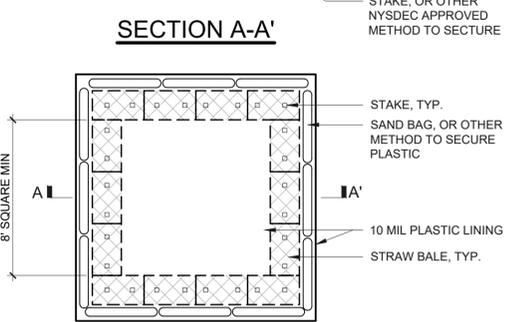
SECTION A-A'

- NOTES:**
- WHEN TWO SECTIONS OF SILT FENCE FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL.
 - PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
 - MAINTENANCE SHALL BE PERFORMED IMMEDIATELY AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

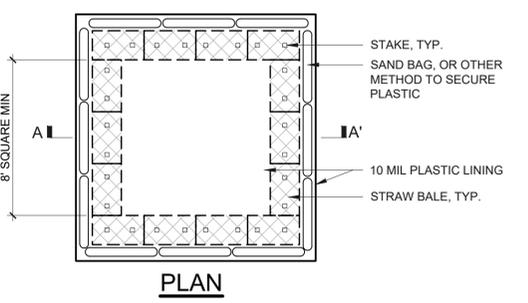
4 SILT FENCE - STANDARD
Scale: NTS TEMPORARY



ELEVATION
CONCRETE WASHOUT SIGN



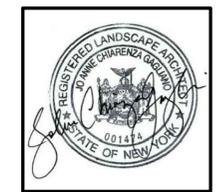
SECTION A-A'



PLAN

- NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SIZING, CONSTRUCTION, AND INTEGRITY OF THE WASHOUT. THE CAPACITY OF THE WASHOUT SHALL BE 60 GALLONS PER TRUCK TO BE CLEANED WITHIN THE EXPECTED MAINTENANCE FREQUENCY. ADDITIONAL CAPACITY SHALL BE PROVIDED TO ACCOMMODATE RAINFALL.
 - OTHER METHODS OF CONCRETE WASHOUT CONTAINMENT MAY BE UTILIZED IF APPROVED BY THE OWNER'S REPRESENTATIVE.
 - LOCATE WASHOUT AREA AT LEAST 100' FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES.
 - THE PLASTIC LINING SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AND SHALL BE REPLACED AT EVERY CLEANING.
 - DO NOT ALLOW RUNOFF TO ENTER THIS AREA.
 - THE CONCRETE WASHOUT SIGN SHALL BE PLACED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

5 CONCRETE WASHOUT AREA
Scale: NTS TEMPORARY



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The Arc
Jefferson - St. Lawrence
New York

MARK	DATE	DESCRIPTION
3	5/19/20	ADDRESS CITY COMMENTS
2	4/30/20	BID DOCUMENTS
1	4/22/20	ADDRESS CITY COMMENTS

MARK	DATE	DESCRIPTION
		REVISIONS

PROJECT NO: W29.001.001
DATE: 03/24/2020
DRAWN BY: HP
DESIGNED BY: JJJ
CHECKED BY: TFJD
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Details
C-604

1

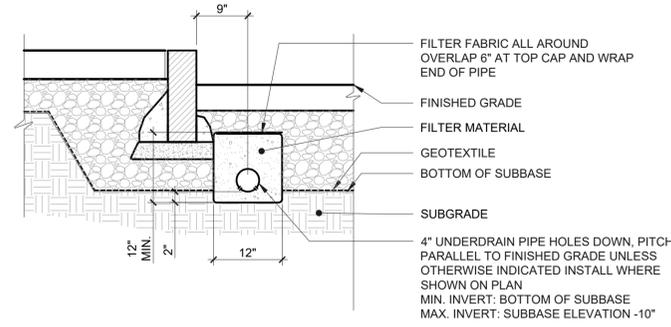
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3

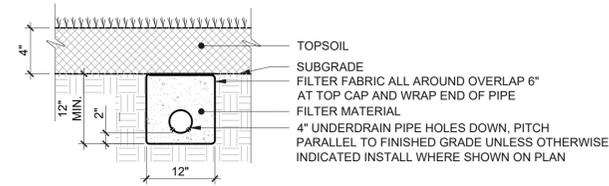
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C

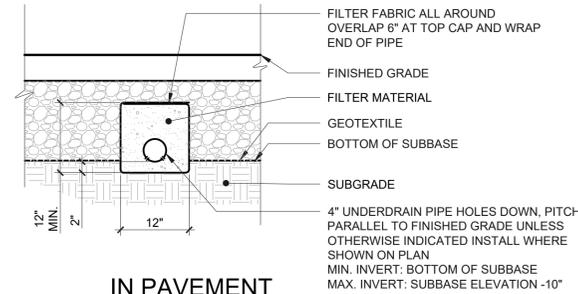
C



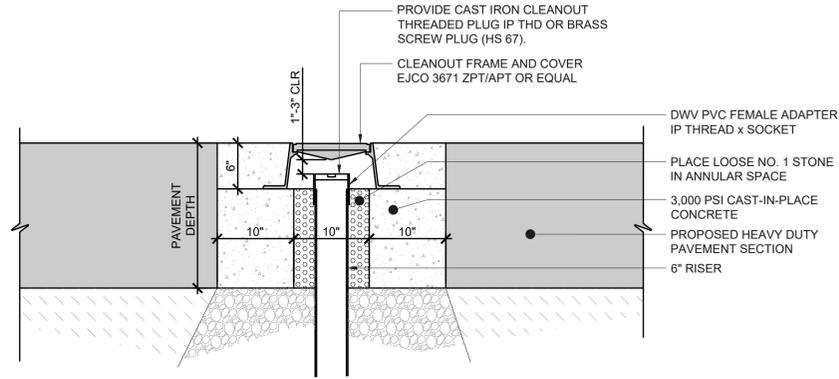
AT CURB



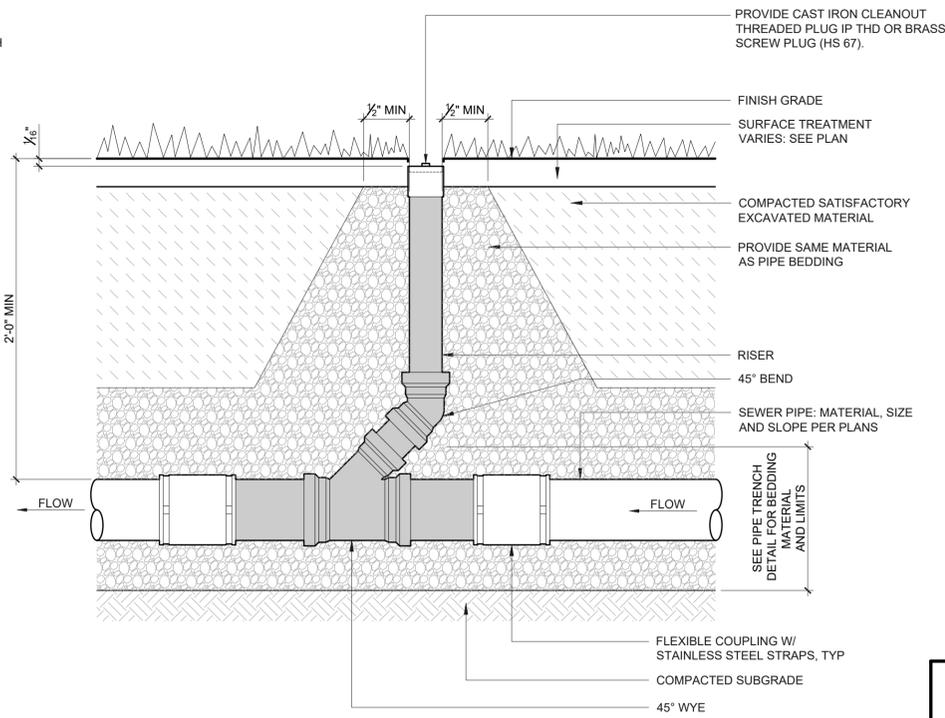
IN LAWN



IN PAVEMENT

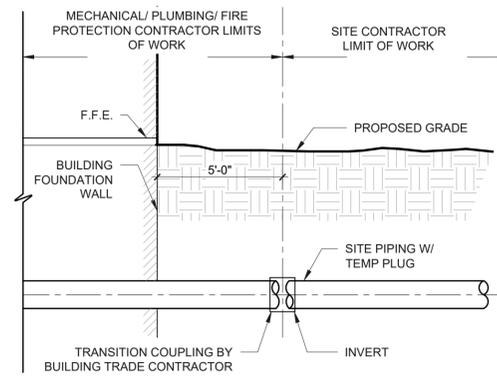


SECTION VIEW - PAVEMENT

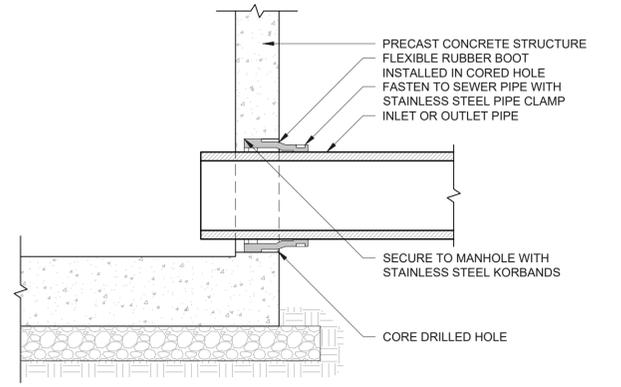


SECTION VIEW - LAWN

3 STORM - UNDERDRAIN
Scale: NTS



2 UTILITY - LIMITS OF WORK AT BUILDING
Scale: NTS



4 STORM PIPE - CONNECTION TO MANHOLE
Scale: NTS

5 CLEANOUT
Scale: NTS

B

B

A

A



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Fax: 315-455-9667
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REVISIONS

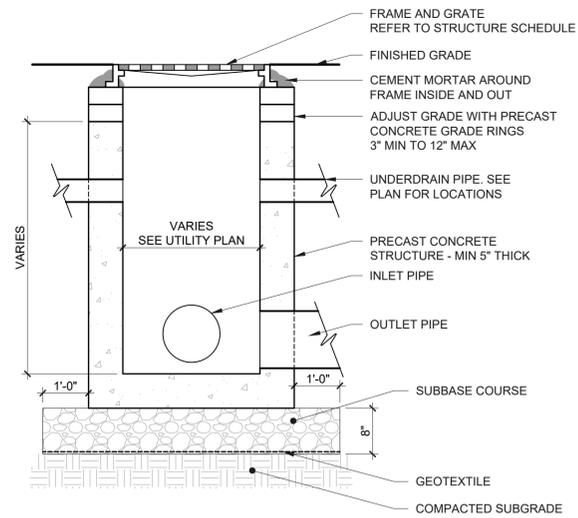
PROJECT NO: W29.001.001
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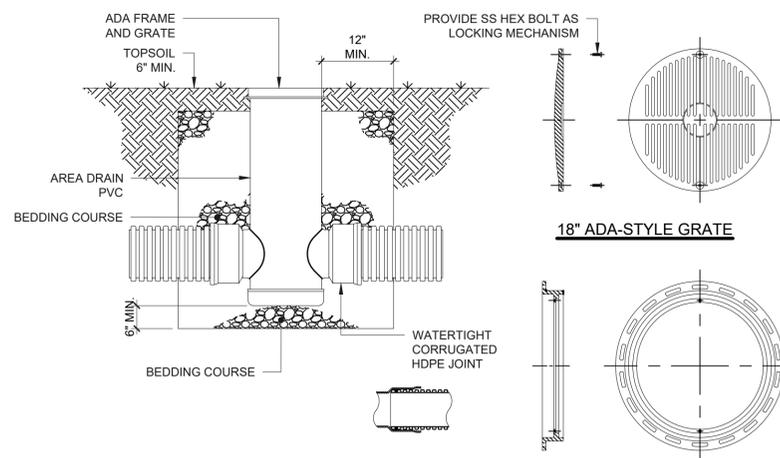
Details

C-605



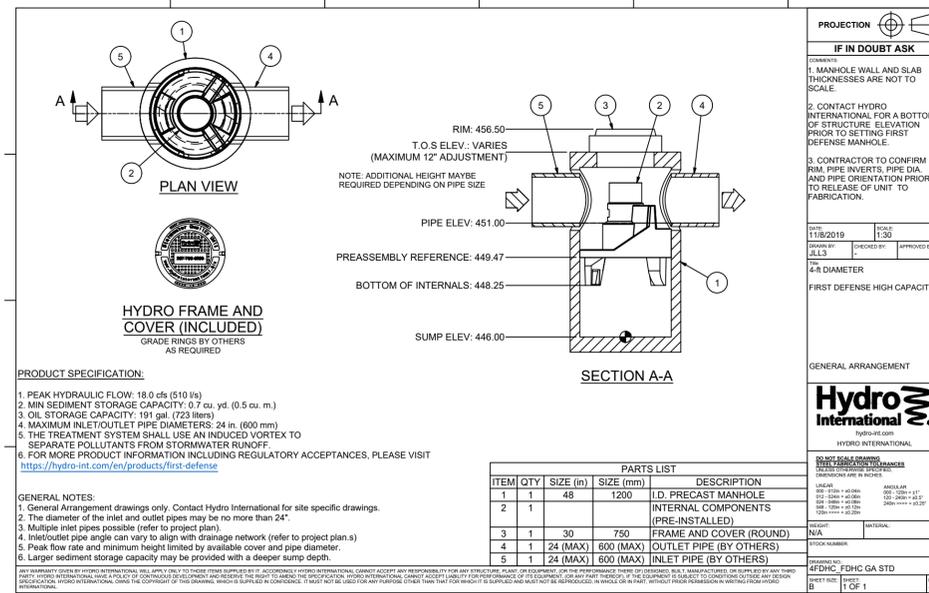
NOTE:
1. SEE PLAN FOR PIPE SIZES AND INVERT ELEVATIONS

1 STORM CATCH BASIN
Scale: NTS

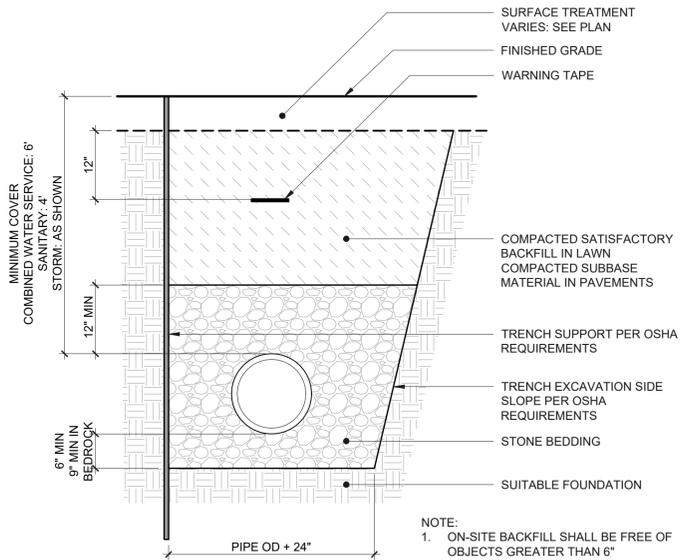


NON-TRAFFIC INSTALLATION

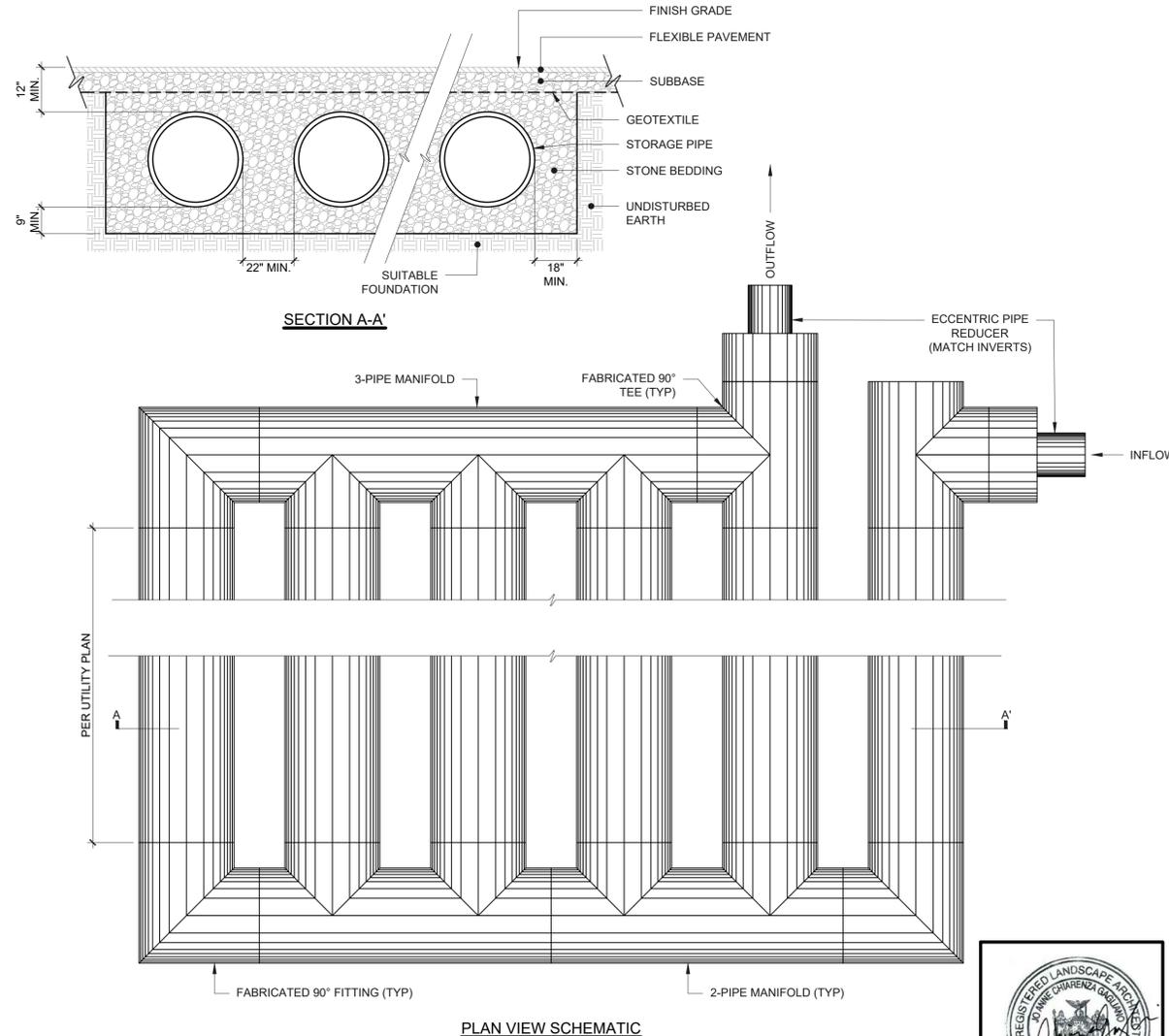
3 AREA DRAIN - NYLOPLAST
Scale: NTS



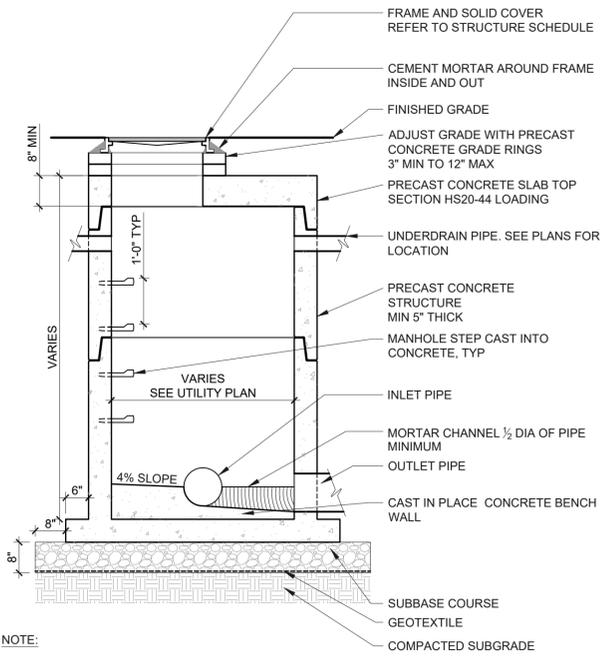
6 HYDRODYNAMIC SEPARATOR
Scale: NTS



4 PIPE TRENCH WITH STONE BEDDING
Scale: NTS

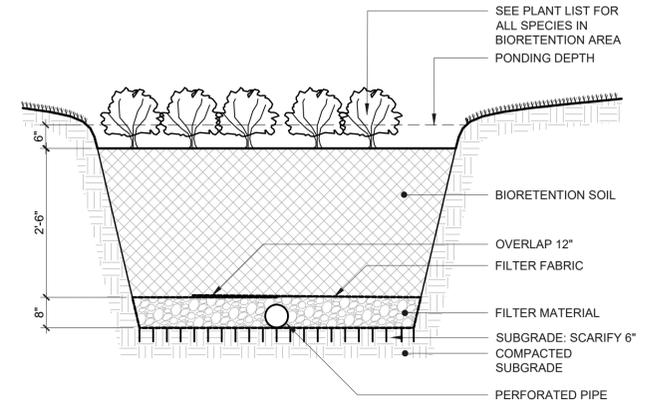


7 UNDERGROUND STORMWATER STORAGE
Scale: NTS



NOTE:
1. SEE PLAN FOR PIPE SIZES AND INVERT ELEVATIONS

2 STORM MANHOLE WITH TOP SLAB
Scale: NTS



5 BIORETENTION AREA
Scale: NTS

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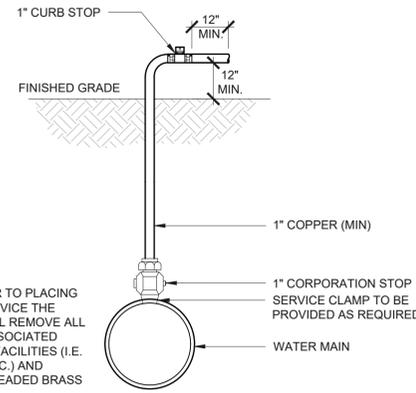
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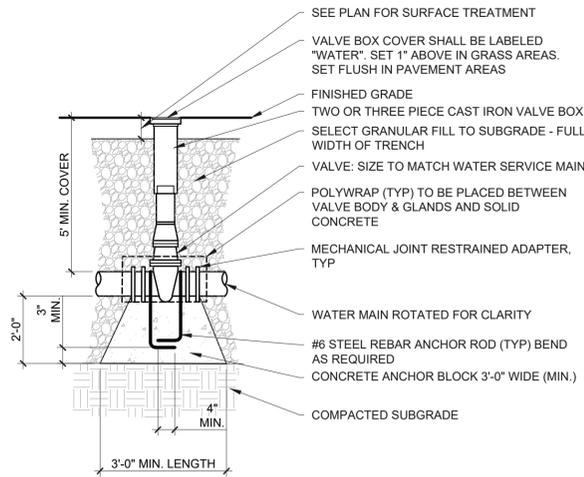
Details

C-606



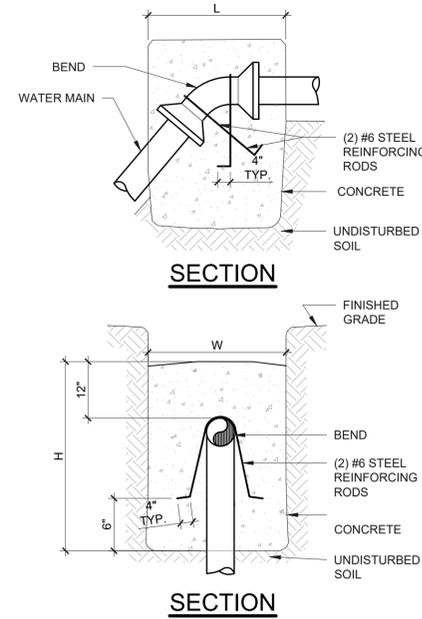
- NOTE:
1. IMMEDIATELY PRIOR TO PLACING WATER MAIN IN SERVICE THE CONTRACTOR SHALL REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES (I.E. SAMPLING TAPS, ETC.) AND REPLACE WITH THREADED BRASS PLUGS.
 - 1" CORPORATION STOP SERVICE CLAMP TO BE PROVIDED AS REQUIRED
 - 1" COPPER (MIN)
 - WATER MAIN

1 WATER DISINFECTION AND SAMPLING TAP
Scale: NTS



- NOTES:
1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL. IN NO CASE SHALL THE VALVE BOX BE SUPPORTED BY THE VALVE.
 2. BURIED VALVES GREATER THAN 2" IN DIAMETER MUST OPEN CLOCKWISE (RIGHT) AND HAVE OPENING COLORED RED FROM MANUFACTURER
 3. THE ACTIVATING NUT FOR VALVES SHALL BE EXTENDED TO MAXIMUM OF 30" BELOW FINISHED GRADE.

3 WATER VALVE
Scale: NTS

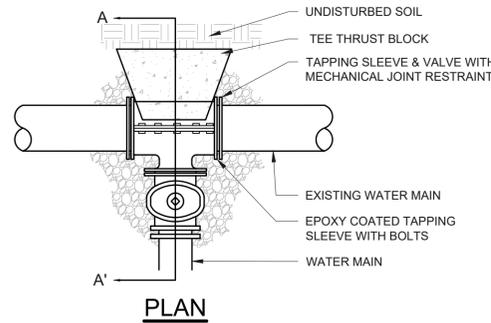


- NOTES:
1. THRUST BLOCKS OR MECHANICAL JOINT RESTRAINT SHALL BE PLACED AT ALL VERTICAL BENDS.
 2. THE LAST 4" OF THE ANCHOR RODS SHALL HAVE A 90° BEND WITH A 1/2" RADIUS.
 3. ANCHOR RODS SHALL BE TIGHTLY FIT TO THE RESTRAINED FITTING AND SHALL HAVE A MINIMUM OF 3" OF CONCRETE COVER IN ALL DIRECTIONS.
 4. KEEP CONCRETE CLEAR OF JOINTS AND JOINT ACCESSORIES. PLASTIC SHEETING OR BUILDING FELT MAY BE USED TO PREVENT CONCRETE FROM ADHERING TO THESE SURFACES.

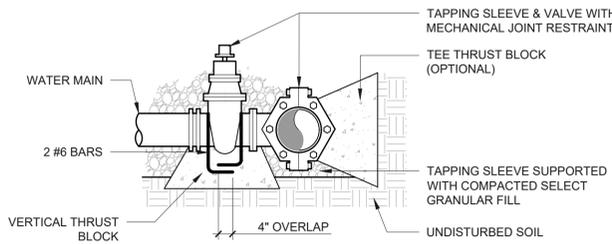
DIMENSIONS BASED ON INTERNAL PRESSURE OF 150 PSI AND A SOIL BEARING STRENGTH OF 500 PSF OR GREATER.

BEND	MINIMUM VOLUME (CY)	L (FT)	W (FT)	H (FT)
6" PIPE				
90°	2.1	5.0	4.0	3.0
45°	1.5	4.5	4.0	2.5
22.5°	0.8	3.0	3.0	2.5
11.25°	0.4	2.5	2.5	2.0

5 WATER - THRUST BLOCK
Scale: NTS FOR VERTICAL BENDS



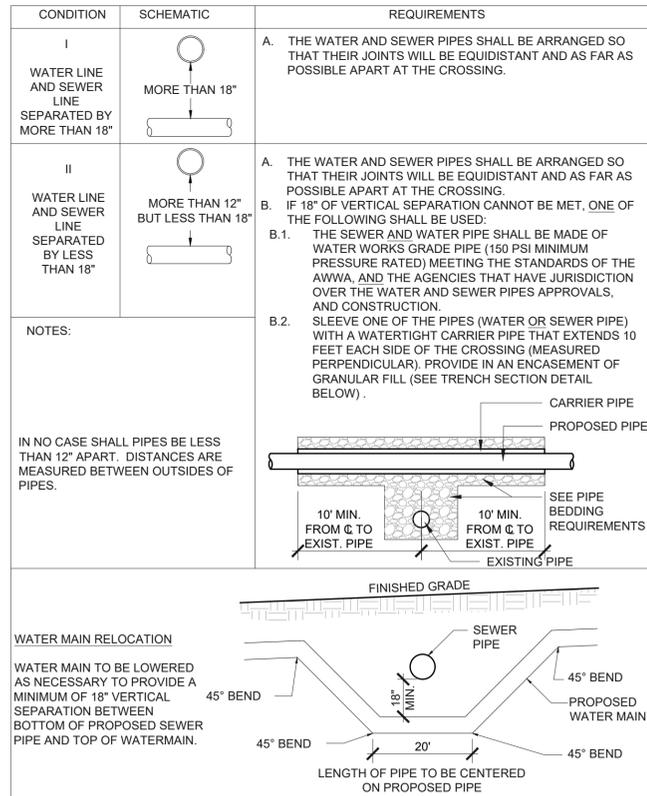
PLAN



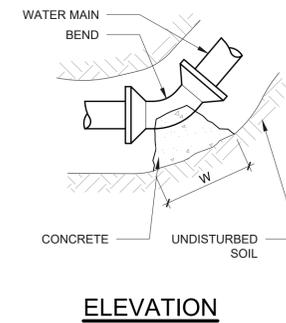
SECTION A-A'

- NOTES:
1. ALL PIPE FITTINGS ARE TO BE MECHANICALLY RESTRAINED.
 2. ALL PIPES AND FITTINGS TO BE WRAPPED IN POLYETHYLENE ENCASEMENT PRIOR TO PLACING CONCRETE THRUST BLOCKS.

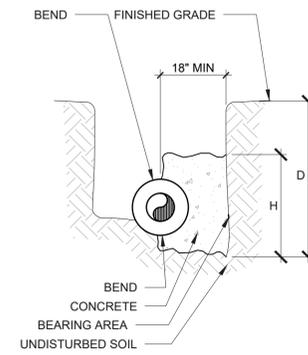
2 WATER - TAPPING SLEEVE AND VALVE
Scale: NTS



4 WATER AND SEWER CROSSING
Scale: NTS



ELEVATION



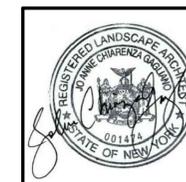
SECTION

- NOTES:
1. THRUST BLOCKS OR MECHANICAL JOINT RESTRAINT SHALL BE PLACED AT ALL HORIZONTAL BENDS.
 2. BEARING AREA SHALL BE PARALLEL TO THE EDGE OF THE FITTING AT THE FITTING MIDPOINT.
 3. KEEP CONCRETE CLEAR OF JOINTS AND JOINT ACCESSORIES. PLASTIC SHEETING OR BUILDING FELT MAY BE USED TO PREVENT CONCRETE FROM ADHERING TO THESE SURFACES.

DIMENSIONS BASED ON INTERNAL PRESSURE OF 150 PSI AND SOIL BEARING STRENGTH OF 1,000 PSF.

BEND	H (FT)	W (FT)	D (FT)
6" PIPE			
90°	3.0	4.5	7.0
45°	2.7	2.5	7.0
22.5°	1.5	2.5	6.5
11.25°	1.5	1.5	6.5

6 WATER - THRUST BLOCK
Scale: NTS FOR HORIZONTAL BENDS



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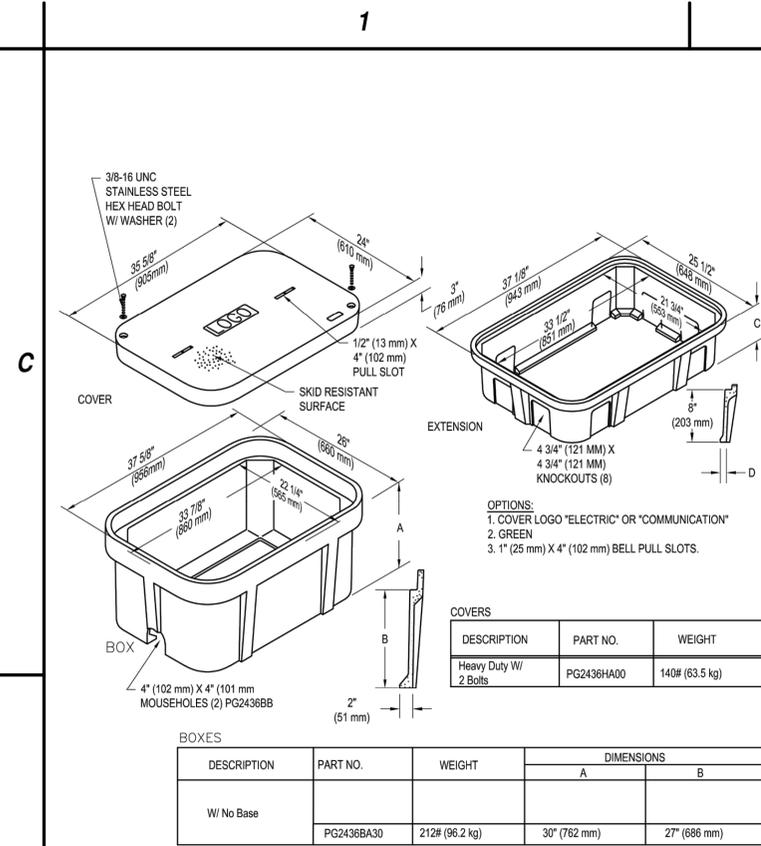
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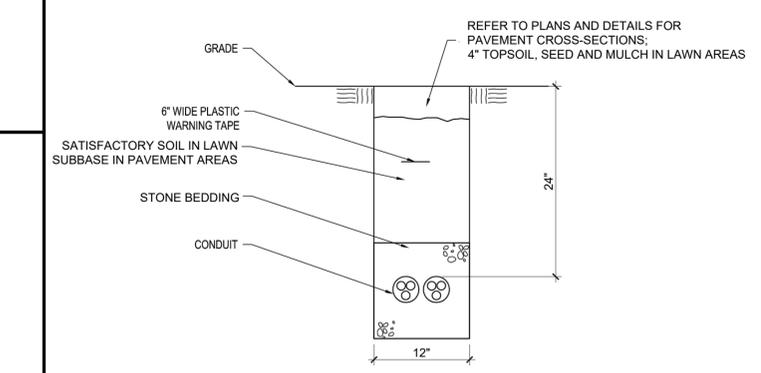
Details
C-607



NOTE:

- ELECTRICAL DETAILS SHOWN FOR COORDINATION ONLY.
- CONTRACTOR BID TO INCLUDE EXCAVATION, BACKFILL AND RESTORATION.
- INSTALLATION OF CONDUIT, CONDUCTORS AND HANDHOLES BY OTHERS.

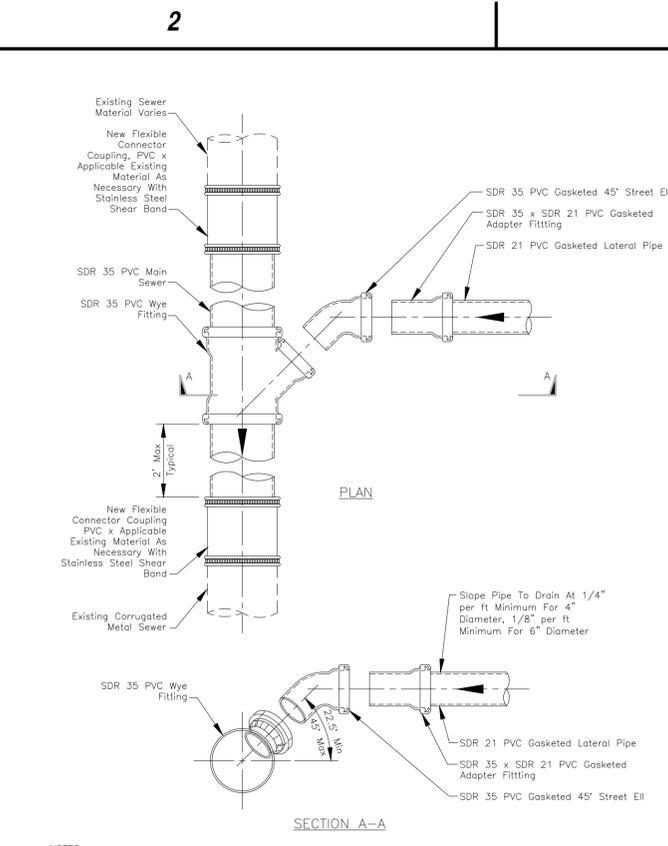
1 HAND HOLE
Scale: NTS



NOTE:

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- CONTRACTOR BID TO INCLUDE EXCAVATION, BACKFILL AND RESTORATION.
- INSTALLATION OF CONDUIT, CONDUCTORS AND HANDHOLES BY OTHERS.

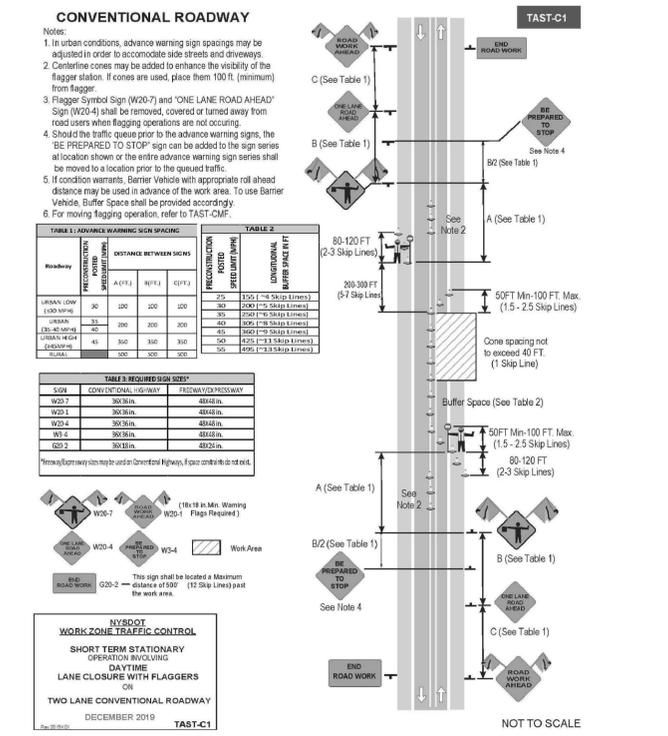
2 ELECTRICAL TRENCHING
Scale: NTS

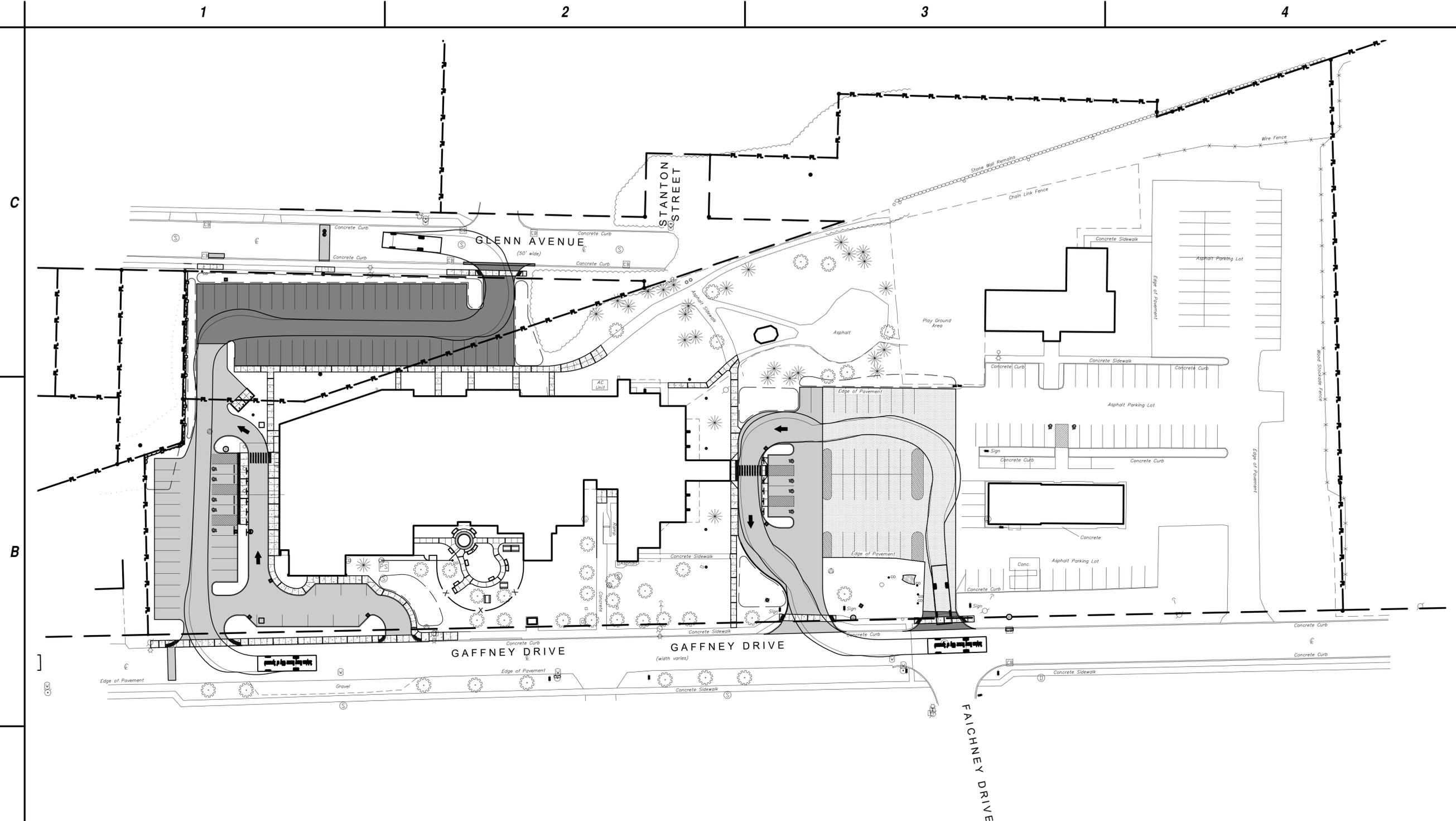


NOTES:

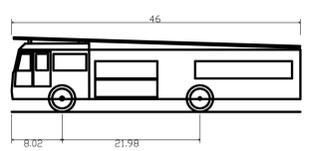
- Main sewer pipe, lateral pipe, wye and other fittings shall be gasketed type fittings. Solvent weld joints are not allowed.
- See sheet C-605 for pipe bedding and backfill.

3 LATERAL WYE CONNECTION
Scale: NTS





1 CIRCULATION & PARKING PLAN
Scale: 1"=40'

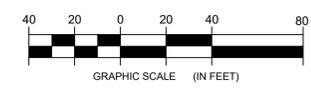


Sutphen Heavy Rescue (City of Syracuse)
 Overall Length 46.000ft
 Overall Width 12.000ft
 Overall Body Height 11.833ft
 Min Body Ground Clearance 2.035ft
 Track Width 12.000ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 40.083ft

2 VEHICLE INFORMATION
No Scale USED FOR VEHICLE TRACKING STUDY

ACCESSIBLE PARKING SPACE PROVISION		
TOTAL ON-SITE PARKING SPACES	REQUIRED ACCESSIBLE PARKING SPACES	PROVIDED ACCESSIBLE PARKING SPACES
203	7	11

LEGEND	
ITEM	SYMBOL
ASPHALT PAVEMENT - HEAVY DUTY	
CONCRETE PAVEMENT	
MILL & PAVE TOP COURSE ASPHALT PAVEMENT	
ASPHALT PAVEMENT - LIGHT DUTY	
DONOR INSCRIBED PAVERS	



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DRAWN BY:	SFG/KV/SJM
DESIGNED BY:	CR
CHECKED BY:	

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Vehicle & Pedestrian Circulation Plan
P-001

Public Hearing – 7:30 p.m.

May 26, 2020

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planning and Community Development Director

Subject: Changing the Approved Zoning Classification of 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence B to Neighborhood Business

A request has been submitted by Michael Altieri, P.E., of BCA Architects & Engineers for the above subject zone change request. The Planning Board reviewed the request at its May 5, 2020 meeting and adopted a motion recommending that City Council approve the zone change request as submitted.

The Jefferson County Planning Board considered the zone change request at its meeting held on May 26, 2020, pursuant to General Municipal Law Section 239-m, and adopted a motion that the project does not have any significant county-wide or inter-municipal issues and is of local concern only.

Attached is the zone change application, the Staff Report prepared for the Planning Board, an excerpt from their meeting minutes, and an existing zoning map. The complete application package can also be found in the online version of the City Council agenda.

The City Council has scheduled a public hearing on the zone change ordinance for 7:30 p.m. on Monday, June 1, 2020. After the public hearing, the City Council must approve the SEQRA resolution before voting on the attached ordinance.

ORDINANCE

Page 1 of 1

Changing the Approved Zoning Classification of 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000 and 14-21-108.000 from Residence B to Neighborhood Business

Council Member COMPO, Sarah V.
Council Member HENRY-WILKINSON, Henry J.
Council Member ROSHIA, Jesse C. P.
Council Member RUGGIERO, Lisa A.
Mayor SMITH, Jeffrey M.

Total

YEA	NAY

Introduced by

Council Member Ryan J. Henry-Wilkinson

BE IT ORDAINED where Michael Altieri, P.E., of BCA Architects & Engineers, has made an application by petition filed with the City Clerk, pursuant to Section 83 of the New York General City Law, to change the approved zoning classification of 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence B to Neighborhood Business, and

WHEREAS the Planning Board of the City of Watertown considered the zone change request at its May 5, 2020 meeting and adopted a motion recommending that City Council approve the zone change, and

WHEREAS a public hearing was held on the proposed zone change on June 1, 2020, after due public notice, and

WHEREAS the City Council has made a declaration of Negative Findings of the impacts of the proposed zone change according to the requirements of SEQRA, and

WHEREAS the City Council deems it in the best interest of the citizens of the City of Watertown to approve the requested zone change,

NOW THEREFORE BE IT ORDAINED that the approved zoning classification of 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 shall be changed from Residence B to Neighborhood Business, and

BE IT FURTHER ORDAINED that the Zoning Map of the City of Watertown shall be amended to reflect the zone change, and

BE IT FURTHER ORDAINED this amendment to the Zoning Ordinance of the City of Watertown shall take effect as soon as it is published once in the official newspaper of the City of Watertown, or otherwise printed as the City Manager directs.

Seconded by



B C A A R C H I T E C T S & E N G I N E E R S

April 15, 2020

Honorable Mayor and City Council
Engineering Department, Room 305
245 Washington Street
Watertown, NY 13601

Re: Sundus and Sarah LLC
Zone Change Application
BCA Project No. 2019-110

Dear Honorable Mayor and City Council:

The purpose of this letter is to describe the proposed zone change request made by the Owners of Sundus and Sarah LLC. Sundus and Sara LLC have acquired three properties along the west side of Washington street, specifically parcel numbers 14-21-106, 14-21-107 and 14-21-108. Please find attached the zone change application, short form environmental assessment form and site survey drawing for your use.

Currently these three parcels are zoned '**Residence C**'. We would request that these lots be combined and rezoned as '**Neighborhood Business**' for the purposes of development of a future mixed use retail, professional services and apartment space. For the purposes of SEQR, this zone change application does not propose to affect any environmental resources.

For your information, the applicant's contact information is as follows:

Dr. Sarah Latif, DDS
sarahlatif@hotmail.com
(315) 256-1035
1340 Washington Street
Watertown, New York 13601

Thank you for your consideration of this application. If you should have any questions, please feel free to contact me directly.

Very truly yours,

BCA ENGINEERS & ARCHITECTS


Michael D. Altieri, P.E.
Principal/Civil Engineer

Enclosure: Zone Change Application



CITY OF WATERTOWN, NEW YORK

245 Washington Street, Watertown, NY 13601

Office: (315) 785-7740 – Fax: (315) 785-7829

Zone Change Application Instructions

Applications should be addressed to the “Honorable Mayor and City Council,” and submitted to the following address:

Engineering Department, Room 305
245 Washington Street
Watertown, NY 13601

And submitted electronically in PDF format on a CD or by email:

planning@watertown-ny.gov

Applicants must submit **15 hard copy application sets**, plus a **16th hard copy** if County review is required. Each set must contain each of the following:

- A detailed cover letter describing what the applicant seeks to establish (i.e. the proposed zoning district, the proposed future use of the property, and any other information that will aid the Planning Board and the City Council in comprehending the petition).
- Written support of the adjoining property owners and/or residents, if possible.
- The applicant’s contact information, including a phone number and email address if available.
- A schematic drawing, if applicable, of the proposed development.
- If available, the metes and bounds description of the property or properties proposed for change. This can typically be found in the property deed.
- A copy of the tax map showing the proposed change area, with the area highlighted in bold marker.
- A completed State Environmental Quality Review Act assessment form (attached). Most changes will require just the attached short form. Larger projects may require a longer assessment form—contact the Planning Office for more information.

At the time of submittal, applicants must remit a **non-refundable \$100.00 fee**, in the form of cash or check payable to the City of Watertown.

Zone change requests will be heard by the Planning Board and the City Council. The Planning Board makes a recommendation, and City Council makes the final decision. Prior to the final vote, the Council is required by law to hold a public hearing.

The Planning Board meets the first Tuesday of the month at 3:00 pm. All requests must be submitted **two weeks before the scheduled meeting**, and only those requests included on the prepared meeting agenda will be considered.

Starting from the submittal deadline, the process usually takes 6 to 8 weeks.

In the case of a request for a Planned Development District, the request shall contain all the additional data stipulated in Section 310-12 of the Zoning Ordinance.

A zone change by the City Council will not be considered complete and established until copies of the resolution affecting the change have been filed with the City Clerk and the City Engineer, and the official zoning map is marked to show the approved change.



JEFFERSON COUNTY - STATE OF NEW YORK
 GIZELLE J. MEEKS, JEFFERSON COUNTY CLERK
 175 ARSENAL STREET
 WATERTOWN, NEW YORK 13601

COUNTY CLERK'S RECORDING PAGE

THIS PAGE IS PART OF THE DOCUMENT - DO NOT DETACH



INSTRUMENT #: 2016-00005713
 Receipt#: 2016008753
 Clerk: LV
 Rec Date: 05/02/2016 11:20:34 AM
 Doc Grp: DEE
 Descrip: DEED
 Num Pgs: 4
 Rec'd Frm: SLYE LAW OFFICES

Party1: CLEAVER ANTHONY F
 Party2: SUNDUS & SARAH LLC
 Town: WATERTOWN-CITY OF

Recording:	
Cover Page	5.00
Recording Fee	35.00
Cultural Ed	14.25
Records Management - Coun	1.00
Records Management - Stat	4.75
TP584	5.00
RP5217 Residential/Agricu	116.00
RP5217 - County	9.00
Sub Total:	<u>190.00</u>
Transfer Tax	
Transfer Tax - State	320.00
Sub Total:	<u>320.00</u>

Total: 510.00
 **** NOTICE: THIS IS NOT A BILL ****

***** Transfer Tax *****
 Transfer Tax #: 2589
 Transfer Tax
 Consideration: 80000.00
 Transfer Tax - State 320.00
 Total: 320.00

Record and Return To:

Gizelle J. Meeks
 Jefferson County Clerk

SLYE LAW OFFICES
 104 WASHINGTON ST
 WATERTOWN NY 13601
 OFFICE MAILBOX

THIS INDENTURE

Made the 29th day of Apr. 7, Two Thousand Sixteen (2016).

BETWEEN

ANTHONY F. CLEAVER
1352 Washington Street
Watertown, NY 13601

and

ROBERT J. CLEAVER
1011 Salina Street
Watertown, NY 13601

grantor(s),

-and-

SUNDUS & SARAH, LLC
16288 Deer Run
Watertown, NY 13601

grantee(s).

WITNESSETH that the grantor(s) in consideration of One (\$1.00) Dollar, lawful money of the United States, and other good and valuable consideration, paid by the grantee(s), hereby grant(s) and release(s) unto the grantee(s), their distributees, successors or assigns forever,

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York, as described in the attached Schedule "A" which is hereby incorporated herein by reference (referred to as the "Premises"), together with interest, if any, of the Grantor(s) in and to any streets and roads abutting the Premises to the centerlines thereof.

TOGETHER with the appurtenances and all the estate and rights of the grantor(s) in and to said premises.

TO HAVE AND TO HOLD the premises herein granted unto the grantee(s), their distributees, successors and assigns forever.

And the grantor(s) covenant(s) as follows:

FIRST. That the grantee(s) shall quietly enjoy the said premises:

SECOND. That the grantor(s) will forever **WARRANT** the title to said premises.

This deed is subject to the trust provisions of Section 13 of the Lien Law. The words "grantor(s)" and "grantee(s)" shall be construed to read in the plural whenever the sense of this deed so requires.

IN WITNESS WHEREOF, the grantor(s) has/have executed this deed the day and year first above written. In presence of:

Anthony F. Cleaver L.S.
Anthony F. Cleaver

Robert J. Cleaver L.S.
Robert J. Cleaver

STATE OF NEW YORK)

ss.:

COUNTY OF JEFFERSON)

On the 29th day of April in the year 2016, before me, the undersigned, personally appeared **Anthony F. Cleaver and Robert J. Cleaver**, personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their capacities, and that by their signatures on the instrument, the individuals or the person upon behalf of which the individuals acted, executed the instrument.

Catherine Burns Quencer
Notary Public
CATHERINE BURNS QUENCER
Notary Public, State of New York
Notary Public County No. 4858591
Qualified in Jefferson County April 14, 2018
Commission Expires April 14, 2018

A.P.L. Signs & Law Offices

SCHEDULE "A"

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York, designated and known as Lot No. 15 in Block "B" as shown on a map of lands made by Field, Emerson & Morgan, Inc. dated September 8, 1943 and filed as Map No. 4, Smith Farms Subdivision in Jefferson County Clerk's Office on September 28, 1943 and on a later map made by Field, Emerson & Morgan, Inc. dated August 24, 1944 and filed in the Jefferson County Clerk's Office on the 28th day of August, 1944.

SUBJECT to an Agreement made between Watertown Suburban Estates, Inc. and The Northern New York Trust Company, dated August 26, 1944 and recorded in the Jefferson County Clerk's Office August 28, 1944 in Liber 449 of Deeds at Page 247.

SUBJECT to an Easement to Central New York Power Corporation, dated October 27, 1943 and recorded in the Jefferson County Clerk's Office November 10, 1943 in Liber 446 of Deeds, at Page 130.

This conveyance is also made subject to the restrictive covenants and references running with the land.

Being the premises known as 1352 Washington Street.

BEING and intending to describe the same premises conveyed by William J. Cleaver Jr., Robert J. Cleaver, Anthony F. Cleaver and Maurice S. Cleaver to William J. Cleaver Jr., Robert J. Cleaver, Anthony F. Cleaver and Maurice S. Cleaver by deed dated March 18, 2011 and recorded on March 28, 2011 as Instrument # 2011-4311; ALSO interest conveyed by Maurice S. Cleaver to Anthony F. Cleaver by deed dated June 1, 2015 and recorded in the Jefferson County Clerk's office on June 2, 2015 as Instrument #2015-7732.

William J. Cleaver Sr. (William R. Cleaver) died October 19, 2014.

William J. Cleaver died January 3, 2016. A copy of the death certificate is attached as Schedule "B."

Schedule B

CERTIFICATION OF DEATH RECORD

EFFINGHAM COUNTY CLERK
EFFINGHAM, ILLINOIS
MEDICAL EXAMINER/CORONER CERTIFICATE OF DEATH

STATE FILE NUMBER 2016 0000286

DATE ISSUED 1/5/2016

DECEDENT'S LEGAL NAME WILLIAM J CLEAVER			SEX MALE	DATE OF DEATH JANUARY 03, 2016	
COUNTY OF DEATH EFFINGHAM		AGE AT LAST BIRTHDAY 71 YEARS	DATE OF BIRTH JANUARY 20, 1944		
CITY OR TOWN EFFINGHAM		HOSPITAL OR OTHER INSTITUTION NAME 1108 NORTH MARTIN			
PLACE OF DEATH DECEDENT'S HOME					
BIRTHPLACE WATERTOWN, NY	SOCIAL SECURITY NUMBER [REDACTED]	STATUS AT TIME OF DEATH WIDOWED		SURVIVING SPOUSE/CIVIL UNION PARTNER'S MAIDEN NAME EVER IN U.S. ARMED FORCES? YES	
RESIDENCE 1108 NORTH MARTIN		APT. NO.	CITY OR TOWN EFFINGHAM		INSIDE CITY LIMITS? YES
COUNTY EFFINGHAM	STATE IL	ZIP CODE 62401	FATHER/CO-PARENT'S NAME PRIOR TO FIRST MARRIAGE/CIVIL UNION WILLIAM R CLEAVER		MOTHER/CO-PARENT'S NAME PRIOR TO FIRST MARRIAGE/CIVIL UNION FRANCES LORELLO
INFORMANT'S NAME RUSSELL CLEAVER		RELATIONSHIP SON		MAILING ADDRESS 257 NW 80TH STREET, OKLAHOMA CITY, OK, 73114	
METHOD OF DISPOSITION BURIAL		PLACE OF DISPOSITION FELTS MILLS CEMETERY		LOCATION - CITY OR TOWN AND STATE BLACK RIVER, NY	DATE OF DISPOSITION JANUARY 11, 2016
FUNERAL HOME BAUER FUNERAL HOME, 1212 W EVERGREEN AVE, EFFINGHAM, IL, 62401					
FUNERAL DIRECTOR'S NAME MALLORY JANE LOKER			FUNERAL DIRECTOR'S ILLINOIS LICENSE NUMBER 034016433		
LOCAL REGISTRAR'S NAME KERRY J HIRTZEL			DATE FILED WITH LOCAL REGISTRAR JANUARY 5, 2016		
[REDACTED SECTION]					
DATE OF INJURY		TIME OF INJURY	PLACE OF INJURY		INJURY AT WORK?
LOCATION OF INJURY					
DESCRIBE HOW INJURY OCCURRED					IF TRANSPORTATION INJURY, SPECIFY
ATTEND THE DECEASED?	DATE LAST SEEN ALIVE	WAS MEDICAL EXAMINER OR CORONER CONTACTED?		DATE PRONOUNCED JANUARY 03, 2016	TIME OF DEATH 10:39 AM
CERTIFIER: MEDICAL EXAMINER/CORONER					DATE CERTIFIED JANUARY 04, 2016
NAME, ADDRESS AND ZIP CODE OF PERSON COMPLETING CAUSE OF DEATH DUANE L GUFFEY, 101 N-FOURTH STREET STE 401, PO BOX 1244, EFFINGHAM, IL, 62401					PHYSICIAN'S LICENSE NUMBER

This is to certify that this is a true and correct copy from the official death record filed with the Illinois Department of Public Health.

Kerry J Hirtzel

Kerry J Hirtzel
Effingham County Clerk and Local Registrar





JEFFERSON COUNTY - STATE OF NEW YORK
 GIZELLE J. MEEKS, JEFFERSON COUNTY CLERK
 175 ARSENAL STREET
 WATERTOWN, NEW YORK 13601

COUNTY CLERK'S RECORDING PAGE

THIS PAGE IS PART OF THE DOCUMENT - DO NOT DETACH



INSTRUMENT #: 2016-00007502
 Receipt#: 2016011378
 Clerk: AS
 Rec Date: 06/08/2016 11:45:07 AM
 Doc Grp: DEE
 Descrip: DEED
 Num Pgs: 5
 Rec'd Frm: SLYE LAW OFFICES

Party1: PULZ BRUCE W
 Party2: SUNDUS & SARAH LLC
 Town: WATERTOWN-CITY OF

Recording:	
Cover Page	5.00
Recording Fee	40.00
Cultural Ed	14.25
Records Management - Coun	1.00
Records Management - Stat	4.75
TP584	5.00
RP5217 Residential/Agricu	116.00
RP5217 - County	9.00
Sub Total:	<u>195.00</u>
Transfer Tax	
Transfer Tax - State	480.00
Sub Total:	<u>480.00</u>
Total:	<u>675.00</u>

**** NOTICE: THIS IS NOT A BILL ****

***** Transfer Tax *****
 Transfer Tax #: 2934
 Transfer Tax
 Consideration: 120000.00

Transfer Tax - State	480.00
Total:	<u>480.00</u>

Record and Return To:

SLYE LAW OFFICES
 104 WASHINGTON ST
 WATERTOWN NY 13601
 OFFICE MAILBOX

Gizelle J. Meeks
 Jefferson County Clerk

THIS INDENTURE, made this 31st day of May, Two Thousand Sixteen (2016)

BETWEEN

BRUCE W. PULTZ, 1375 Washington Street, Watertown, NY 13601, Grantor,
and

SUNDUS & SARAH LLC, 16288 Deer Run, Watertown, NY 13601, Grantee,

WITNESSETH that Grantor, in consideration of ONE Dollar (\$1.00) lawful money of the United States, and less than One Hundred, does hereby grant and release to the grantees, their heirs, successors and assigns forever,

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York, as described on Schedule "A" annexed hereto and made a part hereof.

TOGETHER with all right, title and interest, if any, of Grantor in and to any streets and roads abutting the above described premises to the center lines thereof,

TOGETHER with the appurtenances and all the estate and rights of Grantor in and to the said premises,

TO HAVE AND HOLD the premises herein granted unto Grantee its executors, administrators, legal representatives, successors and assigns forever.

AND said Grantor covenants as follows:

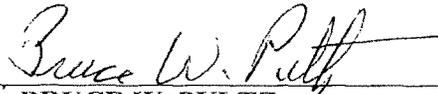
FIRST: That the Grantee shall quietly enjoy the said premises;

SECOND: That the said Grantor shall forever warrant title to the said premises;

THIRD: That in compliance with Section 13 of the Lien Law, Grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvements and will apply the same first to the payment of the cost of improvement before using any part of the total of the same for any purpose.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal the day and year first above written.

IN PRESENCE OF

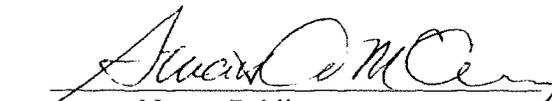


BRUCE W. PULTZ L.S.

Notary Public
Stuart A. McCreary
Jefferson County, NY
02MC4902145
Commission Expires July 6, 20__

STATE OF NEW YORK)
 : SS.:
COUNTY OF JEFFERSON)

On the 31st day of May, 2016, before me, the undersigned a notary public in and for said state, personally appeared BRUCE W. PULTZ personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.


Notary Public

Notary Public
Stuart A. McCreary
Jefferson County, NY
02MC4902145
Commission Expires July 6, 2018

Return to: *Slye Law Offices, PC.*

Schedule "A"
Pultz to Sundus and Sarah, LLC

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York and further described as follows:

BEGINNING at an iron pipe set in the assumed westerly street margin of Washington Street, said iron pipe being the most northeasterly corner of the parcel of land conveyed by William R. Cleaver to William R. & Frances I. Cleaver by deed recorded in the Jefferson County Clerk's Office in Liber 680 at Page 539 on 8/3/59, said iron pipe also being N. 4°-15' E. along the assumed westerly street margin of Washington Street a distance of 620.2 feet from the intersection of the assumed westerly street margin of Washington Street and the northerly street margin of Iroquois Avenue West;

THENCE N. 86°-33' W. along the Cleaver northerly property line a distance of 174.4 feet to an iron pipe found;

THENCE N. 5°-51' E. a distance of 50.0 feet to an iron pipe found in the most southwesterly corner of the parcel of land conveyed by George LaLone to Harry Garrod by deed recorded in the Jefferson County Clerk's Office in Liber 365 at Page 385 on 10/11/21;

THENCE S. 86°-33' E. along the Garrod southerly property line a distance of 173.0 feet to an iron pipe set in the assumed westerly street margin of Washington Street;

THENCE S. 4°-15' W. along the assumed westerly street margin of Washington Street a distance of 50.0 feet to the point of beginning.

CONTAINING 0.20 acres of land more or less.

SUBJECT to all rights or restrictions of record.

IT being the intent to describe the parcel of land conveyed by Kathryn H. Fairchild to Kathryn H. Fairchild, Hazel U. Kirkland and Leland F. Kirkland by deed recorded in the Jefferson County-Clerk's Office in Liber 710 at Page 300 on 7/26/61, said parcel being at 1348 Washington Street, Watertown, New York.

BEING the same premises conveyed by Administrator's Deed dated March 5, 1980 from Edward Kirkland and Margaret McGarry as Administrators of the Estate of Kathryn M. Fairchild to Bruce W. Pultz and recorded in the Jefferson County Clerk's Office on March 7, 1980 in Liber 906 of Deeds, page 261.

ALSO ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York and further described as follows:

BEGINNING at a point in the assumed westerly street margin of Washington Street, at the southeasterly corner of that parcel of land conveyed by George LaLone to Harry Garrod by deed dated October 10, 1921 and recorded in the Office of the Jefferson County Clerk on October 11, 1921 in Liber 365 of Deeds at page 385, N. 4°-15' E., along the assumed westerly street margin of Washington Street, a distance of 670.2 feet from the intersection of the westerly street margin of Washington Street and the northerly street margin of Iroquois Avenue West;

THENCE along the southerly boundary of said parcel conveyed by George LaLone to Harry Garrod as aforesaid N. 86°-33' W. a distance of 173.0 feet to an iron pin set;

THENCE N. 5°-51' E. a distance of 10.0 feet to an iron pin set;

THENCE S. 86°-33' E. passing through an iron pin set at 172.5 feet and continuing a total distance of 172.7 feet to a point in the assumed westerly street margin of Washington Street;

THENCE S. 4°-15' W. along the assumed westerly street margin of Washington Street a distance of 10.0 feet to the point of beginning.

CONTAINING 0.04 acres of land more or less and being a part of the premises conveyed to Harry Garrod by George LaLone as aforesaid.

SUBJECT to any rights or restrictions of record.

BEING the same premises conveyed by Executor's Deed dated February 14, 1980 from Harriette G. Provost as Executor of the Estate of Margaret N. Garrod to Bruce W. Pultz and recorded in the Jefferson County Clerk's Office on March 7, 1980 in Liber 906 of Deeds, page 259.

Jefferson County - New York
Jo Ann M. Wilder

7666

RECORDING CERTIFICATE

Transaction Number: 000823275180

Type of Instrument: DEED RECORD

Received From: CHECK ---> BLACK RIVER ABST
CHECKS ---> CONBOY LAW FIRM
[RE: DELSIGNORE AND KALAMAS]
CITY OF WATERTOWN

Recording Charge: 57.50 Recording Pages: 5

** EXAMINED AND CHARGED AS FOLLOWS : **

** TRANSFER TAX **

** MTG/DEED AMOUNT **

246.00

61,250.00

RS#:

Mortgage#:

269

Received Tax on Above Mortgage

Basic: .00

Special Addl: .00

Town:

Additional: .00

Mortgage Tax Total: .00

Total Recording Fees: 303.50

** THIS PAGE IS PART OF THE INSTRUMENT **

I HEREBY CERTIFY THAT THE WITHIN AND FOREGOING WAS RECORDED IN THE
CLERK'S OFFICE FOR Jefferson County - New York

LIBER 1750 PAGE 55

IN (Book/Page):

ON (Recorded Date): 08/23/00

AT (Time): 02:28 Terminal ID: 113



Jo Ann M. Wilder

EXECUTOR'S DEED

Mait-Kalamas
1356 Washington St.
Watertown, N.Y. 13601

THIS INDENTURE, made the 22nd day of August, 2000, between Martin A. DelSignore as executor of the last will and testament of Rosemary P. DelSignore, late of 1356 Washington Street, Watertown, New York, deceased, party of the first part, and John E. Kalamas and Anne M. Kalamas, his wife, of P. O. Box 11, Croghan, New York, 13327, as Tenants by the Entirety, parties of the second part.

WITNESSETH, that the party of the first part, by virtue of the power and authority to him given in and by the above-described last will and testament, and in consideration of Sixty One Thousand Two Hundred Fifty & no/100 (\$61,250.00) lawful money of the United States, paid by the parties of the second part, does grant and release unto the parties of the second part, their heirs and assigns forever,

ALL of that certain real property located in the City of Watertown, County of Jefferson, and State of New York, and more particularly described as follows: SEE SCHEDULE "A" ATTACHED HERETO

TOGETHER with the appurtenances and also all the estate that the above-named Testatrix had at the time of her death in the above-described premises, and also the estate therein that the party of the first part has or has power to convey or dispose of; whether individually, or by virtue of the above-described will or otherwise.

TO HAVE AND TO HOLD the premises herein granted unto the parties of the second part, their heirs and assigns forever.

And the party of the first part covenants that he has not done or suffered anything where the above described premises have been encumbered in any way.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the costs of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

Martin A. DelSignore
ESTATE OF ROSEMARY P. DELSIGNORE
by: MARTIN A. DELSIGNORE

[Signature]
JEFFERSON COUNTY CLERK
ENTERED FOR
00 AUG 23 PM 2:20
CLERK

STATE OF NEW YORK, COUNTY OF JEFFERSON, ss.

On the 22nd day of August, 2000, before me, the undersigned, personally appeared MARTIN A. DELSIGNORE, As Executor of the ESTATE OF ROSEMARY P. DELSIGNORE, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.


Notary Public
My commission expires on

LANCE C. MARZANO
NOTARY PUBLIC, STATE OF NEW YORK
REGISTRATION NO. 02MA5085327
QUALIFIED IN JEFFERSON COUNTY
COMMISSION EXPIRES 09/03/2002

Martin A. DelSignore was appointed as Executor of the Estate of Rosemary P. DelSignore on April 11, 2000 by the Surrogate's Court of Jefferson County under File No. 2000-084.

LIBER 1750 PAGE 57

SCHEDULE A
Property Description

CONVEYS ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND with the buildings and improvements thereon erected, situate, lying and being in the City of Watertown, County of Jefferson and State of New York, bounded and described as follows:

BEING A part of the Smith Farm Subdivision as shown on a map thereof made by Field, Emerson & Morgan, Inc. for Watertown Suburban Estates, Inc., dated September 8th, 1943, and filed as "Map No. 4, Smith Farm Subdivision", in Jefferson County Clerk's Office on September 28th, 1943, and being known and designated on said map as Lot No. 16 in Block B.

This conveyance is also made subject to:

1. Restrictive covenants contained in instruments recorded in Liber 327 of Deeds, page 87 and Liber 443 of Deeds, page 210, as modified by instrument recorded in Liber 445 of Deeds, page 543, but this Corporation insures that such covenants contain no reversionary clause and have not been violated.

2. Easement granted by Watertown Suburban Estates, Inc. to Central New York Power Corporation, dated October 27th, 1943, and recorded November 10th, 1943 in Liber 446 of Deeds, page 130.

3. Easement described as Easement #5 in grant from Watertown Suburban Estates, Inc. to the City of Watertown dated October 15, 1943, and recorded in Jefferson County Clerk's Office on November 29, 1943, in Liber 446 of Deeds, at Page 243, to which reference is hereby made for a more particular description.

4. Easement as shown on Map 4, Smith Farm Subdivision, filed in Jefferson County Clerk's Office September 28, 1943, fully set forth in agreement between Watertown Suburban Estates, and The Northern New York Trust Company dated August 26, 1944 and recorded in Jefferson County Clerk's Office August 28, 1944, in Liber 449 of Deeds, Page 247, to which reference is hereby made for a particular description thereof.

BEING THE SAME PREMISES conveyed by G. Harold Merry, Jr. to Guido S. Del Signore and Rosemary P. Del Signore, his wife, by Warranty Deed dated September 29, 1953 and recorded in the Jefferson County Clerk's office September 29, 1953 in Liber 591 of Deeds at Page 82.

ALSO SUBJECT TO an Easement granted by Guido S. and Rosemary P. DelSignore to Niagara Mohawk Power Corporation dated February 12, 1973 and recorded in the Jefferson County Clerk's Office on March 16, 1973 in Liber 844 of Deeds, at Page 166.

By virtue of a recent survey description undertaken by Stanford J. Zeccolo, P.E., L.S., the premises being conveyed is more accurately described as follows:

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York, bounded and described as follows:

Beginning at a nail set in the westerly monumented margin of Washington Street said point being North 4 degrees 15 minutes East a distance of 520.00 from the intersection of the westerly monumented margin of Washington Street and the northerly margin of Iroquois Avenue West, said beginning point also being 0.95 feet east of a railroad spike found; thence North 86 degrees 33 Minutes West along the lands of Ascraft (Bk 1731, Pg 349) on the south, a distance of 170.00 feet to a point being 0.48 feet southeast of an iron pipe found; thence North 4 degrees 15 minutes East along the lands of Connell (Bk 1246, Pg 57) and Clark (Bk 888 Pg. 1079) on the west a distance of 50.00 feet to an iron pipe set, thence South 86 degrees 33 minutes East along the lands of Cleaver (Bk 680, Pg 539) on the north, a distance of 170.00 feet to an iron pipe set; thence South 4 degrees 15 Minutes West along the westerly margin of Washington Street, a distance of 50.00 to the point and place of beginng.

Contains 0.20 acres of land.

The above parcel is shown as lot #16 of the Smith Farm Subdivision dated September 28, 1943 and filed in the Office of the County Clerk, known as 1356 Washington Street, and further identified by Tax Map ID#14-21-108.

NOTE: Guido S. Del Signore died in Watertown, New York on February 21, 1994; and Rosemary P. Del Signore died in Watertown, New York on April 11, 2000. Martin A. DelSignore was appointed as Executor of the Estate of Rosemary P. DelSignore on April 11, 2000 by the Surrogate's Court of Jefferson County under File No. 2000-084.



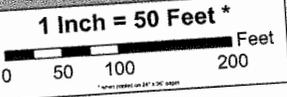
Prepared by
 City of Watertown GIS
 For
 City of Watertown
 Assessment Department

For Tax Purposes Only
 Not to be Used for Conveyance

NAD 83 STATE PLANE
 CENTRAL ZONE US FEET

Parcel Map	Date
14-21	12/15/2019
14-22	12/15/2019
14-23	12/15/2019
14-24	12/15/2019
14-25	12/15/2019
14-26	12/15/2019
14-27	12/15/2019
14-28	12/15/2019
14-29	12/15/2019
14-30	12/15/2019

- Property Lines
- Major Property Line
- Subdiv Outline
- Watered
- City Boundary
- School District Boundary
- Coordinate Grid
- Parcel ID
- 2124-0000 Assessment ID
- (Indicates abnormality combined parcels)



Tax Map
City of Watertown
 Jefferson County, NY

Section 14 Block 21

Printed Date: 1/2/2020

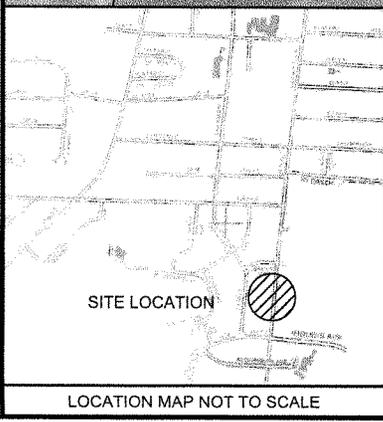
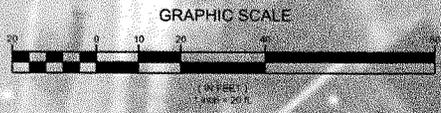


- LEGEND**
- Curbed Pole Cap
 - 12" Iron Pipe Follower
 - 34" Iron Pipe Follower
 - OU- Overhead Utility
 - ⊕ Utility Pole
 - G- Gas Line
 - SV- Sanitary Line
 - ST- Storm Line
 - Deciduous Tree
 - Coniferous Tree
 - Catch Basin
 - Sanitary Manhole
 - ⊕ Adjoining Property Line

MAP REFERENCE

1. Survey Map of the Land at 113 Street Drive, presented as CD-1662, 21, and dated September 11, 2016.

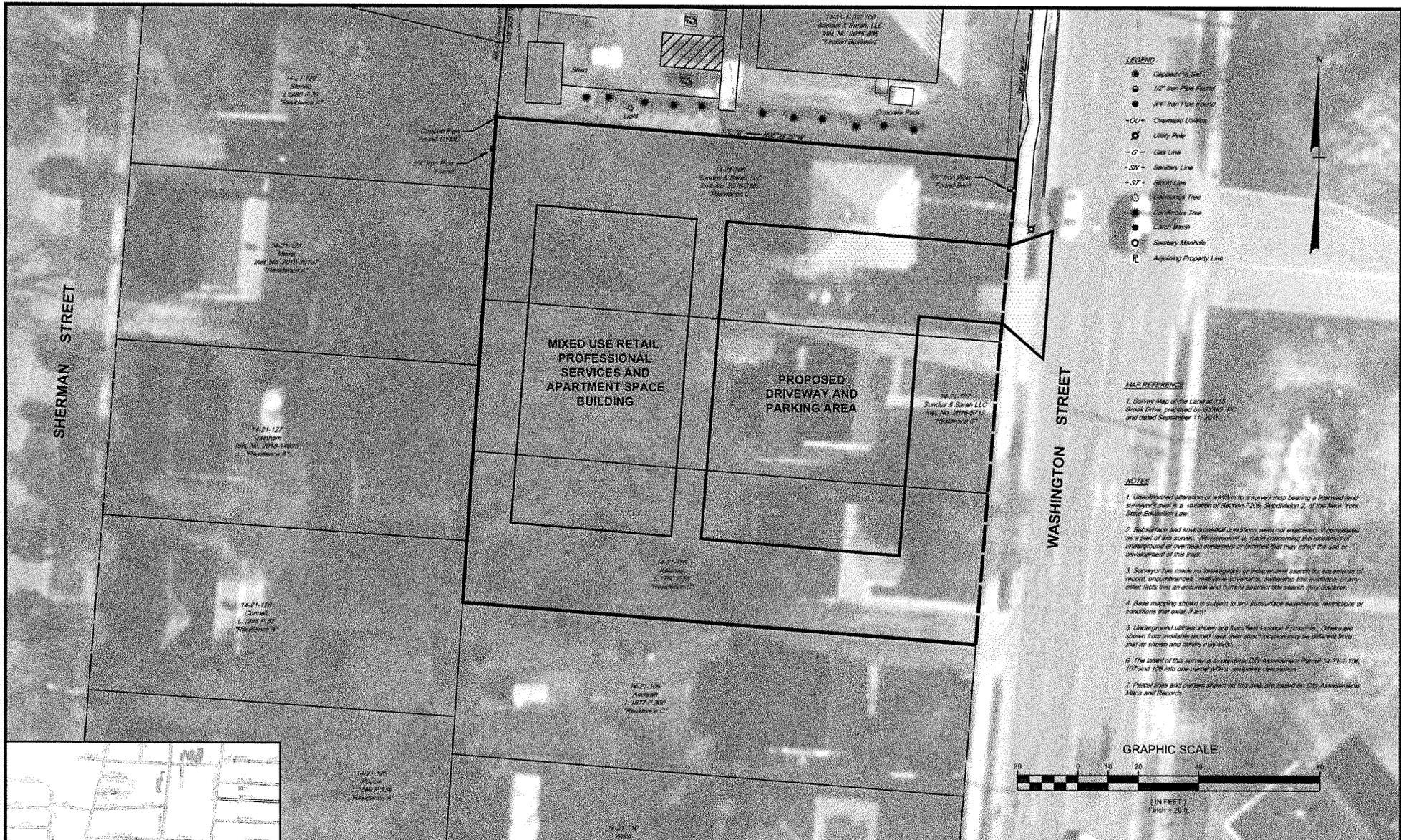
- NOTES**
1. Unaffected alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7206, Subdivision 2, of the New York State Education Law.
 2. Subsurface and environmental conditions were not examined or considered as a part of the survey. No statement is made concerning the existence of underground or overhead conditions or factors that may affect the use or development of this site.
 3. Surveyor has made no investigation or independent search for encroachments or encroachments, relative easements, easements, or any other facts that an accurate and correct survey of the subject may require.
 4. Base markings shown are subject to any subsurface encroachments, encroachments or conditions that exist, if any.
 5. Underground utilities shown are from their location, if possible. Others are shown from available record data; their exact location may be different than that shown and shown their best.
 6. The intent of this survey is to comply with Assessor's Parcel 14-21-126, 127, 128 and 129 and site plans with a complete description.
 7. Parcel lines and corners shown on this map are based on City Assessor's Maps and Records.



**BOUNDARY AND TOPOGRAPHIC SURVEY OF THE LAND OF
1348, 1352 AND 1356 WASHINGTON STREET
ZONING CHANGE REVIEW DRAFT**

CITY OF WATERTOWN COUNTY OF JEFFERSON STATE OF NEW YORK

	Bernier, Carr & Associates, Engineers, Architects and Land Surveyors, P.C. <small>327 Mullin Street, Watertown, NY 13601 (315) 782-8130 - WWW.THEBCGROUP.COM</small>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="font-size: small;">SURVEY DATE:</td><td style="font-size: small;">10-14-2016</td></tr> <tr><td style="font-size: small;">CHECKED BY:</td><td style="font-size: small;">MDA</td></tr> <tr><td style="font-size: small;">DRAWN BY:</td><td style="font-size: small;">MJM</td></tr> <tr><td style="font-size: small;">DATE:</td><td style="font-size: small;">3/16/2020</td></tr> <tr><td style="font-size: small;">LAST REVISION:</td><td style="font-size: small;"></td></tr> <tr><td style="font-size: small;">SCALE:</td><td style="font-size: small;">1" = 20'</td></tr> </table>	SURVEY DATE:	10-14-2016	CHECKED BY:	MDA	DRAWN BY:	MJM	DATE:	3/16/2020	LAST REVISION:		SCALE:	1" = 20'	1
	SURVEY DATE:	10-14-2016													
	CHECKED BY:	MDA													
	DRAWN BY:	MJM													
	DATE:	3/16/2020													
LAST REVISION:															
SCALE:	1" = 20'														
COPYRIGHT 2020 - BERNIER, CARR & ASSOCIATES, ENGINEERS, ARCHITECTS AND LAND SURVEYORS, P.C. IT IS A VIOLATION UNDER THE NEW YORK STATE EDUCATION LAW FOR ANY UNAUTHORIZED ALTERATIONS TO THIS DOCUMENT AS PER ARTICLE 145 AND 147. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE & NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES.	PROJECT NO. 2019-110														



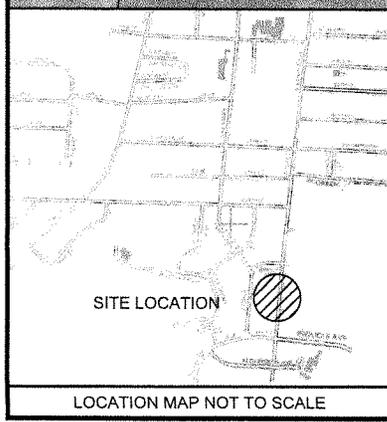
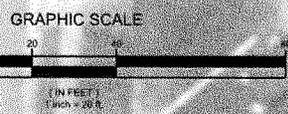
- LEGEND**
- Capped Fire Set
 - 12" Iron Pipe Flange
 - 34" Iron Pipe Flange
 - OU- Overhead Utility
 - Utility Pole
 - G- Gas Line
 - SW- Sanitary Line
 - SF- Storm Line
 - Detached Tree
 - Combined Tree
 - Callot Block
 - Serrary Alternate
 - Acquiring Property Line



M&C REFERENCES

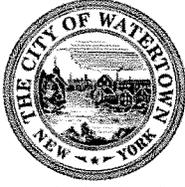
1. Survey Map of the Land at 1352
 Street Drive, prepared by J. J. JACO, P.E.
 and dated September 11, 2015.

- NOTES**
1. Unsaturation alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 2219, Subdivision 2, of the New York State Education Law.
 2. Subsurface and environmental conditions were not examined or investigated as a part of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of this site.
 3. Surveyor's fee made no investigation or independent search for assessments of historic environmental, relative to historic, ownership, the existence of any other facts that are accurate and correct except the search this document.
 4. Base mapping shown is subject to any subsurface assessments, restrictions or conditions that exist, if any.
 5. Underground utilities shown are from their location, if possible. Others are shown from available recent data. Their exact location may be different from that as shown and other mapped.
 6. The sheet of this survey is in compliance with Assessment Parcel 14-21-110, 14-21-111 and 14-21-112 and does not constitute a complete description.
 7. Please note and double check on this map are based on City Assessments Maps and Records.



**MIXED USE RETAIL, PROFESSIONAL SERVICES AND APARTMENT SPACE BUILDING
 1348, 1352 AND 1356 WASHINGTON STREET
 ZONING CHANGE REVIEW
 CITY OF WATERTOWN COUNTY OF JEFFERSON STATE OF NEW YORK**

	Bernier, Carr & Associates, Engineers, Architects and Land Surveyors, P.C. 327 Mullin Street, Watertown, NY 13601 (315) 782-6130 - WWW.THEBCGROUP.COM	SURVEY DATE: 10-14-2016 CHECKED BY: MDA DRAWN BY: MJM DATE: 4/29/2020 LAST REVISION: SCALE: 1" = 20'	SHEET NO. <div style="font-size: 2em; font-weight: bold; text-align: center;">1</div> PROJECT NO. 2019-110	
	<small> COPYRIGHT 2020 - BERNIER, CARR & ASSOCIATES, ENGINEERS, ARCHITECTS AND LAND SURVEYORS, P.C. IT IS A VIOLATION UNDER THE NEW YORK STATE EDUCATION LAW FOR ANY UNAUTHORIZED ALTERATIONS TO THIS DOCUMENT AS PER ARTICLE 145 AND 147. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE & NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES. </small>			



MEMORANDUM

CITY OF WATERTOWN, NEW YORK
OFFICE OF PLANNING AND COMMUNITY DEVELOPMENT
245 WASHINGTON STREET, ROOM 304, WATERTOWN, NY 13601
PHONE: 315-785-7740 – FAX: 315-785-7829

TO: Planning Board Members

FROM: Michael A. Lumbis, Planning and Community Development Director

SUBJECT: Zone Change – 1348, 1352 and 1356 Washington Street

DATE: April 30, 2020

Request: To change the approved zoning classification of, 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence B to Neighborhood Business

Applicant: Michael Altieri, P.E. of the Bernier, Carr & Associates, Engineers and Land Surveyors, P.C. on behalf of Sundus and Sarah, LLC

Owner(s): 1348 and 1352 Washington Street: Sundus and Sarah, LLC
1356 Washington Street: John Kalamas

SEQRA: Unlisted

County review: No

Comments: The applicant is presenting this zone change request as the first necessary step in a proposal to redevelop the three subject parcels. The applicant's cover letter states that the applicant's client, Sundus & Sarah, LLC, would like to develop a "future mixed use retail, professional services and apartment space."

The applicant anticipates submitting a subsequent Special Use Permit request for the proposed apartments, pending the outcome of this zone change request. Apartments are legal in a Neighborhood Business District only with a Special Use Permit. If approved for the zone change and Special Use Permit, the applicant would also need to obtain Site Plan Approval at a future date for the proposed redevelopment.

A map of the proposed zone change, prepared by City GIS Staff, is attached for your review.

Comprehensive Plan: The City's adopted Comprehensive Plan recommends the west side of this segment of Washington Street for Urban Mixed Use.

Ownership/Permissions: City records identify John Kalamas as the owner of 1356 Washington Street. The applicant's survey identifies the owner of this parcel only as "Kalanas," with an "n." The applicant shall either submit proof of ownership of this parcel or submit written permission from the property owner to apply for a zone change on the owner's behalf.

Miscellaneous: The applicant's cover letter and survey drawing both identify all three subject parcels as presently being in a Residence C District. This is inaccurate as, all three are presently zoned Residence B. The applicant must correct this error.

SEQR: The applicant has submitted a State Environmental Quality Review (SEQR) Short Environmental Assessment Form (EAF) as part of the application for the zone change. The City Council, as the lead agency, will complete Part 2 of the EAF. To avoid segmenting the review, the Council must consider the environmental effects of not only the zone change, but also the proposed redevelopment as a "whole action."

As the New York State Department of Environmental Conservation's SEQR Handbook references, 6 CRR-NY 617.2(ah) defines segmentation as "the division of the environmental review of an action so that various activities or stages are addressed as though they were independent, unrelated activities needing individual determinations of significance." The Handbook goes on to state that "Proposals or parts of proposals that are related to each other closely enough to be, in effect, a single course of action have to be evaluated as one whole action."

The applicant writes in his cover letter, "For the purposes of SEQR, this zone change application does not propose to affect any environmental resources." However, the rezoning is a means to an end of redeveloping the site, and as such, constitutes a whole action. The applicant must submit a new Short EAF that identifies all project phases as part of the proposed action, and answers all questions on the form as such.

cc: City Council Members

Michael Altieri, P.E., Bernier, Carr & Associates, 327 Mullin Street, Watertown, NY 13601

Dr. Sarah Latif, DDS, 1340 Washington Street, Watertown, NY 13601

Ben Arquitt, Civil Engineer I

ZONE CHANGE

1348, 1352 and 1356 WASHINGTON STREET PARCEL NUMBERS 14-21-106.000, 14-21-107.000, and 14-21-108.000 RESIDENCE B TO COMMERCIAL

The Planning Board then considered a request submitted by Michael Altieri, P.E. of the Bernier, Carr & Associates, Engineers and Land Surveyors, P.C. on behalf of Sundus and Sarah, LLC to change the approved zoning classification of 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence B to Neighborhood Business.

Mr. Altieri attended the virtual meeting to represent the request, and said that he had the property owners in his office with him.

Mr. Altieri began by saying that his clients had recently acquired the three subject parcels and sought to rezone them to facilitate developing a mixed-use site with offices, retail and apartments. He then noted that his submission included a very conceptual drawing, and asked if there were questions.

Stephanie Russell, a neighbor living at 1347 Sherman Street, asked to address the Board. Ms. Russell expressed concern about flooding, as well as dust and odors resulting from construction. Following some discussion between Ms. Russell and Mr. Altieri about those issues, Mr. Urda noted that the applicants would need additional approvals before any construction could occur. Mr. Arquitt noted that the process would be identical to what the Gaffney Drive site just went through and it would be just as thorough.

George Ashcraft, a neighbor living at 1358 Washington Street, then said that he would like to keep the shared driveway he had with the 1356 property, but with a fence to divide it in half. He then stated that he did not oppose redeveloping the site.

Tiffany Marra, a neighbor living at 1351 Sherman Street, then said that she also had drainage and privacy concerns. Mr. Altieri noted that drainage was a common theme, and that this input from the neighbors would be valuable when designing a site plan. Mr. Coburn then asked if the Planning Board Members had questions.

Mr. Babcock asked if the subject properties were currently zoned Residence B or C. Mr. Urda replied that it was Residence B. Mr. Altieri asked if Staff could confirm that the request was consistent with the Comprehensive Plan. Mr. Urda confirmed that it was consistent, stating that the plan recommended that area for Urban Mixed-Use (UMU), and read aloud the section from the Comprehensive plan that described the UMU land use character area.

Discussion then ensued about avoiding SEQR segmentation and the need to describe the proposed development in greater detail in a resubmitted Short EAF.

Ms. Fields then said that she opposed the zone change request because she was afraid of fair market value changes to nearby properties and she also feared that it would set a

precedent encouraging future purchases of adjacent properties and subsequent requests to rezone those parcels. She added that she would also like to see more details of the proposed development.

Mr. Katzman then said that he objected as well, and cited what he said was previous dishonesty on the part of the property owners regarding the use of an adjacent property for which they previously sought and obtained a Site Plan Approval in 2012. Discussion then ensued about how that was a separate issue than what was before the Planning Board now and how it is not the Planning Board's role to act as enforcers.

Following that discussion, Mr. Babcock then moved to recommend that City Council approve the request submitted by Michael Altieri, P.E. of the Bernier, Carr & Associates, Engineers and Land Surveyors, P.C. on behalf of Sundus and Sarah, LLC to change the approved zoning classification of 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence B to Neighborhood Business.

Mr. Johnson seconded the motion and it carried, 4-1, with Ms. Fields casting the dissenting vote.

Mr. Urda then said that the City Council would schedule a public hearing on the request for June 1, 2020, at which point the Council would be free to act on the request.

Mr. Katzman then asked if it would be smart to consider rezoning the entire block now, rather than just three houses. Mr. Urda advised against any proactive rezonings until the Zoning Ordinance rewrite process had run its course. Mr. Lumbis echoed that sentiment.

Mr. Katzman moved to adjourn the meeting. Mr. Babcock seconded the motion and all voted in favor. The meeting was adjourned at 5:02p.m.



April 15, 2020

**Honorable Mayor and City Council
Engineering Department, Room 305
245 Washington Street
Watertown, NY 13601**

**Re: Sundus and Sarah LLC
Zone Change Application
BCA Project No. 2019-110**

Dear Honorable Mayor and City Council:

The purpose of this letter is to describe the proposed zone change request made by the Owners of Sundus and Sarah LLC. Sundus and Sara LLC have acquired three properties along the west side of Washington street, specifically parcel numbers 14-21-106, 14-21-107 and 14-21-108. Please find attached the zone change application, short form environmental assessment form and site survey drawing for your use.

Currently these three parcels are zoned '**Residence C**'. We would request that these lots be combined and rezoned as '**Neighborhood Business**' for the purposes of development of a future mixed use retail, professional services and apartment space. For the purposes of SEQR, this zone change application does not propose to affect any environmental resources.

For your information, the applicant's contact information is as follows:

Dr. Sarah Latif, DDS
sarahlatif@hotmail.com
(315) 256-1035
1340 Washington Street
Watertown, New York 13601

Thank you for your consideration of this application. If you should have any questions, please feel free to contact me directly.

Very truly yours,

BCA ENGINEERS & ARCHITECTS

Michael D. Altieri, P.E.
Principal/Civil Engineer

Enclosure: Zone Change Application



CITY OF WATERTOWN, NEW YORK

245 Washington Street, Watertown, NY 13601

Office: (315) 785-7740 – Fax: (315) 785-7829

Zone Change Application Instructions

Applications should be addressed to the “Honorable Mayor and City Council,” and submitted to the following address:

Engineering Department, Room 305
245 Washington Street
Watertown, NY 13601

And submitted electronically in PDF format on a CD or by email:

planning@watertown-ny.gov

Applicants must submit **15 hard copy application sets**, plus a **16th hard copy** if County review is required. Each set must contain each of the following:

- A detailed cover letter describing what the applicant seeks to establish (i.e. the proposed zoning district, the proposed future use of the property, and any other information that will aid the Planning Board and the City Council in comprehending the petition).
- Written support of the adjoining property owners and/or residents, if possible.
- The applicant’s contact information, including a phone number and email address if available.
- A schematic drawing, if applicable, of the proposed development.
- If available, the metes and bounds description of the property or properties proposed for change. This can typically be found in the property deed.
- A copy of the tax map showing the proposed change area, with the area highlighted in bold marker.
- A completed State Environmental Quality Review Act assessment form (attached). Most changes will require just the attached short form. Larger projects may require a longer assessment form—contact the Planning Office for more information.

At the time of submittal, applicants must remit a **non-refundable \$100.00 fee**, in the form of cash or check payable to the City of Watertown.

Zone change requests will be heard by the Planning Board and the City Council. The Planning Board makes a recommendation, and City Council makes the final decision. Prior to the final vote, the Council is required by law to hold a public hearing.

The Planning Board meets the first Tuesday of the month at 3:00 pm. All requests must be submitted **two weeks before the scheduled meeting**, and only those requests included on the prepared meeting agenda will be considered.

Starting from the submittal deadline, the process usually takes 6 to 8 weeks.

In the case of a request for a Planned Development District, the request shall contain all the additional data stipulated in Section 310-12 of the Zoning Ordinance.

A zone change by the City Council will not be considered complete and established until copies of the resolution affecting the change have been filed with the City Clerk and the City Engineer, and the official zoning map is marked to show the approved change.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? Note - See Cover Letter Attached			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p>	<p>YES</p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p>	<p>YES</p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p>	<p>YES</p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: _____ Date: _____</p> <p>Signature: _____</p>		

Project:

Date:

***Short Environmental Assessment Form
Part 2 - Impact Assessment***

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing:		
a. public / private water supplies?		
b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Project:

Date:

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)



JEFFERSON COUNTY - STATE OF NEW YORK
 GIZELLE J. MEEKS, JEFFERSON COUNTY CLERK
 175 ARSENAL STREET
 WATERTOWN, NEW YORK 13601

COUNTY CLERK'S RECORDING PAGE

THIS PAGE IS PART OF THE DOCUMENT - DO NOT DETACH



INSTRUMENT #: 2016-00005713
 Receipt#: 2016008753
 Clerk: LV
 Rec Date: 05/02/2016 11:20:34 AM
 Doc Grp: DEE
 Descrip: DEED
 Num Pgs: 4
 Rec'd Frm: SLYE LAW OFFICES

Party1: CLEAVER ANTHONY F
 Party2: SUNDUS & SARAH LLC
 Town: WATERTOWN-CITY OF

Recording:	
Cover Page	5.00
Recording Fee	35.00
Cultural Ed	14.25
Records Management - Coun	1.00
Records Management - Stat	4.75
TP584	5.00
RP5217 Residential/Agricu	116.00
RP5217 - County	9.00
Sub Total:	<u>190.00</u>
Transfer Tax	
Transfer Tax - State	320.00
Sub Total:	<u>320.00</u>
Total:	<u>510.00</u>

**** NOTICE: THIS IS NOT A BILL ****

***** Transfer Tax *****
 Transfer Tax #: 2589
 Transfer Tax
 Consideration: 80000.00
 Transfer Tax - State 320.00
 Total: 320.00

Record and Return To:

Gizelle J. Meeks
 Jefferson County Clerk

SLYE LAW OFFICES
 104 WASHINGTON ST
 WATERTOWN NY 13601
 OFFICE MAILBOX

THIS INDENTURE

Made the 29th day of Apr. 7, Two Thousand Sixteen (2016).

BETWEEN

ANTHONY F. CLEAVER
1352 Washington Street
Watertown, NY 13601

and

ROBERT J. CLEAVER
1011 Salina Street
Watertown, NY 13601

grantor(s),

-and-

SUNDUS & SARAH, LLC
16288 Deer Run
Watertown, NY 13601

grantee(s).

WITNESSETH that the grantor(s) in consideration of One (\$1.00) Dollar, lawful money of the United States, and other good and valuable consideration, paid by the grantee(s), hereby grant(s) and release(s) unto the grantee(s), their distributees, successors or assigns forever,

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York, as described in the attached Schedule "A" which is hereby incorporated herein by reference (referred to as the "Premises"), together with interest, if any, of the Grantor(s) in and to any streets and roads abutting the Premises to the centerlines thereof.

TOGETHER with the appurtenances and all the estate and rights of the grantor(s) in and to said premises.

TO HAVE AND TO HOLD the premises herein granted unto the grantee(s), their distributees, successors and assigns forever.

And the grantor(s) covenant(s) as follows:

FIRST. That the grantee(s) shall quietly enjoy the said premises:

SECOND. That the grantor(s) will forever **WARRANT** the title to said premises.

This deed is subject to the trust provisions of Section 13 of the Lien Law. The words "grantor(s)" and "grantee(s)" shall be construed to read in the plural whenever the sense of this deed so requires.

IN WITNESS WHEREOF, the grantor(s) has/have executed this deed the day and year first above written. In presence of:

Anthony F. Cleaver L.S.
Anthony F. Cleaver

Robert J. Cleaver L.S.
Robert J. Cleaver

STATE OF NEW YORK)

ss.:

COUNTY OF JEFFERSON)

On the 29th day of April in the year 2016, before me, the undersigned, personally appeared **Anthony F. Cleaver and Robert J. Cleaver**, personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their capacities, and that by their signatures on the instrument, the individuals or the person upon behalf of which the individuals acted, executed the instrument.

Catherine Burns Quencer
Notary Public
CATHERINE BURNS QUENCER
Notary Public, State of New York
Qualified in Jefferson County No. 4858591
Commission Expires April 14, 2018

APR 29 5/14/16 Law Office

SCHEDULE "A"

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York, designated and known as Lot No. 15 in Block "B" as shown on a map of lands made by Field, Emerson & Morgan, Inc. dated September 8, 1943 and filed as Map No. 4, Smith Farms Subdivision in Jefferson County Clerk's Office on September 28, 1943 and on a later map made by Field, Emerson & Morgan, Inc. dated August 24, 1944 and filed in the Jefferson County Clerk's Office on the 28th day of August, 1944.

SUBJECT to an Agreement made between Watertown Suburban Estates, Inc. and The Northern New York Trust Company, dated August 26, 1944 and recorded in the Jefferson County Clerk's Office August 28, 1944 in Liber 449 of Deeds at Page 247.

SUBJECT to an Easement to Central New York Power Corporation, dated October 27, 1943 and recorded in the Jefferson County Clerk's Office November 10, 1943 in Liber 446 of Deeds, at Page 130.

This conveyance is also made subject to the restrictive covenants and references running with the land.

Being the premises known as 1352 Washington Street.

BEING and intending to describe the same premises conveyed by William J. Cleaver Jr., Robert J. Cleaver, Anthony F. Cleaver and Maurice S. Cleaver to William J. Cleaver Jr., Robert J. Cleaver, Anthony F. Cleaver and Maurice S. Cleaver by deed dated March 18, 2011 and recorded on March 28, 2011 as Instrument # 2011-4311; ALSO interest conveyed by Maurice S. Cleaver to Anthony F. Cleaver by deed dated June 1, 2015 and recorded in the Jefferson County Clerk's office on June 2, 2015 as Instrument #2015-7732.

William J. Cleaver Sr. (William R. Cleaver) died October 19, 2014.

William J. Cleaver died January 3, 2016. A copy of the death certificate is attached as Schedule "B."

Schedule B

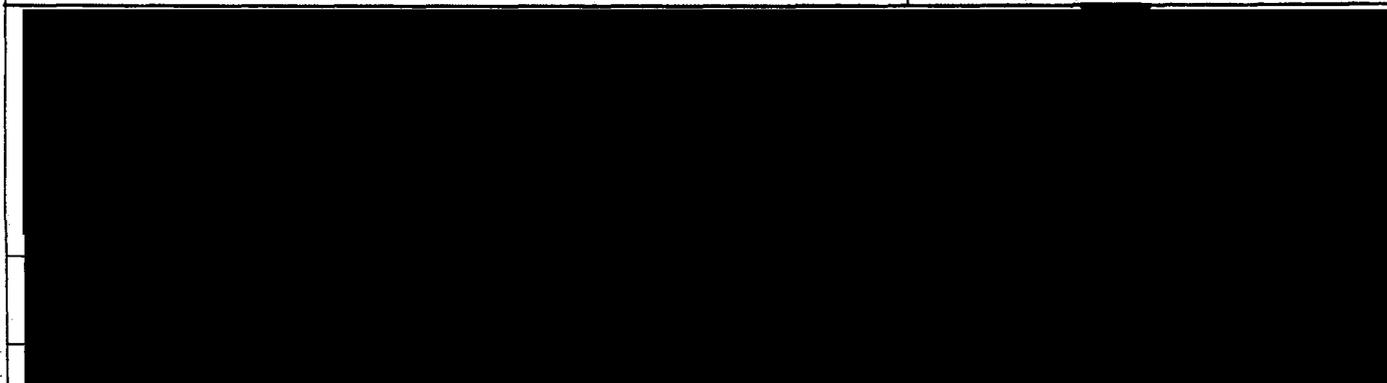
CERTIFICATION OF DEATH RECORD

**EFFINGHAM COUNTY CLERK
EFFINGHAM, ILLINOIS
MEDICAL EXAMINER/CORONER CERTIFICATE OF DEATH**

STATE FILE NUMBER 2016 0000286

DATE ISSUED 1/5/2016

DECEDENT'S LEGAL NAME WILLIAM J CLEAVER			SEX MALE	DATE OF DEATH JANUARY 03, 2016	
COUNTY OF DEATH EFFINGHAM		AGE AT LAST BIRTHDAY 71 YEARS		DATE OF BIRTH JANUARY 29, 1944	
CITY OR TOWN EFFINGHAM			HOSPITAL OR OTHER INSTITUTION NAME 1108 NORTH MARTIN		
PLACE OF DEATH DECEDENT'S HOME					
BIRTHPLACE WATERTOWN, NY		SOCIAL SECURITY NUMBER [REDACTED]	STATUS AT TIME OF DEATH WIDOWED		EVER IN U.S. ARMED FORCES? YES
RESIDENCE 1108 NORTH MARTIN			APT. NO.	CITY OR TOWN EFFINGHAM	INSIDE CITY LIMITS? YES
COUNTY EFFINGHAM	STATE IL	ZIP CODE 62401	FATHER/CO-PARENT'S NAME PRIOR TO FIRST MARRIAGE/CIVIL UNION WILLIAM R CLEAVER		MOTHER/CO-PARENT'S NAME PRIOR TO FIRST MARRIAGE/CIVIL UNION FRANCES LORELLO
INFORMANT'S NAME RUSSELL CLEAVER		RELATIONSHIP SON		MAILING ADDRESS 257 NW 80TH STREET, OKLAHOMA CITY, OK, 73114	
METHOD OF DISPOSITION BURIAL		PLACE OF DISPOSITION FELTS MILLS CEMETERY		LOCATION - CITY OR TOWN AND STATE BLACK RIVER, NY	DATE OF DISPOSITION JANUARY 11, 2016
FUNERAL HOME BAUER FUNERAL HOME, 1212 W EVERGREEN AVE, EFFINGHAM, IL, 62401					
FUNERAL DIRECTOR'S NAME MALLORY JANE LOKER				FUNERAL DIRECTOR'S ILLINOIS LICENSE NUMBER 034016433	
LOCAL REGISTRAR'S NAME KERRY J HIRTZEL				DATE FILED WITH LOCAL REGISTRAR JANUARY 5, 2016	



DATE OF INJURY		TIME OF INJURY	PLACE OF INJURY		INJURY AT WORK?
LOCATION OF INJURY					
DESCRIBE HOW INJURY OCCURRED					IF TRANSPORTATION INJURY, SPECIFY
ATTEND THE DECEASED?		DATE LAST SEEN ALIVE	WAS MEDICAL EXAMINER OR CORONER CONTACTED?		DATE PRONOUNCED JANUARY 03, 2016
					TIME OF DEATH -10:39 AM
CERTIFIER MEDICAL EXAMINER/CORONER					DATE CERTIFIED JANUARY 04, 2016
NAME, ADDRESS AND ZIP CODE OF PERSON COMPLETING CAUSE OF DEATH DUANE L GUFFEY, 101 N-FOURTH STREET STE 401, PO BOX 1244, EFFINGHAM, IL, 62401					PHYSICIAN'S LICENSE NUMBER

This is to certify that this is a true and correct copy from the official death record filed with the Illinois Department of Public Health.

Kerry J. Hirtzel

Kerry J. Hirtzel
Effingham County Clerk and Local Registrar





JEFFERSON COUNTY - STATE OF NEW YORK
 GIZELLE J. MEEKS, JEFFERSON COUNTY CLERK
 175 ARSENAL STREET
 WATERTOWN, NEW YORK 13601

COUNTY CLERK'S RECORDING PAGE

THIS PAGE IS PART OF THE DOCUMENT - DO NOT DETACH



INSTRUMENT #: 2016-00007502
 Receipt#: 2016011378
 Clerk: AS
 Rec Date: 06/08/2016 11:45:07 AM
 Doc Grp: DEE
 Descrip: DEED
 Num Pgs: 5
 Rec'd Frm: SLYE LAW OFFICES

Party1: PULZ BRUCE W
 Party2: SUNDUS & SARAH LLC
 Town: WATERTOWN-CITY OF

Recording:	
Cover Page	5.00
Recording Fee	40.00
Cultural Ed	14.25
Records Management - Coun	1.00
Records Management - Stat	4.75
TP584	5.00
RP5217 Residential/Agricu	116.00
RP5217 - County	9.00
Sub Total:	<u>195.00</u>
Transfer Tax	
Transfer Tax - State	480.00
Sub Total:	<u>480.00</u>
Total:	<u>675.00</u>

**** NOTICE: THIS IS NOT A BILL ****

***** Transfer Tax *****
 Transfer Tax #: 2934
 Transfer Tax
 Consideration: 120000.00

Transfer Tax - State	480.00
Total:	<u>480.00</u>

Record and Return To:

SLYE LAW OFFICES
 104 WASHINGTON ST
 WATERTOWN NY 13601
 OFFICE MAILBOX

Gizelle J. Meeks
 Jefferson County Clerk

THIS INDENTURE, made this 31st day of May, Two Thousand Sixteen (2016)

BETWEEN

BRUCE W. PULTZ, 1375 Washington Street, Watertown, NY 13601, Grantor,
and

SUNDUS & SARAH LLC, 16288 Deer Run, Watertown, NY 13601, Grantee,

WITNESSETH that Grantor, in consideration of ONE Dollar (\$1.00) lawful money of the United States, and less than One Hundred, does hereby grant and release to the grantees, their heirs, successors and assigns forever,

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York, as described on Schedule "A" annexed hereto and made a part hereof.

TOGETHER with all right, title and interest, if any, of Grantor in and to any streets and roads abutting the above described premises to the center lines thereof,

TOGETHER with the appurtenances and all the estate and rights of Grantor in and to the said premises,

TO HAVE AND HOLD the premises herein granted unto Grantee its executors, administrators, legal representatives, successors and assigns forever.

AND said Grantor covenants as follows:

FIRST: That the Grantee shall quietly enjoy the said premises;

SECOND: That the said Grantor shall forever warrant title to the said premises;

THIRD: That in compliance with Section 13 of the Lien Law, Grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvements and will apply the same first to the payment of the cost of improvement before using any part of the total of the same for any purpose.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal the day and year first above written.

IN PRESENCE OF

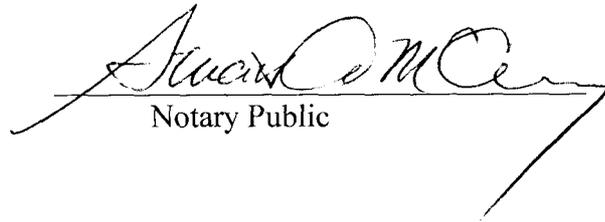


BRUCE W. PULTZ L.S.

Notary Public
Stuart A. McCreary
Jefferson County, NY
02MC4902145
Commission Expires July 6, 20__

STATE OF NEW YORK)
 : SS.:
COUNTY OF JEFFERSON)

On the 31st day of May, 2016, before me, the undersigned a notary public in and for said state, personally appeared BRUCE W. PULTZ personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.


Notary Public

Notary Public
Stuart A. McCreary
Jefferson County, NY
02MC4902145
Commission Expires July 6, 2018

Return to: *Slye Law Offices, PC.*

Schedule "A"
Pultz to Sundus and Sarah, LLC

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York and further described as follows:

BEGINNING at an iron pipe set in the assumed westerly street margin of Washington Street, said iron pipe being the most northeasterly corner of the parcel of land conveyed by William R. Cleaver to William R. & Frances I. Cleaver by deed recorded in the Jefferson County Clerk's Office in Liber 680 at Page 539 on 8/3/59, said iron pipe also being N. 4°-15' E. along the assumed westerly street margin of Washington Street a distance of 620.2 feet from the intersection of the assumed westerly street margin of Washington Street and the northerly street margin of Iroquois Avenue West;

THENCE N. 86°-33' W. along the Cleaver northerly property line a distance of 174.4 feet to an iron pipe found;

THENCE N. 5°-51' E. a distance of 50.0 feet to an iron pipe found in the most southwesterly corner of the parcel of land conveyed by George LaLone to Harry Garrod by deed recorded in the Jefferson County Clerk's Office in Liber 365 at Page 385 on 10/11/21;

THENCE S. 86°-33' E. along the Garrod southerly property line a distance of 173.0 feet to an iron pipe set in the assumed westerly street margin of Washington Street;

THENCE S. 4°-15' W. along the assumed westerly street margin of Washington Street a distance of 50.0 feet to the point of beginning.

CONTAINING 0.20 acres of land more or less.

SUBJECT to all rights or restrictions of record.

IT being the intent to describe the parcel of land conveyed by Kathryn H. Fairchild to Kathryn H. Fairchild, Hazel U. Kirkland and Leland F. Kirkland by deed recorded in the Jefferson County-Clerk's Office in Liber 710 at Page 300 on 7/26/61, said parcel being at 1348 Washington Street, Watertown, New York.

BEING the same premises conveyed by Administrator's Deed dated March 5, 1980 from Edward Kirkland and Margaret McGarry as Administrators of the Estate of Kathryn M. Fairchild to Bruce W. Pultz and recorded in the Jefferson County Clerk's Office on March 7, 1980 in Liber 906 of Deeds, page 261.

ALSO ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York and further described as follows:

BEGINNING at a point in the assumed westerly street margin of Washington Street, at the southeasterly corner of that parcel of land conveyed by George LaLone to Harry Garrod by deed dated October 10, 1921 and recorded in the Office of the Jefferson County Clerk on October 11, 1921 in Liber 365 of Deeds at page 385, N. 4°-15' E., along the assumed westerly street margin of Washington Street, a distance of 670.2 feet from the intersection of the westerly street margin of Washington Street and the northerly street margin of Iroquois Avenue West;

THENCE along the southerly boundary of said parcel conveyed by George LaLone to Harry Garrod as aforesaid N. 86° -33' W. a distance of 173.0 feet to an iron pin set;

THENCE N. 5° -51' E. a distance of 10.0 feet to an iron pin set;

THENCE S. 86° -33' E. passing through an iron pin set at 172.5 feet and continuing a total distance of 172.7 feet to a point in the assumed westerly street margin of Washington Street;

THENCE S. 4° -15' W. along the assumed westerly street margin of Washington Street a distance of 10.0 feet to the point of beginning.

CONTAINING 0.04 acres of land more or less and being a part of the premises conveyed to Harry Garrod by George LaLone as aforesaid.

SUBJECT to any rights or restrictions of record.

BEING the same premises conveyed by Executor's Deed dated February 14, 1980 from Harriette G. Provost as Executor of the Estate of Margaret N. Garrod to Bruce W. Pultz and recorded in the Jefferson County Clerk's Office on March 7, 1980 in Liber 906 of Deeds, page 259.

Jefferson County - New York
Jo Ann M. Wilder

7666

RECORDING CERTIFICATE

Transaction Number: 000823275180

Type of Instrument: DEED RECORD

Received From: CHECK ---> BLACK RIVER ABST
CHECKS --> CONBOY LAW FIRM
[RE: DELSIGNORE AND KALAMAS]
CITY OF WATERTOWN

Recording Charge: 57.50 Recording Pages: 5

** EXAMINED AND CHARGED AS FOLLOWS : **

** TRANSFER TAX **

** MTG/DEED AMOUNT **

246.00

61,250.00

RS#:

Mortgage#:

269

Received Tax on Above Mortgage

Basic: .00

Special Addl: .00

Town:

Additional: .00

Mortgage Tax Total: .00

Total Recording Fees: 303.50

** THIS PAGE IS PART OF THE INSTRUMENT **

I HEREBY CERTIFY THAT THE WITHIN AND FOREGOING WAS RECORDED IN THE
CLERK'S OFFICE FOR Jefferson County - New York

LIBER 1750 PAGE 55

IN (Book/Page):

ON (Recorded Date): 08/23/00

AT (Time): 02:28 Terminal ID: 113



Jo Ann M. Wilder

EXECUTOR'S DEED

*Mart-Kalamas
1356 Washington St.
Watertown, NY 13601*

THIS INDENTURE, made the 22nd day of August, 2000, between Martin A. DelSignore as executor of the last will and testament of Rosemary P. DelSignore, late of 1356 Washington Street, Watertown, New York, deceased, party of the first part, and John E. Kalamas and Anne M. Kalamas, his wife, of P. O. Box 11, Croghan, New York, 13327, as Tenants by the Entirety, parties of the second part.

WITNESSETH, that the party of the first part, by virtue of the power and authority to him given in and by the above-described last will and testament, and in consideration of Sixty One Thousand Two Hundred Fifty & no/100 (\$61,250.00) lawful money of the United States, paid by the parties of the second part, does grant and release unto the parties of the second part, their heirs and assigns forever,

ALL of that certain real property located in the City of Watertown, County of Jefferson, and State of New York, and more particularly described as follows: SEE SCHEDULE "A" ATTACHED HERETO

TOGETHER with the appurtenances and also all the estate that the above-named Testatrix had at the time of her death in the above-described premises, and also the estate therein that the party of the first part has or has power to convey or dispose of; whether individually, or by virtue of the above-described will or otherwise.

TO HAVE AND TO HOLD the premises herein granted unto the parties of the second part, their heirs and assigns forever.

And the party of the first part covenants that he has not done or suffered anything where the above described premises have been encumbered in any way.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the costs of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

Martin A. DelSignore

ESTATE OF ROSEMARY P. DELSIGNORE
by: MARTIN A. DELSIGNORE

[Signature]
CLERK

00 AUG 23 PM 2:28

JEFFERSON COUNTY CLERK
ENTERED FOR RECORD

STATE OF NEW YORK, COUNTY OF JEFFERSON, ss.

On the 22nd day of August, 2000, before me, the undersigned, personally appeared MARTIN A. DELSIGNORE, As Executor of the ESTATE OF ROSEMARY P. DELSIGNORE, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.


Notary Public
My commission expires on

LANCE G. MARZANO
NOTARY PUBLIC, STATE OF NEW YORK
REGISTRATION NO. 02MA5065327
QUALIFIED IN JEFFERSON COUNTY
COMMISSION EXPIRES 09/03/2001

Martin A. DelSignore was appointed as Executor of the Estate of Rosemary P. DelSignore on April 11, 2000 by the Surrogate's Court of Jefferson County under File No. 2000-084.

LIBER 1750 PAGE 57

SCHEDULE A
Property Description

CONVEYS ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND with the buildings and improvements thereon erected, situate, lying and being in the City of Watertown, County of Jefferson and State of New York, bounded and described as follows:

BEING A part of the Smith Farm Subdivision as shown on a map thereof made by Field, Emerson & Morgan, Inc. for Watertown Suburban Estates, Inc., dated September 8th, 1943, and filed as "Map No. 4, Smith Farm Subdivision", in Jefferson County Clerk's Office on September 28th, 1943, and being known and designated on said map as Lot No. 16 in Block B.

This conveyance is also made subject to:

1. Restrictive covenants contained in instruments recorded in Liber 327 of Deeds, page 87 and Liber 443 of Deeds, page 210, as modified by instrument recorded in Liber 445 of Deeds, page 543, but this Corporation insures that such covenants contain no reversionary clause and have not been violated.

2. Easement granted by Watertown Suburban Estates, Inc. to Central New York Power Corporation, dated October 27th, 1943, and recorded November 10th, 1943 in Liber 446 of Deeds, page 130.

3. Easement described as Easement #5 in grant from Watertown Suburban Estates, Inc. to the City of Watertown dated October 15, 1943, and recorded in Jefferson County Clerk's Office on November 29, 1943, in Liber 446 of Deeds, at Page 243, to which reference is hereby made for a more particular description.

4. Easement as shown on Map 4, Smith Farm Subdivision, filed in Jefferson County Clerk's Office September 28, 1943, fully set forth in agreement between Watertown Suburban Estates, and The Northern New York Trust Company dated August 26, 1944 and recorded in Jefferson County Clerk's Office August 28, 1944, in Liber 449 of Deeds, Page 247, to which reference is hereby made for a particular description thereof.

BEING THE SAME PREMISES conveyed by G. Harold Merry, Jr. to Guido S. Del Signore and Rosemary P. Del Signore, his wife, by Warranty Deed dated September 29, 1953 and recorded in the Jefferson County Clerk's office September 29, 1953 in Liber 591 of Deeds at Page 82.

ALSO SUBJECT TO an Easement granted by Guido S. and Rosemary P. DelSignore to Niagara Mohawk Power Corporation dated February 12, 1973 and recorded in the Jefferson County Clerk's Office on March 16, 1973 in Liber 844 of Deeds, at Page 166.

By virtue of a recent survey description undertaken by Stanford J. Zeccolo, P.E., L.S., the premises being conveyed is more accurately described as follows:

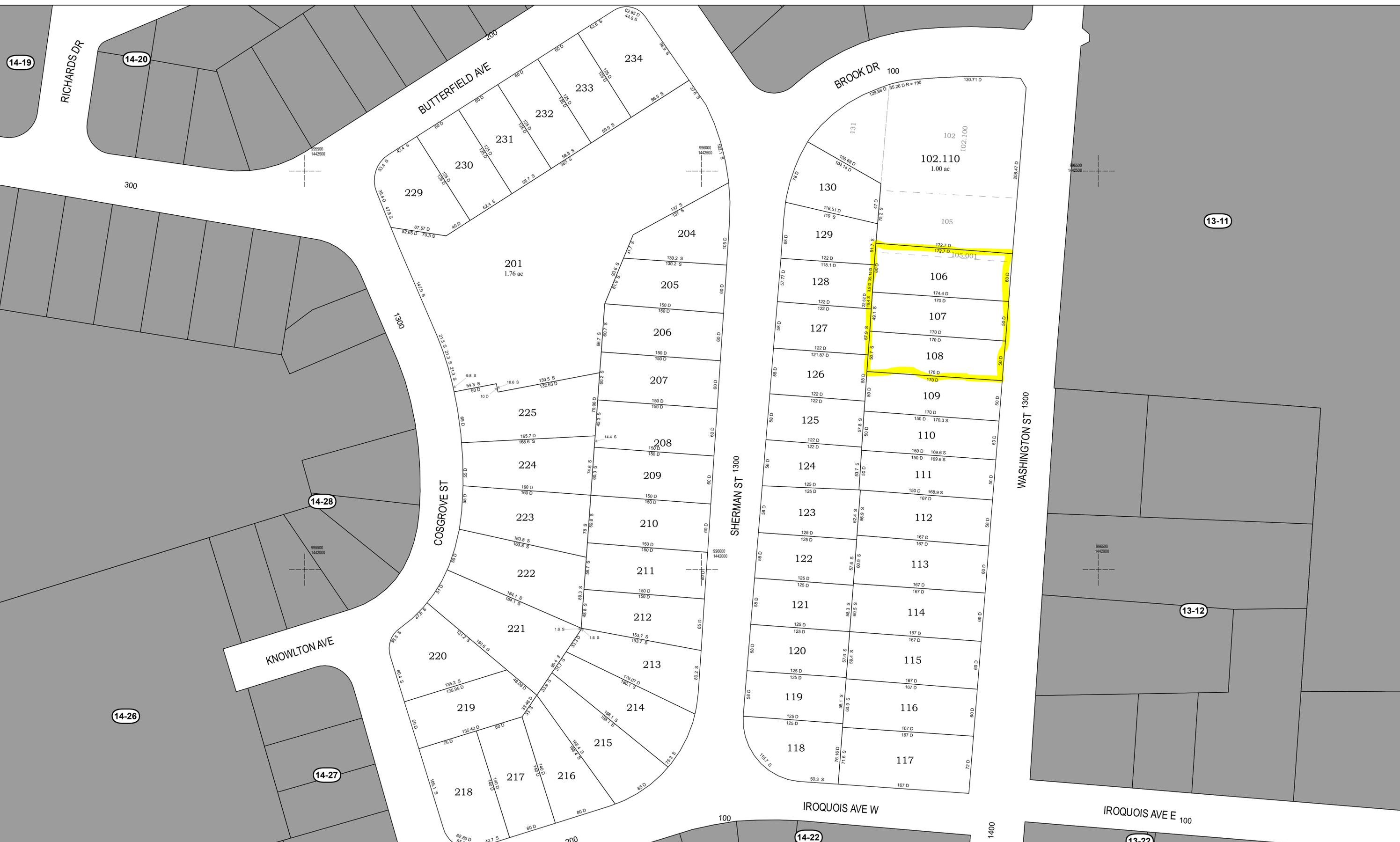
ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York, bounded and described as follows:

Beginning at a nail set in the westerly monumented margin of Washington Street said point being North 4 degrees 15 minutes East a distance of 520.00 from the intersection of the westerly monumented margin of Washington Street and the northerly margin of Iroquois Avenue West, said beginning point also being 0.95 feet east of a railroad spike found; thence North 86 degrees 33 Minutes West along the lands of Ascraft (Bk 1731, Pg 349) on the south, a distance of 170.00 feet to a point being 0.48 feet southeast of an iron pipe found; thence North 4 degrees 15 minutes East along the lands of Connell (Bk 1246, Pg 57) and Clark (Bk 888 Pg. 1079) on the west a distance of 50.00 feet to an iron pipe set, thence South 86 degrees 33 minutes East along the lands of Cleaver (Bk 680, Pg 539) on the north, a distance of 170.00 feet to an iron pipe set; thence South 4 degrees 15 Minutes West along the westerly margin of Washington Street, a distance of 50.00 to the point and place of beginning.

Contains 0.20 acres of land.

The above parcel is shown as lot #16 of the Smith Farm Subdivision dated September 28, 1943 and filed in the Office of the County Clerk, known as 1356 Washington Street, and further identified by Tax Map ID#14-21-108.

NOTE: Guido S. Del Signore died in Watertown, New York on February 21, 1994; and Rosemary P. Del Signore died in Watertown, New York on April 11, 2000. Martin A. DelSignore was appointed as Executor of the Estate of Rosemary P. DelSignore on April 11, 2000 by the Surrogate's Court of Jefferson County under File No. 2000-084.



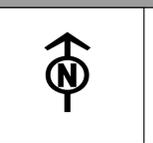
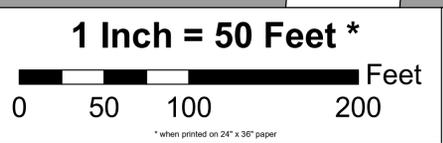
Prepared by
City of Watertown GIS
 For
City of Watertown
Assessment Department

For Tax Purposes Only
Not to be Used for Conveyance

NAD 83 STATE PLANE
 CENTRAL ZONE, US FEET

Print Key	Date
14-21-102.000	05/01/2013
14-21-102.700	01/20/2016
14-21-105.000	05/01/2013
14-21-105.001	12/01/2016
14-21-131.000	01/20/2016

- Property Line
- - - Historic Property Line
- Building Outline
- Railroad
- City Boundary (124,000)
- School District Boundary



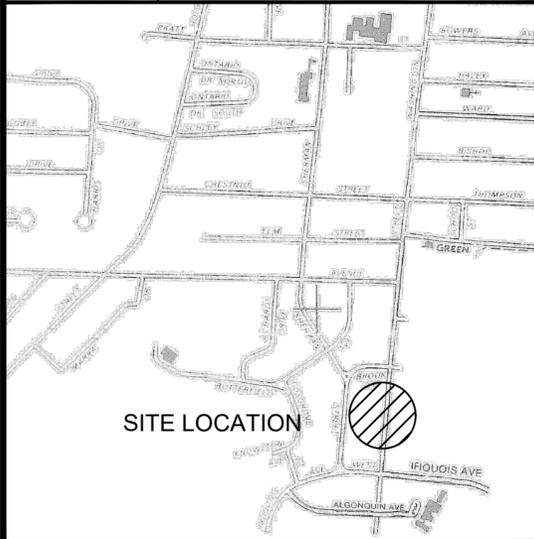
Tax Map

City Of Watertown

Jefferson County, NY

Section 14 Block 21

Printed Date: 1/2/2020



LOCATION MAP NOT TO SCALE

**BOUNDARY AND TOPOGRAPHIC SURVEY OF THE LAND OF
1348, 1352 AND 1356 WASHINGTON STREET
ZONING CHANGE REVIEW DRAFT**

CITY OF WATERTOWN COUNTY OF JEFFERSON STATE OF NEW YORK

	Bernier, Carr & Associates, Engineers, Architects and Land Surveyors, P.C. <small>327 Mullin Street, Watertown, NY 13601 (315) 782-8130 - WWW.THEBCGROUP.COM</small>	<small>SURVEY DATE: 10-14-2016</small> <small>CHECKED BY: MDA</small> <small>DRAWN BY: MJM</small> <small>DATE: 3/16/2020</small> <small>LAST REVISION:</small> <small>SCALE: 1" = 20'</small>	<small>SHEET NO.</small> <h1 style="font-size: 2em; margin: 0;">1</h1> <small>PROJECT NO.</small> 2019-110	
	<small>COPYRIGHT 2020 - BERNIER, CARR & ASSOCIATES, ENGINEERS, ARCHITECTS AND LAND SURVEYORS, P.C. IT IS A VIOLATION UNDER THE NEW YORK STATE EDUCATION LAW FOR ANY UNAUTHORIZED ALTERATIONS TO THIS DOCUMENT AS PER ARTICLE 145 AND 147.</small>			
	<small>THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE & NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES.</small>			

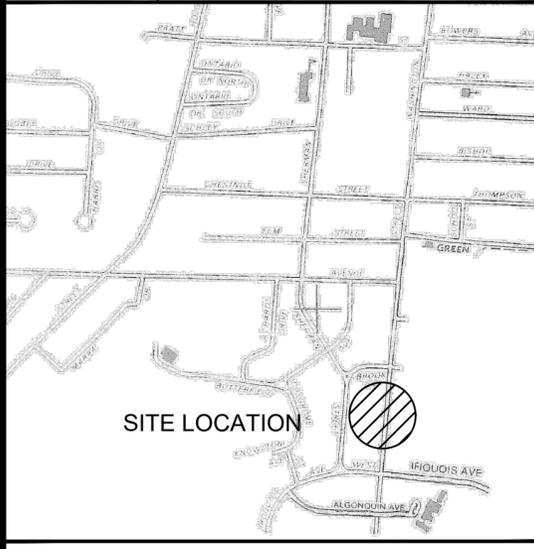
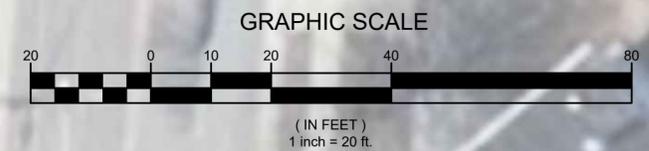


- LEGEND**
- Capped Pin Set
 - 1/2" Iron Pipe Found
 - 3/4" Iron Pipe Found
 - OU- Overhead Utilities
 - Utility Pole
 - G- Gas Line
 - SN- Sanitary Line
 - ST- Storm Line
 - Deciduous Tree
 - Coniferous Tree
 - Catch Basin
 - Sanitary Manhole
 - P Adjoining Property Line

MAP REFERENCE

1. Survey Map of the Land at 115 Brook Drive, prepared by GYMO, PC and dated September 11, 2015.

- NOTES**
1. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Subdivision 2, of the New York State Education Law.
 2. Subsurface and environmental conditions were not examined or considered as a part of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of this tract.
 3. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current abstract title search may disclose.
 4. Base mapping shown is subject to any subsurface easements, restrictions or conditions that exist, if any.
 5. Underground utilities shown are from field location if possible. Others are shown from available record data, their exact location may be different from that as shown and others may exist.
 6. The intent of this survey is to combine City Assessment Parcel 14-21-1-106, 107 and 108 into one parcel with a composite description.
 7. Parcel lines and owners shown on this map are based on City Assessments Maps and Records



**MIXED USE RETAIL, PROFESSIONAL SERVICES AND APARTMENT SPACE BUILDING
1348, 1352 AND 1356 WASHINGTON STREET
ZONING CHANGE REVIEW**

CITY OF WATERTOWN COUNTY OF JEFFERSON STATE OF NEW YORK

	Bernier, Carr & Associates, Engineers, Architects and Land Surveyors, P.C. 327 Mullin Street, Watertown, NY 13601 (315) 782-8130 - WWW.THEBCGROUP.COM		SURVEY DATE: 10-14-2016	SHEET NO. 1
			CHECKED BY: MDA	PROJECT NO. 2019-110
			DRAWN BY: MJM	
			DATE: 4/29/2020	
			LAST REVISION:	
		SCALE: 1" = 20'		

COPYRIGHT 2020 - BERNIER, CARR & ASSOCIATES, ENGINEERS, ARCHITECTS AND LAND SURVEYORS, P.C. IT IS A VIOLATION UNDER THE NEW YORK STATE EDUCATION LAW FOR ANY UNAUTHORIZED ALTERATIONS TO THIS DOCUMENT AS PER ARTICLE 145 AND 147. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE & NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES.



MEMORANDUM

CITY OF WATERTOWN, NEW YORK
OFFICE OF PLANNING AND COMMUNITY DEVELOPMENT
245 WASHINGTON STREET, ROOM 304, WATERTOWN, NY 13601
PHONE: 315-785-7740 – FAX: 315-785-7829

TO: Planning Board Members

FROM: Michael A. Lumbis, Planning and Community Development Director

SUBJECT: Zone Change – 1348, 1352 and 1356 Washington Street

DATE: April 30, 2020

Request: To change the approved zoning classification of, 1348, 1352 and 1356 Washington Street, Parcel Numbers 14-21-106.000, 14-21-107.000, and 14-21-108.000 from Residence B to Neighborhood Business

Applicant: Michael Altieri, P.E. of the Bernier, Carr & Associates, Engineers and Land Surveyors, P.C. on behalf of Sundus and Sarah, LLC

Owner(s): 1348 and 1352 Washington Street: Sundus and Sarah, LLC
1356 Washington Street: John Kalamas

SEQRA: Unlisted

County review: No

Comments: The applicant is presenting this zone change request as the first necessary step in a proposal to redevelop the three subject parcels. The applicant's cover letter states that the applicant's client, Sundus & Sarah, LLC, would like to develop a "future mixed use retail, professional services and apartment space."

The applicant anticipates submitting a subsequent Special Use Permit request for the proposed apartments, pending the outcome of this zone change request. Apartments are legal in a Neighborhood Business District only with a Special Use Permit. If approved for the zone change and Special Use Permit, the applicant would also need to obtain Site Plan Approval at a future date for the proposed redevelopment.

A map of the proposed zone change, prepared by City GIS Staff, is attached for your review.

Comprehensive Plan: The City's adopted Comprehensive Plan recommends the west side of this segment of Washington Street for Urban Mixed Use.

Ownership/Permissions: City records identify John Kalamas as the owner of 1356 Washington Street. The applicant's survey identifies the owner of this parcel only as "Kalanas," with an "n." The applicant shall either submit proof of ownership of this parcel or submit written permission from the property owner to apply for a zone change on the owner's behalf.

Miscellaneous: The applicant's cover letter and survey drawing both identify all three subject parcels as presently being in a Residence C District. This is inaccurate as, all three are presently zoned Residence B. The applicant must correct this error.

SEQR: The applicant has submitted a State Environmental Quality Review (SEQR) Short Environmental Assessment Form (EAF) as part of the application for the zone change. The City Council, as the lead agency, will complete Part 2 of the EAF. To avoid segmenting the review, the Council must consider the environmental effects of not only the zone change, but also the proposed redevelopment as a "whole action."

As the New York State Department of Environmental Conservation's SEQR Handbook references, 6 CRR-NY 617.2(ah) defines segmentation as "the division of the environmental review of an action so that various activities or stages are addressed as though they were independent, unrelated activities needing individual determinations of significance." The Handbook goes on to state that "Proposals or parts of proposals that are related to each other closely enough to be, in effect, a single course of action have to be evaluated as one whole action."

The applicant writes in his cover letter, "For the purposes of SEQR, this zone change application does not propose to affect any environmental resources." However, the rezoning is a means to an end of redeveloping the site, and as such, constitutes a whole action. The applicant must submit a new Short EAF that identifies all project phases as part of the proposed action, and answers all questions on the form as such.

cc: City Council Members

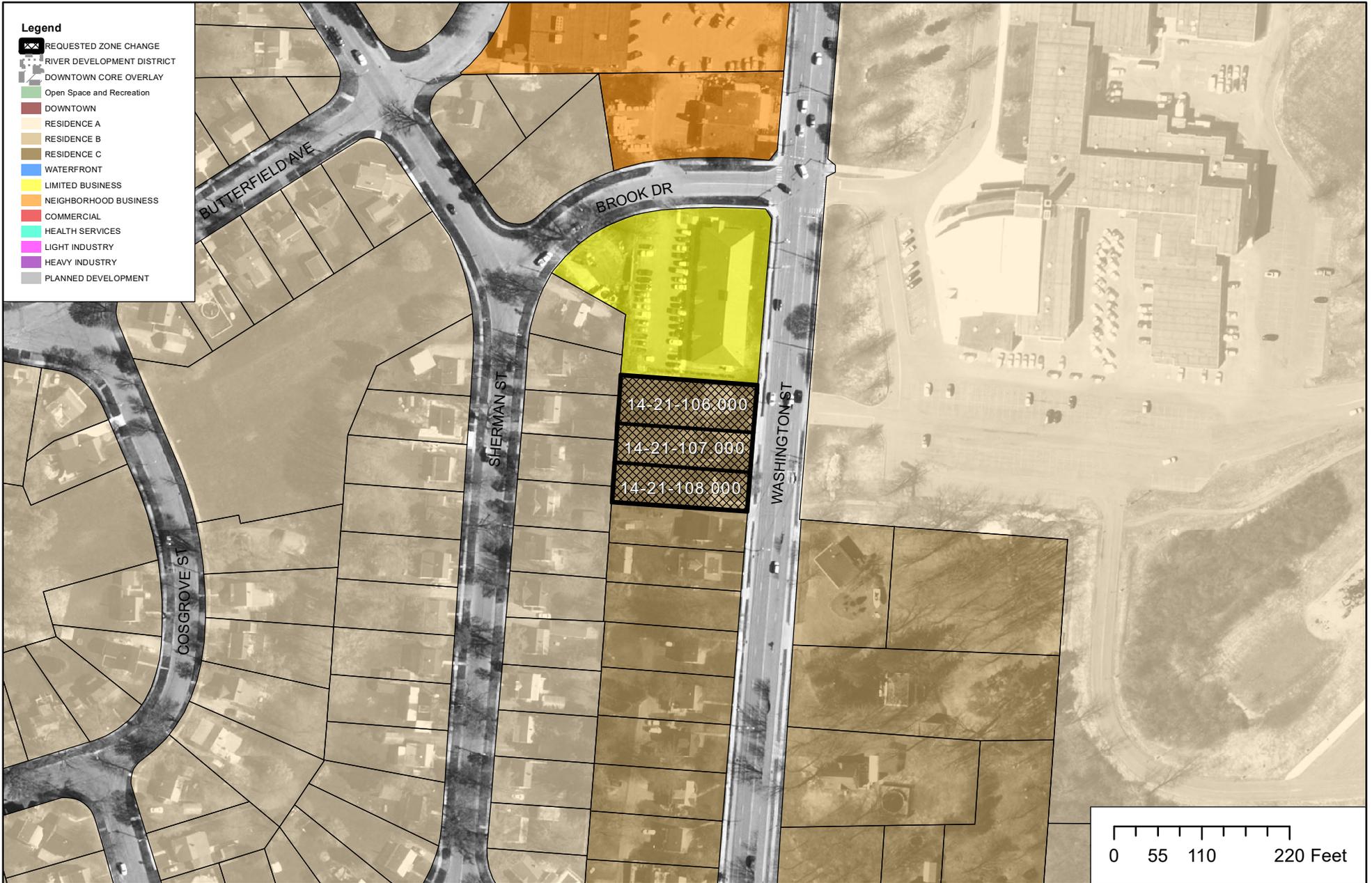
Michael Altieri, P.E., Bernier, Carr & Associates, 327 Mullin Street, Watertown, NY 13601

Dr. Sarah Latif, DDS, 1340 Washington Street, Watertown, NY 13601

Ben Arquitt, Civil Engineer I

Legend

-  REQUESTED ZONE CHANGE
-  RIVER DEVELOPMENT DISTRICT
-  DOWNTOWN CORE OVERLAY
-  Open Space and Recreation
-  DOWNTOWN
-  RESIDENCE A
-  RESIDENCE B
-  RESIDENCE C
-  WATERFRONT
-  LIMITED BUSINESS
-  NEIGHBORHOOD BUSINESS
-  COMMERCIAL
-  HEALTH SERVICES
-  LIGHT INDUSTRY
-  HEAVY INDUSTRY
-  PLANNED DEVELOPMENT



**CITY OF WATERTOWN, NEW YORK
GIS DEPARTMENT**

ROOM 305B, MUNICIPAL BUILDING
245 WASHINGTON STREET
WATERTOWN, NEW YORK 13601

TEL: (315) 785-7793

Drawn By: V. Robenski
Date: 4/29/2020
Requested By: G. Urda
Date:
Scale: As Noted
Map Number:

Revision:	Description of Revision:	Date:	By:



Project: **ZONE CHANGE MAP**
(Residence B to Neighborhood Business)

Title: 1348, 1352 and 1356 Washington Street
(14-21-106.000, 14-21-107.000, 14-21-108.000)

May 26, 2020

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planning and Community Development Director

Subject: Proposed Additional Work – Rutland St. North Sidewalk Project

At its March 16, 2020 meeting, the City Council accepted a bid in the amount of \$248,981.50 from Concrete Slipform, Inc. for the Rutland Street North Sidewalk and Northside ADA Ramp Repair Project. The project consists of three sites including the 100 to 300 blocks of Rutland Street North, the 1000 and 1100 blocks of the north side of Huntington Street, and various ADA ramps on the northwest side of the City. The project began in early May and the contractor has completed sidewalk work on Huntington St. and a portion of the west side of Rutland St. North.

The project is being funded with Community Development Block Grant (CDBG) funds from Program Years 2018-2019 and 2019-2020. As Council members may recall, the bids for the project were under budget for the three components. The budget for the sidewalk replacement in the 100-300 blocks of Rutland Street North (Component #1) was \$240,000 and the bid price was \$135,512.50. The budget for the sidewalk replacement on the north side of the 1000-1100 blocks of Huntington Street (Component #2) was \$50,000 and the bid price was \$39,301. The budget for the north side ADA Ramp Replacement Project (Component #3) of the project was \$90,000 and the bid price was \$74,168.

Since the prices were under budget, Staff is proposing a small change order that would allow for a few enhancements to the project. The enhancements would primarily consist of the replacement of additional sidewalk blocks on corner properties along the street. The original project design included the replacement of the sidewalk along the Rutland St. North corridor only. For corner properties, the sidewalk was not proposed to be replaced on the adjoining side street. The work needed for each corner property ranges from a full replacement to a few blocks. In addition to the corner lots, the proposed change order would replace the sidewalk frontage of two properties on Rutland St. North near the corner of State St. and near the corner of Huntington Street.

The proposed change order would consist of the replacement of an additional 410 linear feet or 1,640 square feet of sidewalk. The estimated cost of the change order based on the unit prices in the bid is approximately \$25,000. If the Council would like to proceed with the additional work, Staff will ask CSI to prepare a change order request that will be presented at the June 15, 2020 meeting for formal approval.

May 26, 2020

To: The Honorable Mayor and City Council
From: Michael A. Lumbis, Planning and Community Development Director
Subject: Zoning Ordinance Rewrite Project Steering Committee

At the April 20, 2020 meeting, the City Council approved a contract with Elan Planning for the Zoning Ordinance Rewrite Project. We are in the beginning stages of the project and one of the first steps is to establish a steering committee to assist with the process. The purpose of the steering committee would be to work with staff and our consultant to guide the development of the zoning ordinance recommendations, facilitate communication with the community and stakeholders, and build commitment and collaboration throughout the process.

I would envision that the steering committee would be a very small working group consisting of the following potential members:

- Council Member
- Resident
- Commercial property owner
- Planning Board member
- Zoning Board of Appeals member
- Planning Staff
- Code Enforcement Staff

As noted above, the steering committee would help to guide the development of the zoning ordinance and make recommendations to the City Council. This will be a working group that will tediously labor over the proposed ordinance line by line. In addition, the steering committee will help to facilitate communication with key stakeholders to gain additional input during the process to make the new ordinance reflective of the needs and desires of end users and the community at large.

In addition to having a Council Member on the steering committee, we are planning to keep the City Council informed by providing regular (monthly) updates and by meeting with you during work sessions at various points during the process.

While some of the Staff members of the committee are set, we are looking to the Mayor and City Council for guidance on some of the other members.

May 26, 2020

To: The Honorable Mayor and City Council
From: Michael A. Lumbis, Planning and Community Development Director
Subject: Community Development Block Grant CARES Act Funding

As the City Council is aware, the City of Watertown has been allocated \$541,672 in Community Development Block Grant (CDBG) funding through the Coronavirus Aid, Relief, and Economic Security Act (CARES Act) that was recently authorized to respond to the effects of the ongoing public health crisis. Over the course of the last few weeks, Staff has participated in several conference calls and webinars sponsored by the United State Department of Housing and Urban Development (HUD) to gain a better understanding of how the funding can be spent and how to apply for and access the funds.

The CARES Act adds some flexibility to the CDBG Coronavirus (CDBG-CV) grant in several areas. The first is regarding the time period required for the public comment period on the proposed spending plan which has been reduced from thirty days to five. The City may also use virtual public hearings when they are required. Additionally, the amount the City can spend on public services does not have a 15% spending cap like our normal CDBG grants.

In order to access the funds, the City will have to develop a plan that describes the proposed uses of the funding, describes how the activities are an eligible use of CDBG funds and how they meet a HUD national objective. Benefitting low and moderate income (LMI) persons is considered the “primary” national objective for the program.

The direct benefit to LMI persons can be calculated and determined in various ways including a direct benefit to an individual or family like is done through our housing programs or a benefit to a specific geographic area where at least 51% of the population, based on census data, are considered LMI. This is how we determine the benefit for our infrastructure projects.

The CDBG-CV funds can be used to respond to needs directly related to the Coronavirus pandemic or can be used for any CDBG eligible project. The Council’s ideas of providing additional funding for the Watertown City School District’s Food for Families Program (Backpack Program) as well as for some of the other local food banks such as the Watertown Urban Mission and the Community Action Planning Council

would be eligible and would respond to an immediate need that has arisen as a result of the pandemic.

As a result of the shutdown caused by the pandemic, local revenues for infrastructure projects have been greatly reduced and planned projects have been put on hold. The CDBG-CV funding can be used to allow the City to continue to complete infrastructure projects to improve the community. In addition to providing an avenue for continuing our community development efforts, infrastructure projects have the added benefit of keeping people employed and aiding in the start up and recovery of the economy through the purchase of supplies and materials for the projects.

As mentioned above, infrastructure projects paid for with CDBG funds have to be located in specific geographic areas of the City where at least 51% of the population is considered LMI. These areas have to be primarily residential in nature and not in commercial areas. Staff is currently working with the Engineering Department, Department of Public Works and the Water Department to develop ideas and costs estimates for a proposed infrastructure project(s) within one of the target areas. Generally, the ideas include sidewalks, streets and ADA ramps. We expect to have preliminary cost estimates prepared for the proposed infrastructure project(s) at the next Council meeting.

It should be noted that the City will have approximately two years to spend the CDBG-CV funding so a larger grant to the food pantries that could be spent over the course of the next two years as the community and economy recovers is a possibility. Also, in developing a proposed infrastructure project(s) and related scope of work, it would be helpful to have an idea of how much of the CDBG-CV funding the Council would like to appropriate to the local food banks.

May 28, 2020

To: The Honorable Mayor and City Council
From: Kenneth A. Mix, City Manager
Subject: CitiBus Advertising Rates

The attached report from Superintendent of Public Works, Patrick Keenan, proposes rate changes for advertising on buses. If the City Council wishes to proceed with the changes, a resolution will be prepared for consideration at the next meeting.



City of Watertown

CitiBus

Transit Advertising:

Mr. Mix; CitiBus has traditionally provided space on the exterior and interior of the bus fleet for advertising opportunities to interested parties which generates a modest source of revenue for the City. As the issues with bus reliability have been reduced/eliminated with the new fleet of buses, we are proposing a new advertising rate structure for CitiBus.

The last rate change for bus advertising occurred prior to 2008 when the City contracted its advertising to a 3rd party vendor. The charts below summarize the current rate structure and the proposed rate changes. We have increased the rates about 3% per year from the 2008 rate to arrive at the new rate schedule.

The accompanying charts on page 2 illustrate the proposed changes for the rate structure. Also included are pricing sheets from Lewis County Transit and St. Lawrence County Transit as well as rates from Syracuse and Glens Falls for comparison. Rates in some of the larger urban areas are significantly higher than what we are proposing, but staff was hesitant to create too large of an increase at one point in time. Our focus is to re-establish the advertising program and adjust rates accordingly on a yearly basis moving forward.

We currently have only 4 buses available on which we can place advertising. A 5th bus will be online in 12-16 months. The configuration of the new buses in our fleet limits our opportunities to place advertising which will result in 8 fewer exterior locations which is reflected in the modest revenue increase when the fleet is complete.

Please advise if there are any further questions.

Regards, Pat.

Current Advertising Rate Schedule (Former Fleet)

Ad location/size	Term (fixed)	Ad Locations available	Annual cost by location for 5 buses
Street Side 30"x88"	\$55/month	5	\$3300.00
Curb Side 30"x 48"	\$45/month	5	\$2700.00
Front 12" x 40"	\$50/month	5	\$3000.00
Rear 12" x 60"	\$55/month	5	\$3300.00
Interior Rail 11"x28"	\$20/month	5	\$1200.00

Proposed Advertising Rate Schedule

Our current fleet consists of two different size buses with no front space available on any of these units and rear space available on only two units.

Ad location/size	Term	Ad locations available	Annual cost by location for all buses.	
Street Side 30"x160"	\$105/month	1	\$1260.00	
Street Side 30"x70"	\$75/month	3	\$2700.00	\$3960.00
Curb Side 30" x 160"	\$105/month	1	\$1260.00	
Curb Side 30"x 70"	\$75/month	3	\$2700.00	\$3960.00
Rear 12" x 60"	\$125/month	1	\$1500.00	
Interior Rail 11"x28"	\$25/month	21	\$1200.00	

Annual Cost Comparison, All Buses by Ad Location

<i>Location</i>	<i>Current yearly cost by ad location, all 5 buses</i>	<i>Proposed yearly cost by ad location, all 4 buses</i>
Street Side	\$3300.00	\$3960.00
Curb Side	\$2700.00	\$3960.00
Rear*	\$3300.00	\$1500.00 (Only 1 available)
Interior	\$1200.00	\$1500.00
Front**	\$3000	None Available
	\$13,500.00 (5 Buses, 20 exterior spaces)	\$10,920.00 (4 Buses, 9 exterior spaces)



City of Watertown

CitiBus

GUIDE TO ADVERTISING ON CITIBUS

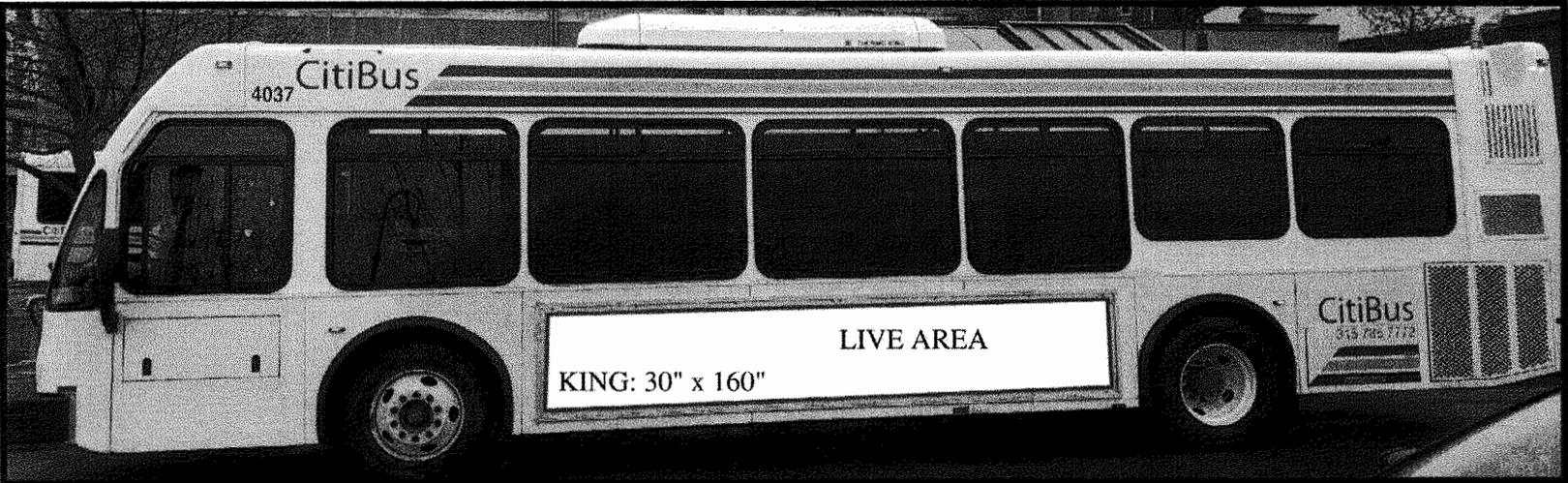
April 2020

WHY TRANSIT ADS WORK FOR YOU:

- **Buses go where people go!**
- **Buses are MOVING billboards!**
- **Ads run all month long, building REACH & FREQUENCY!**
- **Reach wide demographic and age groups!**
- **Excellent advertising medium for brand positioning and slogans**
- **Cost effective!**

CITIBUS operates three buses daily covering five routes. The buses operate 12 hours daily, six days a week. Advertising options range from display on the side of buses, the back/tail of two buses, and the interiors of all buses.

PICK YOUR PLACEMENTS:



PICK YOUR PLACEMENTS:



PICK YOUR PLACEMENTS:



INTERIOR: 11" x 28"

RATE STRUCTURE:

TERM	DRIVER SIDE/KING BOARD: 30" X 160"	PASSENGER SIDE/KING BOARD: 30" x 160"	DRIVER SIDE/QUEEN BOARD: 30" x 70"	PASSENGER SIDE/QUEEN BOARD: 30" x 70"	BACK/TAIL: 21" x 72 "	INTERIOR/RAILS: 11" x 28"
	<i>1 available</i>	<i>1 available</i>	<i>3 available</i>	<i>3 available</i>	<i>1available</i>	<i>21 available</i>
3 MONTH	\$175/mo	\$175/mo	\$150/mo	\$150/mo	175/mo	\$35/mo
6 MONTHS	\$125/mo	\$125/mo	\$100/mo	\$100/mo	\$150/mo	\$30/mo
12 MONTHS	\$105/mo	\$105/mo	\$75/mo	75/mo	\$125/mo	\$25/mo

- **10% DISCOUNT IF YEAR IS PAID IN FULL**

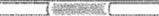
Prices include rental of the advertising space only. Prices do NOT include artwork, materials, production, installation and removal. These are the responsibility of advertiser and must be approved by CITIBUS.

Want more information on how CITIBUS can drive your message home?

Contact Transit Supervisor Doreen Doherty at 315-785-7772 or ddoherty@watertown-ny.gov.

ALBANY, NY

TRADITIONAL PRODUCTS

product		rate/unit	impressions/4wks*
KING 30"x 144"		\$505	84,000
SUPER KING 30"x 216"		\$605	97,000
QUEEN 30"x 88"		\$395	25,000
TAIL 21"x 70"		\$370	42,000
INTERIOR CARD 11"x 28"		\$55	4,000
MICHELANGELO 24"x 48"		\$80	N/A

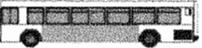
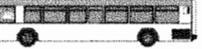
STREET FURNITURE

product		rate/unit	impressions/4wks*
SHELTER 88.5"x 47.5"		\$490	105,000

MARKET COVERAGE

Albany, Schenectady, Troy, Saratoga

SIGNATURE PRODUCTS

product		rate/unit	impressions/4wks*
SUPER TAIL 34"x 84"		\$450	42,000
FULL BACK 88"x 102"		\$685	81,000
MINI KONG 30"x 100"		\$555	84,000
KONG 42"x 228"		\$660	97,000
KING KONG 100"x 226"		\$1,260	105,000
HALF SIDE 43"x 336"		\$765	100,000
HEADLINER VARIES		\$210	N/A
EXTENSION VARIES		\$15/ sq. ft.	N/A

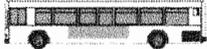
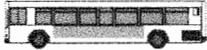
DETAILS

Rates are NET and represent space only, subject to change. Signature product sizes are approximate and reflect the average bus length within a market. Icons are provided for reference only. Please contact your Lamar rep for exact design size and specifications.

*Impressions are provided by Geopath OOH Ratings and are based on custom market size (Albany, Rensselaer, Saratoga, and Schenectady County)

SYRACUSE, NY

TRADITIONAL PRODUCTS

product		space/unit	impressions/4wks*
KING 30" x 144"		\$505	42,000
SUPER KING 30" x 216"		\$605	35,000
QUEEN 30" x 88"		\$395	21,000
TAIL 21" x 70"		\$370	24,000
INTERIOR CARD 11" x 28"		\$55	N/A
MICHELANGELO 24" x 48"		\$80	N/A

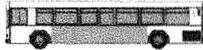
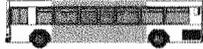
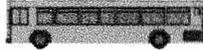
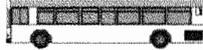
STREET FURNITURE

product		space/unit	impressions/4wks*
SHELTER 68.5" x 47.5"		\$490	63,000

MARKET COVERAGE

Onondaga County, Oswego County, Oneida County and Cayuga County

SIGNATURE PRODUCTS

product		space/unit	impressions/4wks*
SUPER TAIL 34" x 84"		\$450	24,000
FULL BACK 88" x 102"		\$895	35,000
KONG 42" x 228"		\$660	35,000
KING KONG 100" x 226"		\$1,260	41,000
HALF SIDE 43" x 336"		\$760	N/A
FULL SIDE 43" x 336"		\$1,945	42,000
FULL WRAP (2) 43" x 336" + (1) 88" x 102"		\$3,360	124,000
HEADLINER Varies		\$210	N/A
EXTENSION Varies		\$15 sq ft.	N/A

TRANSIT HUB

product		space/unit	impressions/4wks*
FACADE 82" x 240"		\$1,200	N/A

DETAILS

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*Impressions are provided by Geopath OOH Ratings and are based on custom market size (Onondaga County)



TRADITIONAL BUS PRODUCTS

product		rate/unit	impressions/4wks*
KING 30"x 144"		\$480	35,000
QUEEN 30"x88" or 25"x88" or 25"x80"		\$375	27,000
TAIL 21"x 70"		\$350	25,000
INTERIOR CARD 11"x 28"		\$50	N/A
MICHELANGELO 24"x 48"		\$75	N/A

SIGNATURE BUS PRODUCTS

product		rate/unit	impressions/4wks*
SUPER TAIL 34"x 84"		\$425	25,000
FULL BACK 88"x 102"		\$650	44,000
MINI KONG 30"x 100"		\$525	35,000
HALF SIDE 43"x 336"		\$725	55,000

TROLLEY PRODUCTS

product		rate/unit	impressions/4wks*
SUPER KING 19"x320"		\$3,145	N/A
SUPER QUEEN 19"x184"		\$3,010	N/A
TAIL 19"x25"		\$1,158	N/A
INTERIOR CARD 12"x24"		\$1,018 (6 units)	N/A

MARKET COVERAGE

Glens Falls, Queensbury. Greater Glens Falls Transit offers seasonal trolley service from Memorial Day through Labor Day. The trolleys operate in optimal commercial and retail districts in the following areas: Route 9 between Glens Falls and Canada Street, in Lake George and along Route 9N between Lake George and Bolton Landing. The Trolleys offer ideal ad placement that reaches both pedestrian and vehicular traffic in Upstate New York's busy Lake George region at the height of the season.

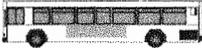
DETAILS

Rates are NET. Bus Rates represent space only. Trolley rates represent space, one design, shipping, and installation. Trolley Rates are all inclusive from Memorial Day – Labor Day. Specific placement premiums may apply. All rates are subject to change. Please contact your Lamar account manager to verify availability, display size, and art/production requirements.

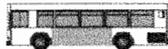
Materials may be provided for Traditional Bus products. Signature product sizes are approximate and reflect the average bus length within a market. Icons are provided for reference only. Please contact your Lamar rep for exact design size and specifications.

*Impressions are provided by Geopath OOH Ratings and are based on Albany DMA

TRADITIONAL BUS PRODUCTS

product		production/unit	impressions/4wks*
KING 30"x 144"		\$110	35,000
QUEEN 30x88" or 25"x88" or 25"x80"		\$70	27,000
TAIL 21"x 70"		\$45	25,000
INTERIOR CARD 11"x 28"		\$15	N/A
MICHELANGELO 24"x 48"		\$50	N/A

SIGNATURE BUS PRODUCTS

product		production/unit	impressions/4wks*
SUPER TAIL 34"x 84"		\$150	25,000
FULL BACK 88"x 102"		\$450	44,000
MINI KONG 30"x 100"		\$140	35,000
HALF SIDE 43"x 336"		\$830	55,000

TROLLEY PRODUCTS

product		production/unit	impressions/4wks*
SUPER KING 19"x320"		\$160	N/A
SUPER QUEEN 19"x184"		\$160	N/A
TAIL 19"x25"		\$45	N/A
INTERIOR CARD 12"x24"		N/A	N/A

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