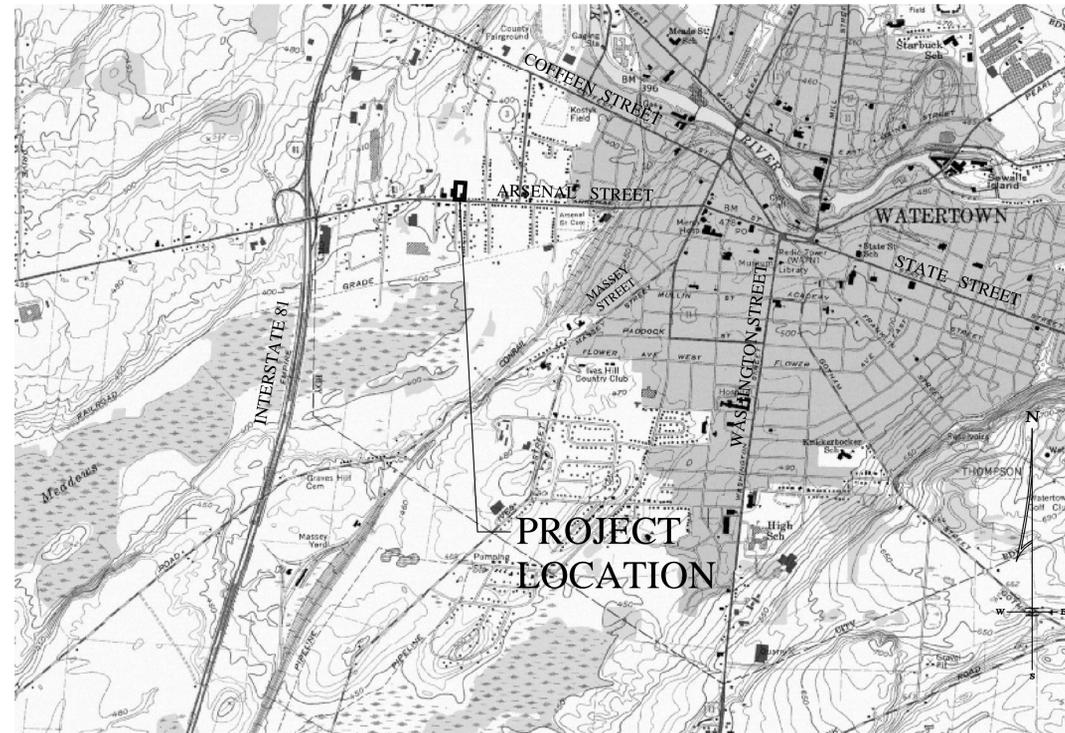


TILTED KILT - WATERTOWN

1050 ARSENAL STREET

CITY OF WATERTOWN, JEFFERSON COUNTY, NEW YORK

SITE PLANS: 02/16/2010



INDEX OF DRAWINGS

MAP OF LAND SURVEYD FOR CRAZY IRISHMEN HOLDINGS, LLC
BY LAFAVE, WHITE AND MCGIVERN, L.S., P.C.

- C100 SITE AND GRADING PLAN
- C101 UTILITY PLAN
- C500 SITE AND EROSION AND SEDIMENT CONTROL DETAILS
- C501 WATER DETAILS
- C502 SANITARY SEWER DETAILS
- A2.0 FLOOR PLAN (THE MCKINNEY PARTNERSHIP, ARCHITECTS)
- A6.0 EXTERIOR ELEVATIONS (THE MCKINNEY PARTNERSHIP, ARCHITECTS)
- A6.1 EXTERIOR ELEVATIONS (THE MCKINNEY PARTNERSHIP, ARCHITECTS)



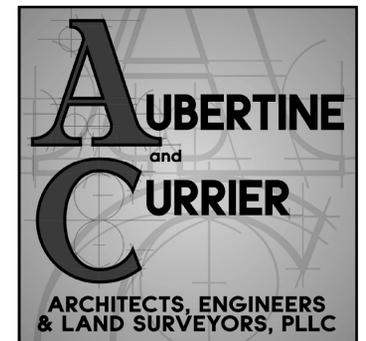
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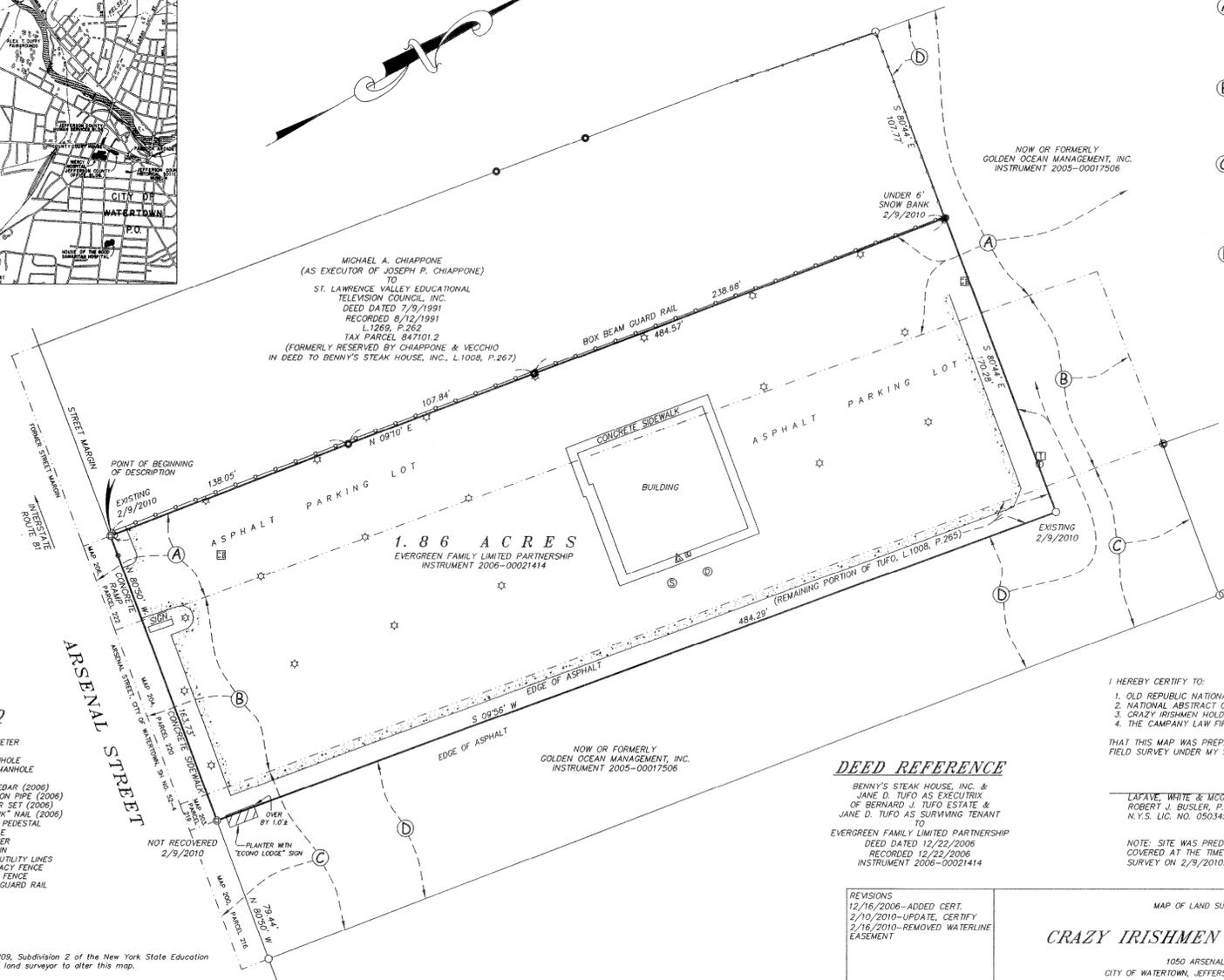
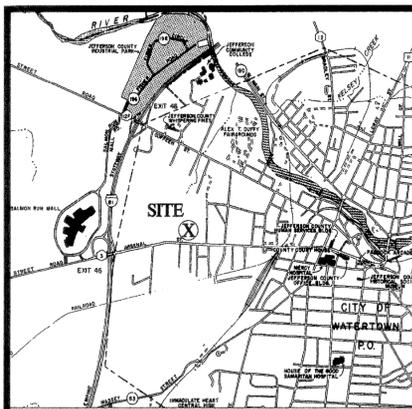
CRAZY IRISHMEN LLC
ATTN: MR. JODY GARRETT
5958 SWACKHAMMER ROAD
TURIN, NY 13473

ENGINEER

AUBERTINE and CURRIER, PLLC
522 BRADLEY STREET
WATERTOWN, NY 13601
TELE: (315) 782-2005
FAX: (315) 782-1472
www.aubertinecurrier.com

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NOT FOR CONSTRUCTION





FORMER DEEDS

- (A) MICHAEL A. CHIAPPONE (EXECUTOR OF THE ESTATE OF JOSEPH P. CHIAPPONE), JOSEPHINE CHIAPPONE & JOSEPHINE J. VECCHIO TO BENNY'S STEAK HOUSE, INC. DEED DATED 12/26/1985 RECORDED 12/26/1985 L.1008, P.267
- (B) MICHAEL A. CHIAPPONE (EXECUTOR OF JOSEPH P. CHIAPPONE) TO BERNARD J. TUFO DEED DATED 12/13/1972 RECORDED 12/13/1972 L.842, P.322
- (C) FORMERLY JOSEPHINE J. VECCHIO & MICHAEL A. CHIAPPONE TO BERNARD J. TUFO & JANE D. TUFO DEED DATED 12/26/1985 RECORDED 12/26/1985 L.1008, P.265
- (D) FORMERLY BERNARD J. TUFO, JANE D. TUFO & BENNY'S STEAK HOUSE, INC. TO ROGER B. KENNEDY, ET AL DEED DATED 12/17/1986 RECORDED 1/2/1987 L.1055, P.53

I HEREBY CERTIFY TO:
 1. OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 2. NATIONAL ABSTRACT CORPORATION
 3. CRAZY IRISHMEN HOLDINGS, LLC
 4. THE COMPANY LAW FIRM, PLLC

THAT THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY UNDER MY SUPERVISION.

DEED REFERENCE

BENNY'S STEAK HOUSE, INC. & JANE D. TUFO AS EXECUTRIX OF BERNARD J. TUFO ESTATE & JANE D. TUFO AS SURVIVING TENANT TO EVERGREEN FAMILY LIMITED PARTNERSHIP DEED DATED 12/22/2006 RECORDED 12/22/2006 INSTRUMENT 2006-00021414

LAFAYE, WHITE & MCGIVERN, L.S., P.C. DATE
 ROBERT J. BUSLER, P.L.S. N.Y.S. LIC. NO. 050345

NOTE: SITE WAS PREDOMINANTLY SNOW COVERED AT THE TIME OF THE FIELD SURVEY ON 2/9/2010.

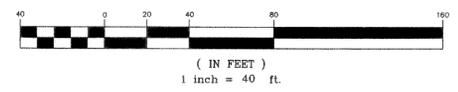
WARNING - It is a violation of Section 7209, Subdivision 2 of the New York State Education Law for any person other than a licensed land surveyor to alter this map.

Only boundary survey maps with the surveyor's embossed seal or red ink seal are genuine true and correct copies of the surveyor's original work and opinion.

Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.

The certifications hereon are not transferable.
 The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist, they are not covered by this certificate.

GRAPHIC SCALE



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REVISIONS
 12/16/2006-ADDED CERT.
 2/10/2010-UPDATE, CERTIFY
 2/16/2010-REMOVED WATERLINE EASEMENT

MAP OF LAND SURVEYED FOR
CRAZY IRISHMEN HOLDINGS, LLC
 1050 ARSENAL STREET
 CITY OF WATERTOWN, JEFFERSON COUNTY, NEW YORK

LAFAYE, WHITE & MCGIVERN, L.S., P.C.
 LAND SURVEYORS PHOTOGRAMMETRISTS
 THERESA BOONVILLE ROME
 NEW YORK (2010E01 EVERGREEN.DWG)

DRAWN HPL	CHECKED RJB	DATE 11/10/2006	SCALE 1"=40'	FILE 9-12	SHEET 1 OF 1
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ROBERT J. BUSLER, P.L.S.
 N.Y.S. LIC. NO. 050345



TILTED KILT - WATERTOWN
OWNER: CRAZY IRISHMEN LLC
1050 ARSENAL STREET
CITY OF WATERTOWN
JEFFERSON COUNTY, STATE OF NEW YORK

PROJECT NO:	2010-014
SCALE:	1"=20'
DRAWN BY:	TFF
CHECKED BY:	MRM
ISSUE DATE:	02/16/2010

SITE AND GRADING PLAN

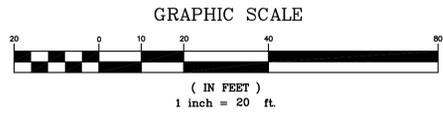
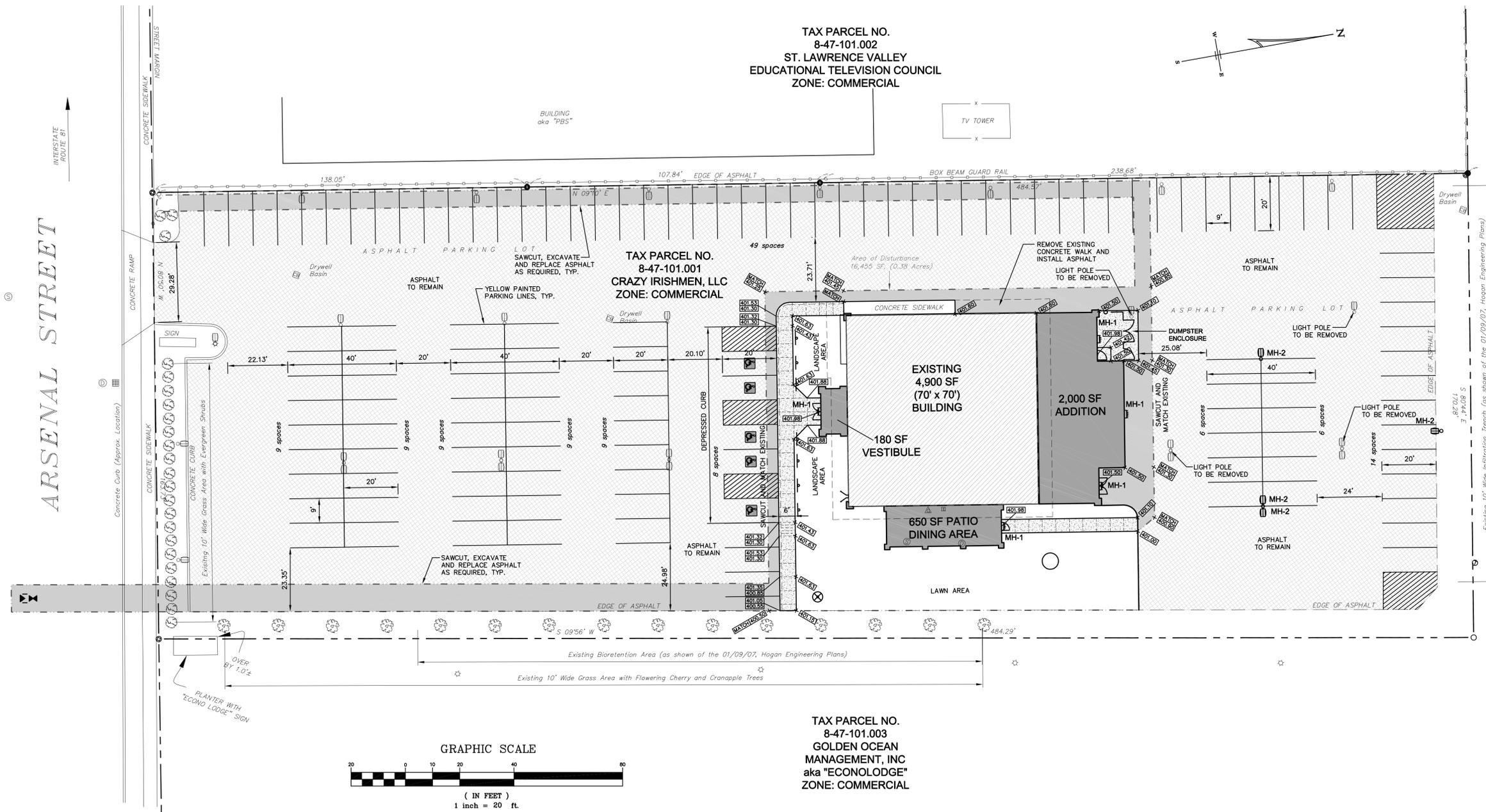
C100

TAX PARCEL NO.
8-47-101.003
GOLDEN OCEAN
MANAGEMENT, INC
aka "ECONOLOGDE"
ZONE: COMMERCIAL

TAX PARCEL NO.
8-47-101.002
ST. LAWRENCE VALLEY
EDUCATIONAL TELEVISION COUNCIL
ZONE: COMMERCIAL

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LEGEND	EXISTING	PROPOSED
5' CONTOUR	155	155
1' CONTOUR	154	154
PROPERTY LINE	---	---
RIGHT OF WAY	---	---
SETBACK	---	---
ZONING LINE	---	---
BUILDING	---	---
ASPHALT PAVEMENT	---	---
EDGE OF GRAVEL	---	---
CURB	---	---
SIDEWALK	---	---
TREE LINE	---	---
FENCE	---	---
STREAM/WATER	---	---
WATERLINE	---	---
SANITARY SEWER	---	---
SEWER FORCEMAIN	---	---
STORM SEWER	---	---
FOUNDATION DRAIN	---	---
OVERHEAD UTILITY	---	---
UNDERGROUND UTILITY	---	---
ELECTRIC	---	---
TELEPHONE	---	---
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UTILITY POLE	---	---
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TELEPHONE MANHOLE	---	---
GAS VALVE	---	---
LIGHT POLE	---	---
BUILDING MOUNTED LIGHTS	---	---

GENERAL NOTES:

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- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF DIMENSIONS, ELEVATIONS AND LOCATIONS DURING PRECONSTRUCTION FIELD VERIFICATION. SUCH INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR VERIFICATION OR MODIFICATION OF THE PLANS.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS INCLUDING, AS A MINIMUM, THE FOLLOWING INFORMATION AS WELL AS ALL REQUIREMENTS OF THE SPECIFICATION:
 - RECORD OF ALL UTILITIES ENCOUNTERED IN TRENCH EXCAVATION. INFORMATION SHALL INCLUDE DIAMETER OF UTILITY, DEPTH OF BURIAL AND LOCATION WITH REFERENCE TO NEAREST STRUCTURE SHOWN ON DRAWINGS. THIS INFORMATION SHALL BE KEPT CURRENT ON A WEEKLY BASIS. FAILURE TO DO SO MAY RESULT IN WITHHOLDING OF PAYMENTS.
 - DISTANCE TIES TO ALL MANHOLES, CLEANOUTS, BENDS AND CORPORATION STOPS.
 - UTILITY REPAIRS, SIDEWALK, AND DRIVEWAY REPLACEMENTS CENTERLINE.
 - STATIONS OF BENDS, CLEANOUTS, VALVES AND CORPORATION STOPS.
 - IDENTIFY BENCH MARK REFERENCE USED.
 - PERIODIC OFFSETS.
 - RECORD DETAILS NOT SHOWN ON THE ORIGINAL CONTRACT DOCUMENTS. ANY FIELD CHANGES OF DIMENSIONS AND DETAILS AND ANY CHANGES MADE BY CHANGE ORDER OR FIELD ORDER.
 - CERTIFICATE OF SUBSTANTIAL COMPLETION SHALL NOT BE ISSUED UNTIL AS-BUILT INFORMATION IS ACCEPTABLE.
 - PROVIDE TWO (2) SETS OF FINAL COMPLETE RECORD DRAWINGS. CONTRACTOR SHALL FURNISH AS-BUILT DATA ON PLAN SHEETS.
- ALL WATER MAIN AND SERVICE WORK MUST BE COORDINATED WITH THE CITY OF WATERTOWN WATER DEPARTMENT.
- ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN WILL REQUIRE SIGN-OFF FROM AN ENGINEER LICENSED IN THE STATE OF NEW YORK THAT THE WORK WAS BUILT ACCORDING TO THE APPROVED SITE PLAN AND APPLICABLE CITY OF WATERTOWN STANDARDS. COMPACTION TESTING WILL BE REQUIRED FOR ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN AND MUST BE SUBMITTED TO THE CITY OF WATERTOWN CODES DEPARTMENT.

PLANNING DATA		
ZONING: COMMERCIAL		
USE: SPORTS PUB AND EATERY (7,730 sq)		
ITEM	REQUIRED	AS PROVIDED
MIN. LOT AREA	40,000 SQ. FT. (0.92 ACRES)	73,181 SQ. FT. (1.68 ACRES)
MIN. FRONTAGE	NONE	163.68'
MIN. FRONT SETBACK	NONE	--
MIN. REAR YARD SETBACK	NONE	--
MIN. SIDE YARD SETBACK	NONE	--
MAX. BUILDING HEIGHT	--	--
MAX. BUILDING COVERAGE	80%	10%
PARKING REQUIREMENTS - BARS AND TAVERNS (5 SPACES FOR EACH 1,000 SF) (MINUS 500 SF MECH. ROOM AND STORAGE) (7,210 SF / 1,000 SF x 5 = 36)	36 SPACES	128 SPACES
HANDICAPPED SPACES (PER ADA)	2 SPACES	5 SPACES
GENERAL INFORMATION		
PROJECTED WATER SEWER DEMAND	8,505 GPD	
FIRE FLOW RESULTS	PENDING	
WATER SUPPLY SYSTEM	8" WATER SERVICE/FIRE PROTECTION TO CITY MUNICIPAL SYSTEM	
SANITARY SEWER SYSTEM	PUMP STATION WITH 2" FORCEMAIN TO CITY MUNICIPAL SYSTEM	
BUILDING FIRE PROTECTION	YES, SPRINKLER SYSTEM	
TRAFFIC INFORMATION (ITE TRAFFIC GENERATION, 7TH EDITION)		
WEEKDAY	ENTERING	79
	EXITING	65
SATURDAY	ENTERING	97
	EXITING	57
SUNDAY	ENTERING	78
	EXITING	64
PEAK TRIPS	WEEKDAY	144
	SATURDAY	154
	SUNDAY	142

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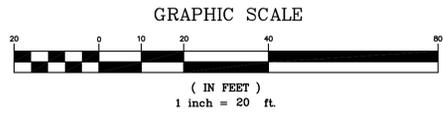
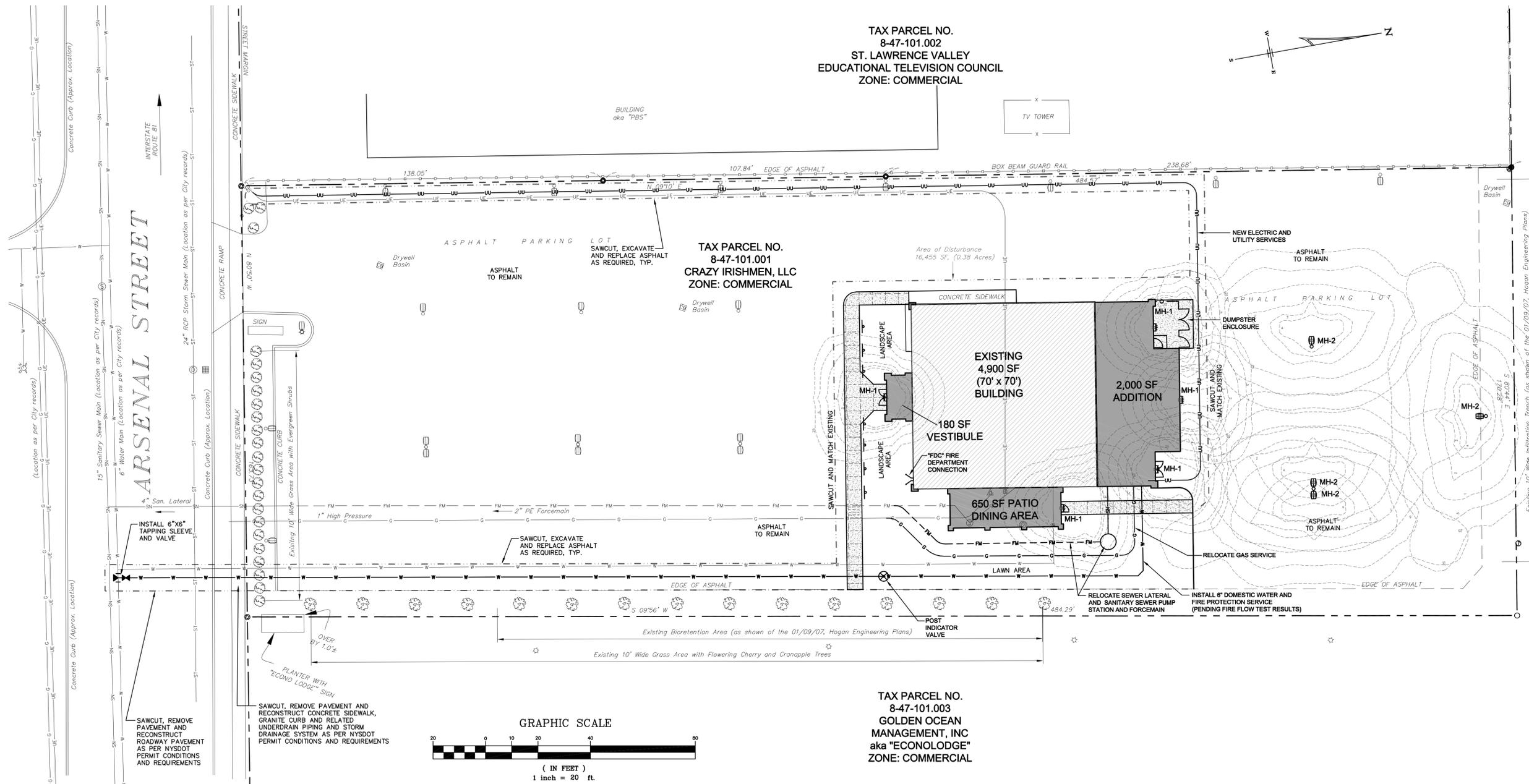
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SITE LIGHTING SCHEDULE

SYMBOL	FIXTURE	BUILDING	QUANTITY
MH-1	NPM 175M-L-8 BY STONCO LIGHTING	(8'-9" MOUNTING HEIGHT)	5
MH-2	SSM2 175MATL/PC-8 BY STONCO LIGHTING	(18" MOUNTING HEIGHT (WITH CONCRETE BASE))	4

NOTE: THE PHOTOMETRICS OF THE EXISTING LIGHT FIXTURES THAT ARE SHOWN TO REMAIN WERE NOT SHOWN. A PHOTOMETRIC PLAN OF THE LIGHTS THAT WERE INSTALLED AS PART OF THE 2007 CONSTRUCTION OF THE DRIVE DAVIDSON AUTO CENTER IS ON FILE AT CITY ENGINEERING.



522 Bradley Street
Watertown, New York 13601

aubertinecurrier.com

Phone: (315)782-2005
Fax: (315)782-1472

The above Architect, Engineer or Land Surveyor states that to the best of his or her knowledge, information and belief, the plans and specifications are in accordance with applicable requirements of New York State. It is a violation of New York State Law for any person, unless acting under the direct supervision of a Registered Architect, Licensed Professional Engineer or Licensed Land Surveyor to alter this document in any way. If altered, such licensee shall affix his or her seal and the notification "altered by" followed by his or signature, date and a specific description of the alteration.
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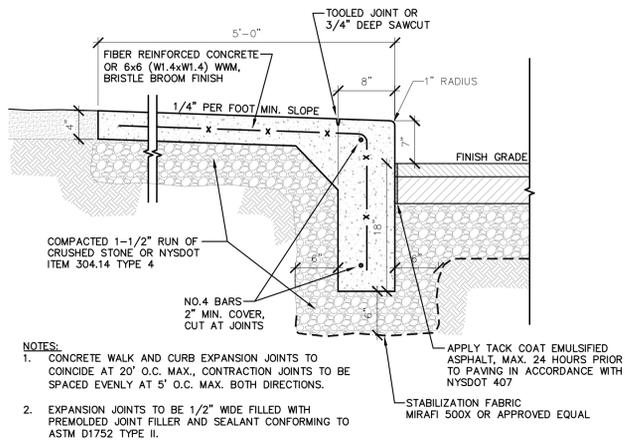
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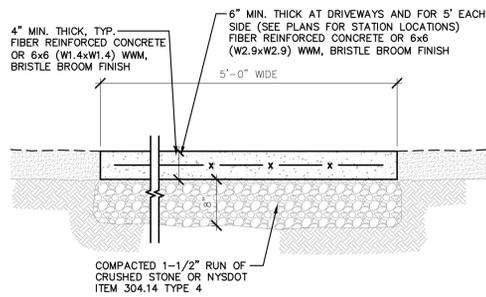
UTILITY PLAN

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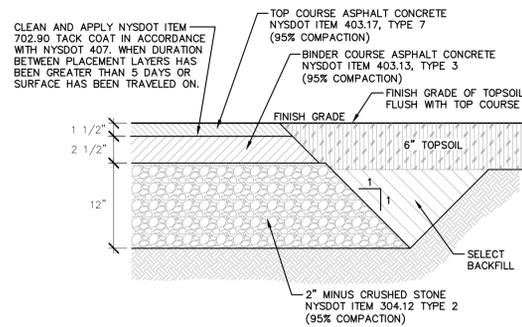
C101



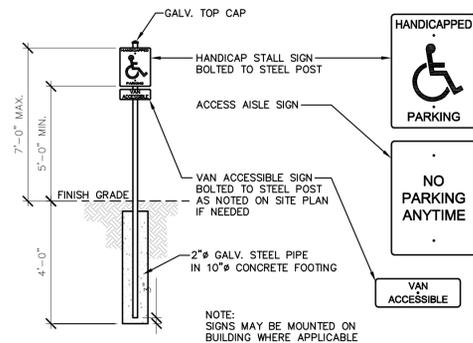
1 TYPICAL INTEGRAL CURB AND WALK DETAIL
NOT TO SCALE



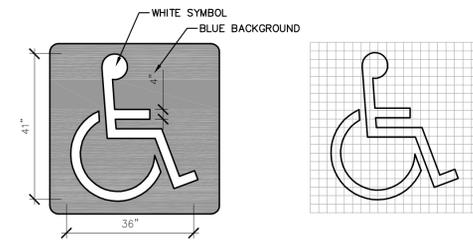
2 TYPICAL CONCRETE WALK DETAIL
NOT TO SCALE



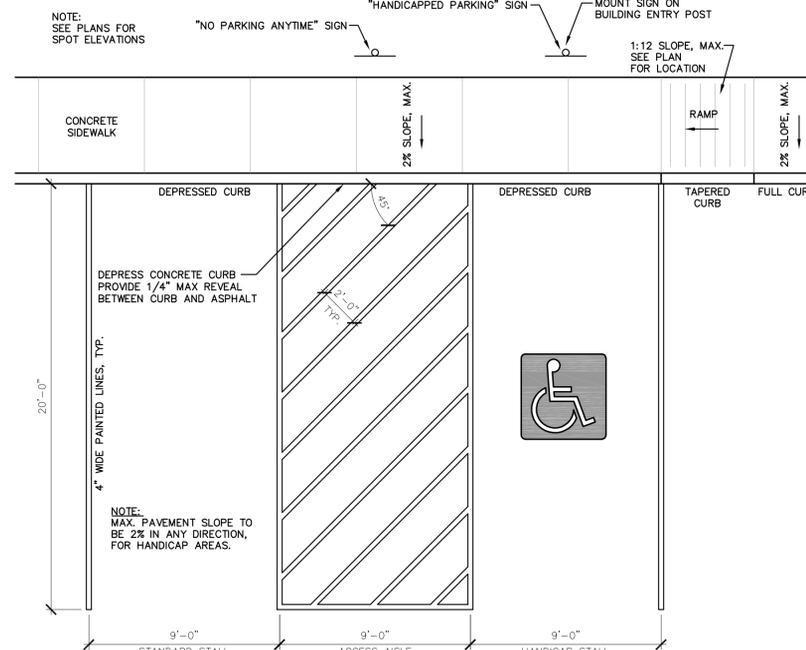
3 TYPICAL ASPHALT PAVEMENT DETAIL
NOT TO SCALE



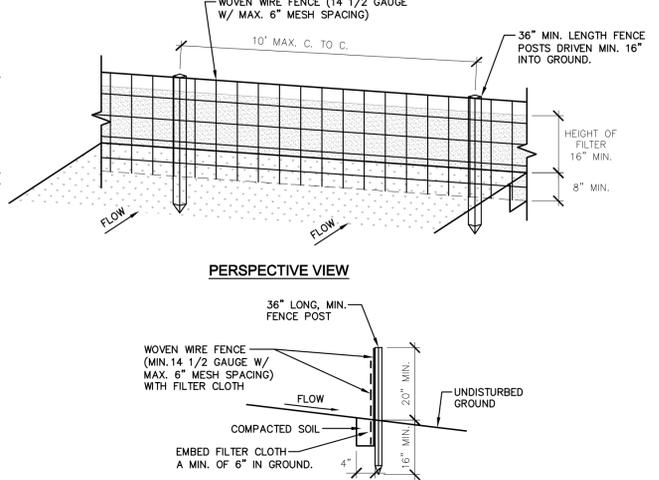
4 TYPICAL HANDICAP SIGN DETAIL
NOT TO SCALE



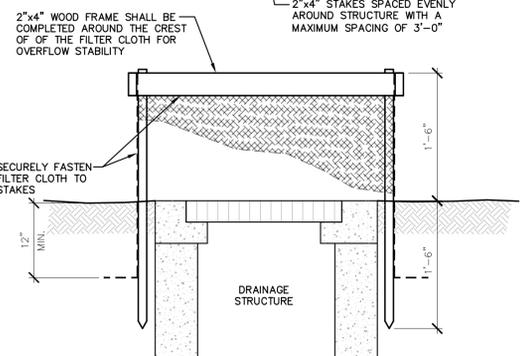
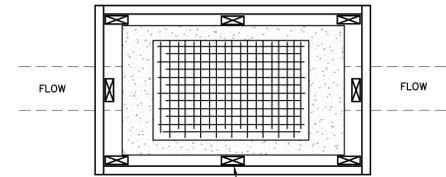
5 TYPICAL HANDICAP SYMBOL DETAIL
NOT TO SCALE



6 TYPICAL PARKING STALL MARKINGS DETAIL
NOT TO SCALE

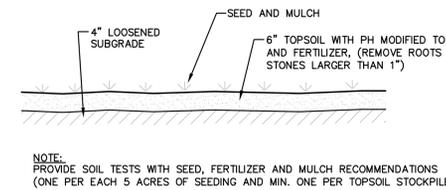


9 TYPICAL SILT FENCE DETAIL
NOT TO SCALE

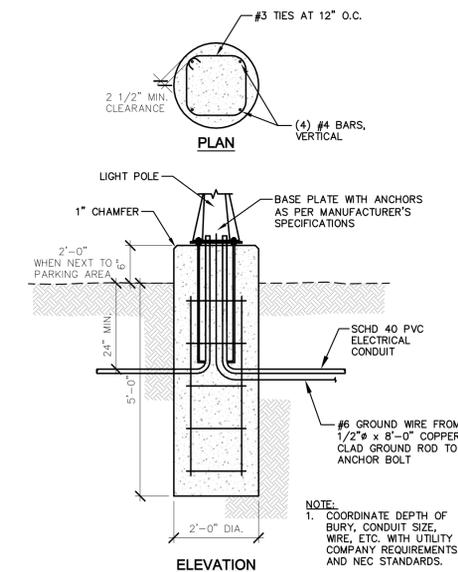


- INSTALLATION NOTES:**
1. FILTER CLOTH TO BE CUT FROM A ROLL TO ELIMINATED JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 2. STAKE SHALL BE 2"x4" AND A MINIMUM OF 36" LONG.
 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AT REGULAR INTERVALS.
 4. FILTER CLOTH SHALL BE FILTER X, MIRAFI 100X, STABILINKA-T140N OR APPROVED EQUAL

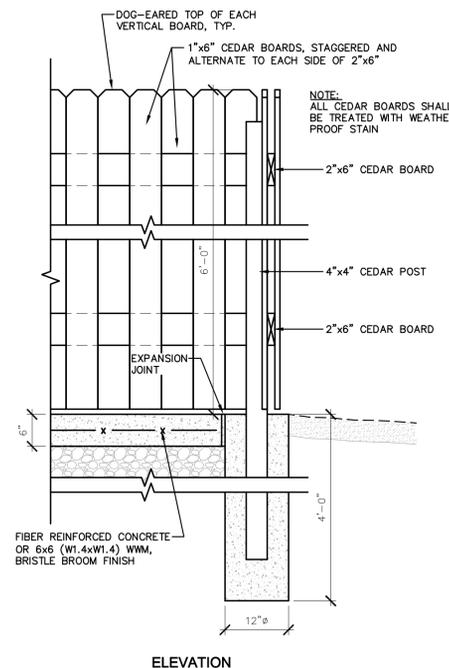
10 TYPICAL INLET PROTECTION DETAIL
NOT TO SCALE



11 TYPICAL TOPSOIL REPLACEMENT DETAIL
NOT TO SCALE



7 TYPICAL LIGHT POLE BASE DETAIL
NOT TO SCALE



8 TYPICAL DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE

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NOT FOR CONSTRUCTION

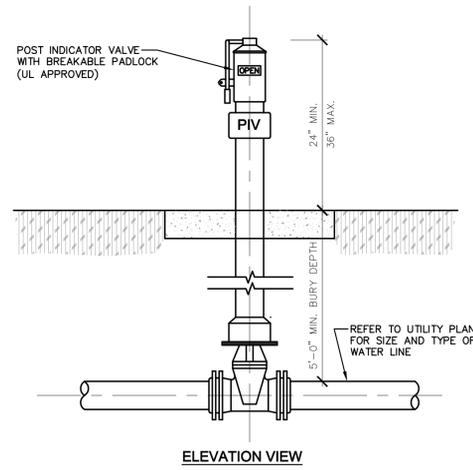
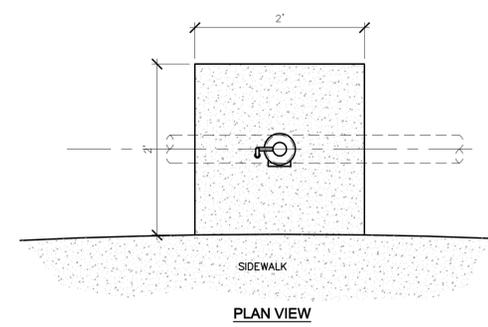
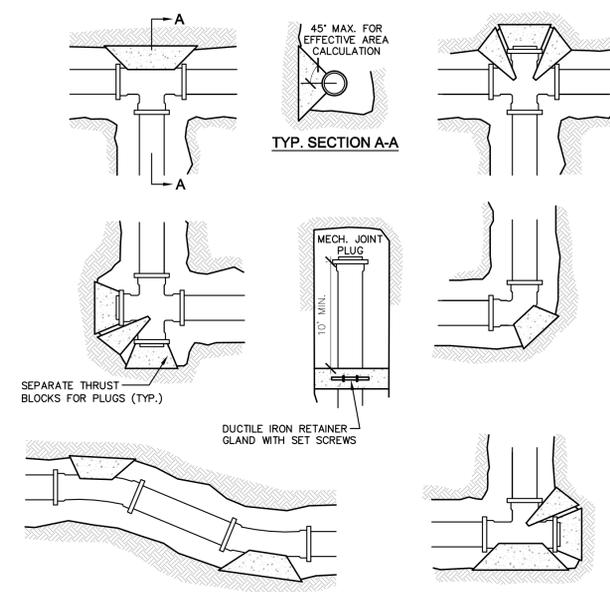


TILTED KILT - WATERTOWN
OWNER: CRAZY IRISHMEN LLC
1050 ARSENAL STREET
CITY OF WATERTOWN
JEFFERSON COUNTY, STATE OF NEW YORK

PROJECT NO: 2010-014
SCALE: AS NOTED
DRAWN BY: TFF
CHECKED BY: MRM
ISSUE DATES: 02/16/2010

WATER DETAILS

C501

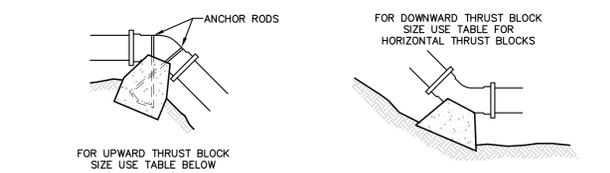


5 TYPICAL POST INDICATOR VALVE DETAIL
NOT TO SCALE

ANCHOR SCHEDULE

NOMINAL PIPE SIZE	150 P.S.I. HYDROSTATIC PRESSURE AGAINST UNDISTURBED SOIL, AT 2000 P.S.F. BRNG. CAPACITY					150 P.S.I. HYDROSTATIC PRESSURE AGAINST ROCK TRENCH, AT 10,000 P.S.F. BRNG. CAPACITY				
	11-1/4' BEND	22-1/2' BEND	45° BEND	90° BEND	PLUG OR TEE	11-1/4' BEND	22-1/2' BEND	45° BEND	90° BEND	PLUG OR TEE
4"	1.0	1.0	1.0	1.9	1.4	1.0	1.0	1.0	1.0	1.0
6"	1.0	1.1	2.1	4.0	2.8	1.0	1.0	1.0	1.0	1.0
8"	1.0	1.9	3.7	6.8	4.8	1.0	1.0	1.0	1.4	1.0
10"	1.4	2.8	5.6	10.3	7.3	1.0	1.0	1.1	2.1	1.5
12"	2.0	4.0	7.9	14.5	10.3	1.0	1.0	1.6	2.9	2.1
14"	2.7	5.4	10.6	19.5	13.8	1.0	1.1	2.1	3.9	2.8
16"	3.5	7.0	13.6	25.2	17.8	1.0	1.4	2.7	5.0	3.6
18"	4.4	8.7	17.1	31.7	22.4	1.0	1.7	3.4	6.3	4.5
20"	5.4	10.7	21.0	38.9	27.5	1.2	2.1	4.2	7.8	5.5
24"	7.7	15.3	30.0	55.5	39.2	1.5	3.1	6.0	11.1	7.8

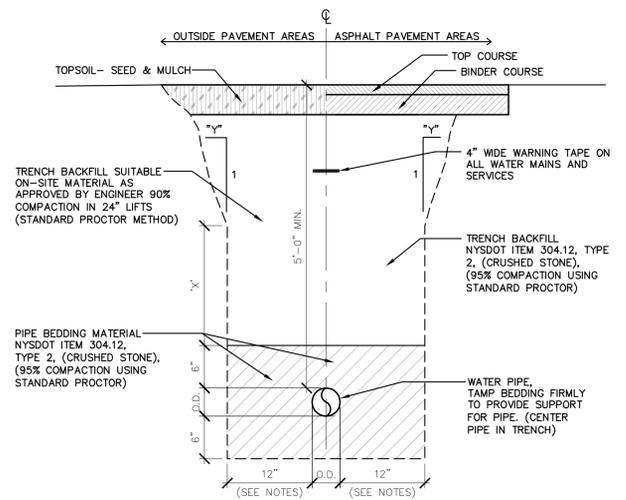
1 TYPICAL HORIZONTAL THRUST BLOCK DETAIL
NOT TO SCALE (DIP USE ONLY)



ANCHOR SCHEDULE

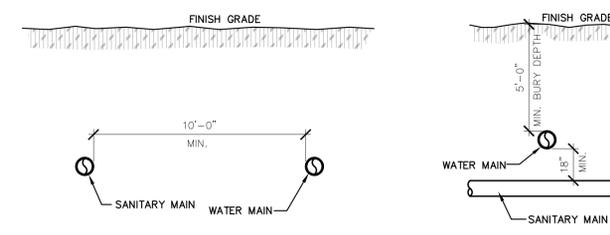
NOMINAL PIPE SIZE	150 P.S.I. HYDROSTATIC PRESSURE								
	11-1/4' BEND			22-1/2' BEND			45° BEND		
	CONCRETE VOLUME (CU. YDS.)	ANCHOR ROD (DIA.)	EMBED LENGTH	CONCRETE VOLUME (CU. YDS.)	ANCHOR ROD (DIA.)	EMBED LENGTH	CONCRETE VOLUME (CU. YDS.)	ANCHOR ROD (DIA.)	EMBED LENGTH
4"	0.2	3/8"	0.4	3/8"	3/8"	1'-2"	0.4	3/8"	1'-2"
6"	0.4	3/8"	0.7	3/8"	3/8"	1'-2"	0.7	3/8"	1'-2"
8"	0.8	3/8"	1.2	3/8"	3/8"	1'-2"	1.2	3/8"	1'-2"
10"	0.9	3/8"	1.7	3/8"	3/8"	1'-2"	1.7	3/8"	1'-2"
12"	1.3	3/8"	2.5	1/2"	3/8"	1'-6"	2.5	1/2"	1'-6"
14"	1.7	3/8"	3.3	1/2"	3/8"	1'-6"	3.3	1/2"	1'-6"
16"	2.2	3/8"	4.3	1/2"	3/8"	1'-6"	4.3	1/2"	1'-6"
18"	2.7	1/2"	5.4	5/8"	1/2"	2'-0"	5.4	5/8"	2'-0"
20"	3.3	1/2"	6.6	5/8"	1/2"	2'-0"	6.6	5/8"	2'-0"
24"	4.7	5/8"	9.4	3/4"	5/8"	2'-3"	9.4	3/4"	2'-3"

2 TYPICAL VERTICAL THRUST BLOCK DETAIL
NOT TO SCALE (DIP USE ONLY)



- NOTES**
- DIMENSIONS 'X' AND 'Y' SHOWN ABOVE SHALL BE DETERMINED BY CONTRACTOR TO COMPLY WITH O.S.H.A., NEW YORK STATE DEPARTMENT OF LABOR, NEW YORK STATE INDUSTRIAL CODE AND ALL OTHER APPLICABLE SAFETY STANDARDS.
 - SAFETY SHEETING OR TRENCH BOX MAY BE USED IN PLACE OF SLOPED TRENCH WALLS.
 - SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER. FOR PVC PIPE ALL SHEETING DRIVEN BELOW MID-DIAMETER SHALL BE LEFT IN PLACE.
 - TRENCHES LOCATED WITHIN 5' OF ROAD SHOULDERS SHALL BE TREATED THE SAME AS UNDER PAVEMENT.
 - PIPE TO TRENCH WALL DISTANCE MAY BE REDUCED WHEN INSTALLED IN SAWCUT ROCK TRENCH.

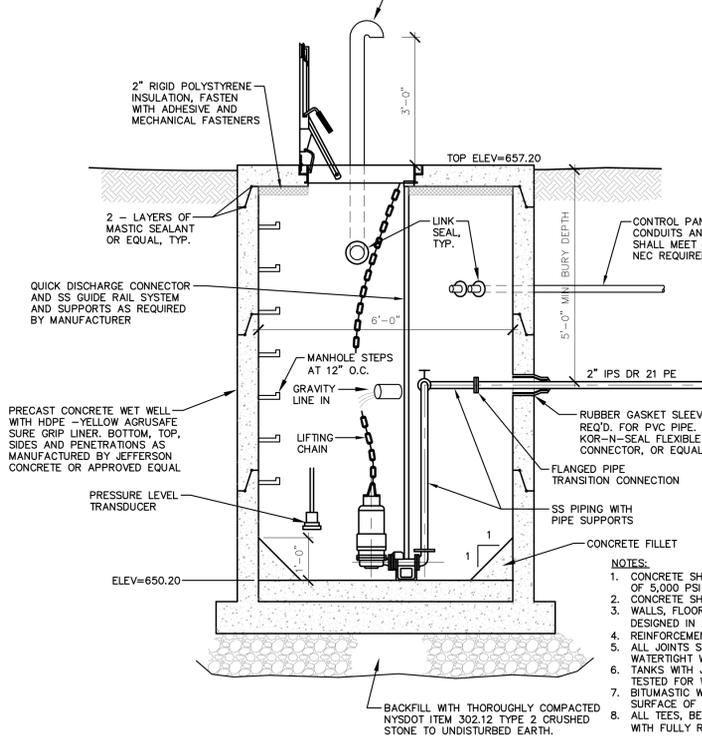
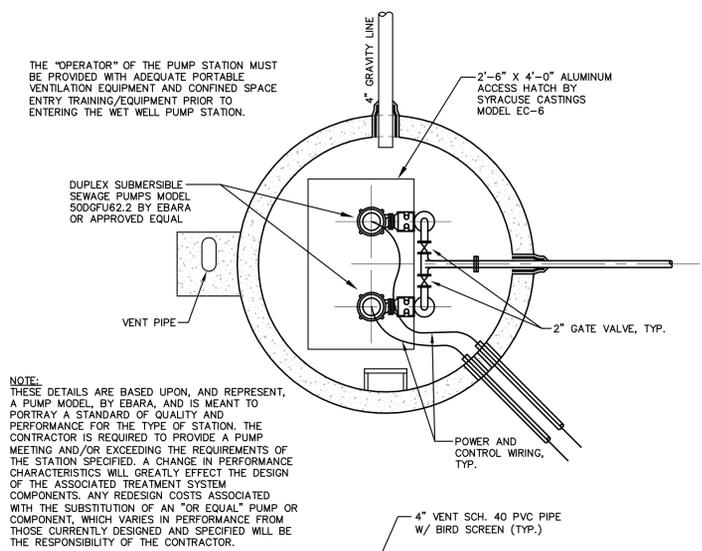
6 TYPICAL WATER TRENCH DETAIL
NOT TO SCALE



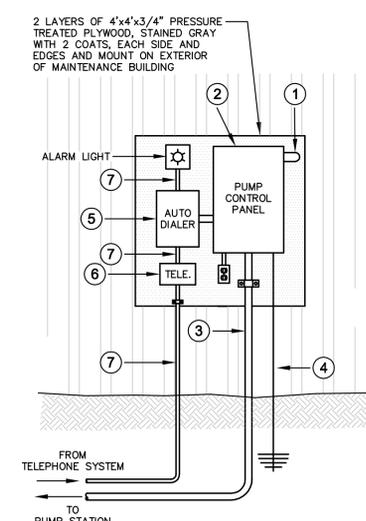
3 MINIMUM HORIZONTAL SEPARATION DETAIL
NOT TO SCALE

4 MINIMUM VERTICAL SEPARATION DETAIL
NOT TO SCALE

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NOT FOR CONSTRUCTION



1 DUPLEX PUMPING STATION DETAIL
NOT TO SCALE

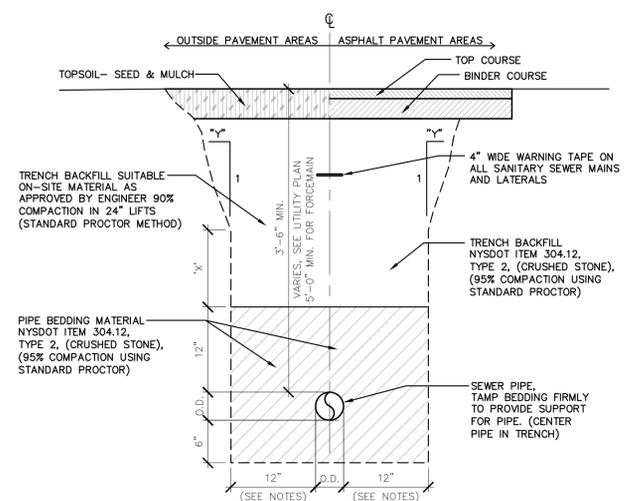


- CONTROL PANEL NOTES:**
1. INSTALL 4 #2 & 1 #8 THHN COPPER CONDUCTORS IN 2 INCH SCHEDULE 40 PVC CONDUIT.
 2. INSTALL CONTROL PANEL AND CONNECT AS PER MANUFACTURER'S SPECIFICATIONS. INCLUDE MANUFACTURER'S CABINET AND HEATER AND CONVENIENCE OUTLET.
 3. INSTALL A 2 INCH SCHEDULE 40 PVC CONDUIT TO THE INSIDE WALL OF THE PIT. PROVIDE CORROSION RESISTANCE CABLE HANGERS TO SUPPORT CONTROL AND MOTOR CABLES. SEAL ALL CONDUIT OPENINGS WITH SILICONE CAULK AT PIT INSIDE WALL AROUND CABLES. SEAL SHOULD EXTEND APPROXIMATELY 1 INCH TOWARDS CONTROL CABINET.
 4. GROUND PER NEC AND UTILITY COMPANY SPECIFICATIONS.
 5. INSTALL AUTO DIALER PER SPECIFICATION AND MANUFACTURER'S INSTRUCTIONS.
 6. TELEPHONE BOX BY PHONE COMPANY.
 7. INSTALL 3/4 INCH SCHEDULE 40 PVC CONDUIT (SCHEDULE 80 UNDER DRIVEWAYS AND ROADS) BETWEEN SERVICE POLE AND PUMP CONTROL PANEL FOR FUTURE USE. SPARE CONDUIT SHOULD TERMINATE THREE FEET ABOVE GRADE AT EACH END, INCLUDE FISH WIRE AND CAPS.
 8. REFER TO NATIONAL GRID'S SPECIFICATIONS FOR ELECTRICAL INSTALLATIONS COVERING MOTOR CURRENT STARTING LIMITS FOR A 5HP MOTOR.
 9. BALANCE ELECTRICAL LOADS TO WITHIN 5% VARIANCE BETWEEN PHASES.
 10. INSPECTIONS REQUIRED, LOCAL BUILDING AND ELECTRICAL TO ASSURE NEC AND NESC CODES ARE FOLLOWED.

2 TYPICAL PUMP CONTROL PANEL DETAIL
NOT TO SCALE

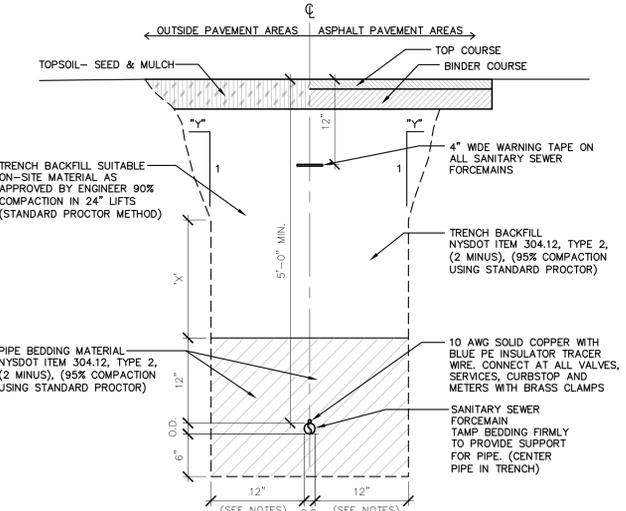
PUMPING STATION SCHEDULE

RIM	
GRAVITY INV.	
FORCEMAIN INV. OUT	
ALARM ELEV.	
PUMP #1 "ON" ELEV.	
PUMP "OFF" ELEV.	
BOTTOM ELEV.	
MODEL NO.	
PHASE	
VOLTAGE	
RPM	
HP	
TDH	
Q-gpm	
V-fps	



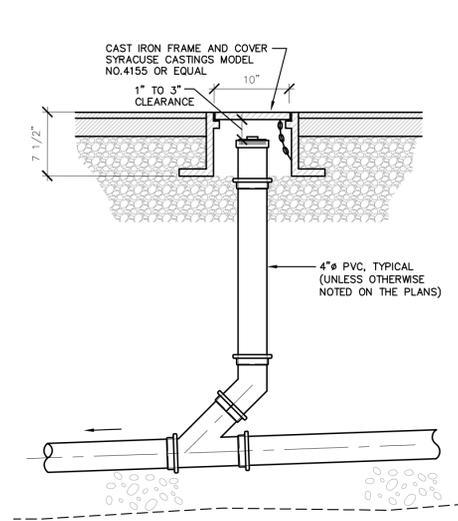
- NOTES**
1. DIMENSIONS 'X' AND 'Y' SHOWN ABOVE SHALL BE DETERMINED BY CONTRACTOR TO COMPLY WITH O.S.H.A., NEW YORK STATE DEPARTMENT OF LABOR, NEW YORK STATE INDUSTRIAL CODE AND ALL OTHER APPLICABLE SAFETY STANDARDS.
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 4. TRENCHES LOCATED WITHIN 5' OF ROAD SHOULDERS SHALL BE TREATED THE SAME AS UNDER PAVEMENT.
 5. PIPE TO TRENCH WALL DISTANCE MAY BE REDUCED WHEN INSTALLED IN SAWCUT ROCK TRENCH.

3 TYPICAL SANITARY SEWER TRENCH DETAIL
NOT TO SCALE



- NOTES**
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 4. TRENCHES LOCATED WITHIN 5' OF ROAD SHOULDERS SHALL BE TREATED THE SAME AS UNDER PAVEMENT.
 5. PIPE TO TRENCH WALL DISTANCE MAY BE REDUCED WHEN INSTALLED IN SAWCUT ROCK TRENCH.

4 TYPICAL SANITARY SEWER FORDCEMAIN TRENCH DETAIL
NOT TO SCALE



5 TYPICAL CLEANOUT DETAIL
NOT TO SCALE



522 Bradley Street
Watertown, New York 13601

aubertinecurrier.com

Phone: (315)782-2005
Fax: (315)782-1472

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TILTED KILT - WATERTOWN
OWNER: CRAZY IRISHMEN LLC
1050 ARSENAL STREET
CITY OF WATERTOWN
JEFFERSON COUNTY, STATE OF NEW YORK

PROJECT NO: 2010-014
SCALE: AS NOTED
DRAWN BY: TFF
CHECKED BY: MRM
ISSUE DATES: 02/16/2010

SANITARY SEWER DETAILS

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C502

GENERAL NOTES

- OWNER'S VENDOR TO SUPPLY ALL FREESTANDING TABLES, CHAIRS AND BARSTOOLS. GC TO UNPACK AND INSTALL.
- INSTALL ALL ACCESSORIES WITH SCREWS OR BOLTS EXTENDING AT LEAST 1" INTO SOLID BLOCKING.
- ALL ACCESSORIES MOUNTING HEIGHTS TO MEET ANSI A117.1-1998.

WALL LEGEND

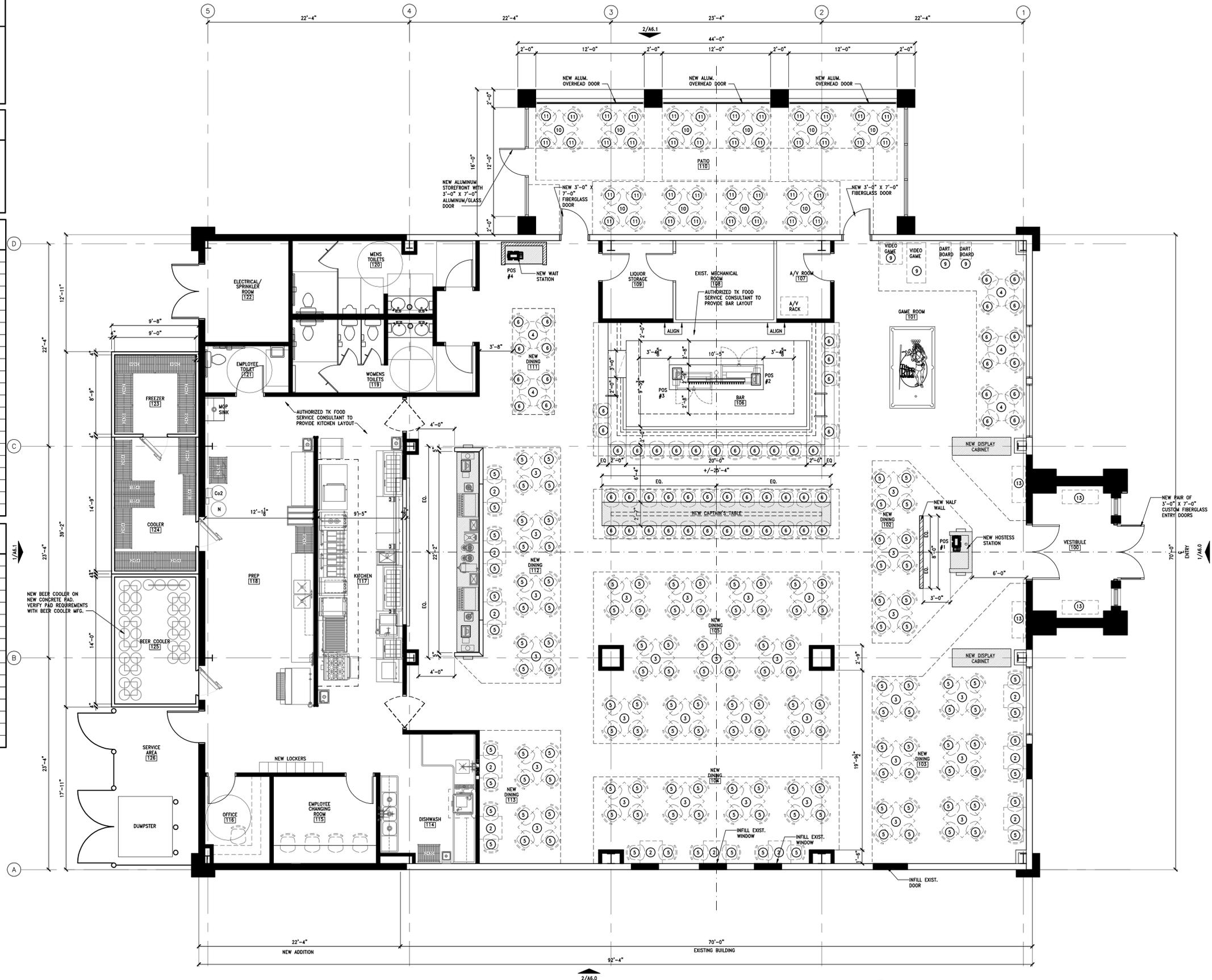
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW 3'-6" HIGH PARTITION

SEATING LEGEND

	QUANTITY	SEATING
DINING		
TWO TOPS	11	22
FOUR TOPS	24	96
BANQUETTE	1	12
DINING TOTAL	36	130
BAR		
BARSTOOLS	32	32
CAPTAIN TABLE	20	20
TWO TOPS	6	12
FOUR TOPS	2	8
BAR TOTAL	60	72
DINING & BAR TOTAL		202
PATIO		
FOUR TOPS	14	56
BAR TOTAL	14	56
GRAND TOTAL		258

EQUIPMENT/ACCESSORIES SCHEDULE

DESCRIPTION	MFG AND MODEL NO.
1 TWO TOP TABLES (ROUND)	FURNISHED BY OWNER'S VENDOR
2 TWO TOP TABLES (SQUARE)	FURNISHED BY OWNER'S VENDOR
3 FOUR TOP TABLES (SQUARE)	FURNISHED BY OWNER'S VENDOR
4 FOUR TOP TABLES (ROUND)	FURNISHED BY OWNER'S VENDOR
5 CHAIR	FURNISHED BY OWNER'S VENDOR
6 BARSTOOL	FURNISHED BY OWNER'S VENDOR
7 POOL TABLE	FURNISHED BY OWNER'S VENDOR
8 POOL CUE RACK	FURNISHED BY OWNER'S VENDOR
9 VIDEO GAME	FURNISHED BY OWNER'S VENDOR
10 FOUR TOP PATIO TABLE (SQUARE)	FURNISHED BY OWNER'S VENDOR
11 PATIO CHAIR	FURNISHED BY OWNER'S VENDOR
12 TWO TOP PATIO TABLE (SQUARE)	FURNISHED BY OWNER'S VENDOR
13 BENCH	FURNISHED BY OWNER'S VENDOR
14 TRASH/ASH CAN	FURNISHED BY OWNER'S VENDOR



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"
PLAN NORTH



3600 West Main
Suite 200
Norman, Oklahoma
73072
405.360.1400 p
405.364.8287 f
tmparch.com

Seal:

Project:

Tilted Kilt Pub & Eatery
1050 Arsenal Street
Watertown, NY



Issue Date:
PRELIMINARY 2/15/10

Revisions:

Project Number:
TK013910

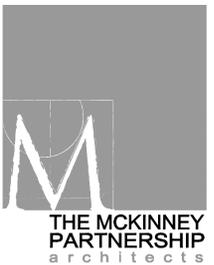
Sheet Title:
FLOOR PLAN

Sheet Number:

A2.0

KEYNOTES:	
A-1	AWNING MATERIAL ON EXISTING ALUM. FRAME SUNBRELLA HENNA/FERN VINTAGE STYLE 4969
P-8	PAINT SHERWIN-WILLIAMS ROYCROFT BOTTLE GREEN SW2847 SEMI-GLOSS FINISH AT METAL SATIN FINISH AT WOOD
E-1	EIFS FIELD COLOR DRYVIT REYVIT COLOR: VAN DYKE 110 TEXTURE: SANDPEBBLE
E-2	EIFS FIELD COLOR DRYVIT COLOR: VAN DYKE 110 TEXTURE: SANDPEBBLE
E-3	EIFS ACCENT COLOR DRYVIT COLOR: NATURAL WHITE 103 TEXTURE: FREESTYLE
CS-1	CULTURED STONE FIELD COLOR / PATTERN OWENS CORNING - CYPRESS COBBLEFIELD CSV-20027
CS-2	CULTURED STONE TRIM COLOR / PATTERN OWENS CORNING - GRAY SW1-1372 TRIM - 2 1/2" H X 18" WIDE
AF-1	ORNAMENTAL ALUM. FENCE AMERISTAR 'ETCHELON PLUS' CLASSIC STYLE C3 (3-RAIL) BLACK FINISH
OD-1	ALUMINUM SECTIONAL DOOR OVERHEAD DOOR 521 SERIES POWDER COAT TO MATCH P-8 1/2" INSULATED GLASS
AS-1	ALUMINUM STOREFRONT KAWNEER OR EQ. COLOR TO MATCH P-8 1/2" INSULATED GLASS
MR-1	STANDING SEAM METAL ROOFING MBCI OR EQ. COLOR TO MATCH P-8

- GENERAL NOTES:**
- EXISTING ELEVATIONS TO REMAIN U.O.N.
 - ALL EXTERIOR LIGHTING TO REMAIN U.O.N.
 - PAINT ALL EXISTING HOLLOW METAL DOORS, AND WOOD WINDOWS P-8 UON.
 - CLEAN ALL GLASS AT COMPLETION OF CONSTRUCTION.
 - SUBMIT SIGN SHOP DRAWINGS TO ARCHITECT PRIOR TO SUBMITTAL TO CITY FOR APPROVAL.
 - ALL SIGNS AND SIGN INSTALLATION SHALL COMPLY WITH ALL LOCAL BUILDING AND ELECTRICAL CODES.
 - INSTALL NEW TILTED KILT SIGNAGE ON EXISTING POLE SIGN. ADD DIGITAL READER BOARD ON EXISTING POLE.
 - INSTALL OUTDOOR LANDSCAPE LIGHTING.



3600 West Main
Suite 200
Norman, Oklahoma
73072
405.360.1400 p
405.364.8287 f
tmparch.com

Seal:

Project:

Tilted Kilt Pub & Eatery
1050 Arsenal Street
Watertown, NY



Issue Date:

PRELIMINARY 2/15/10

Revisions:

Project Number:

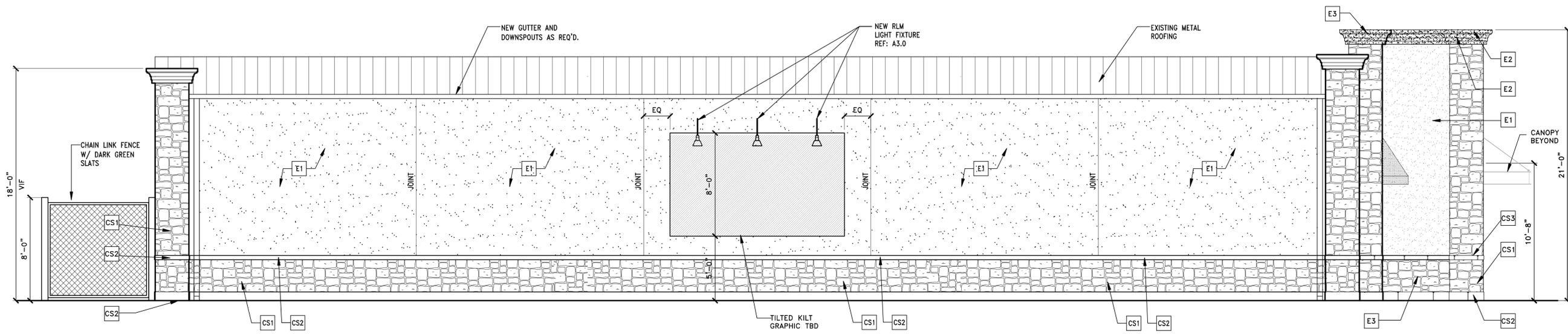
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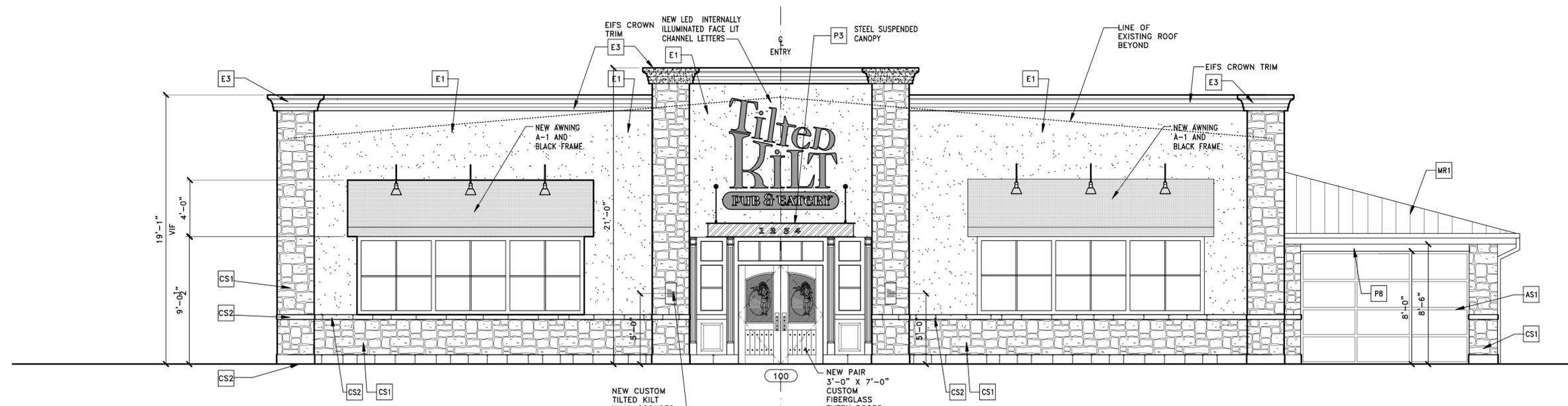
EXTERIOR ELEVATIONS

Sheet Number:

A6.0



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Seal:

Project:

Tilted Kilt Pub & Eatery
1050 Arsenal Street
Watertown, NY



Issue Date:
PRELIMINARY 2/15/10

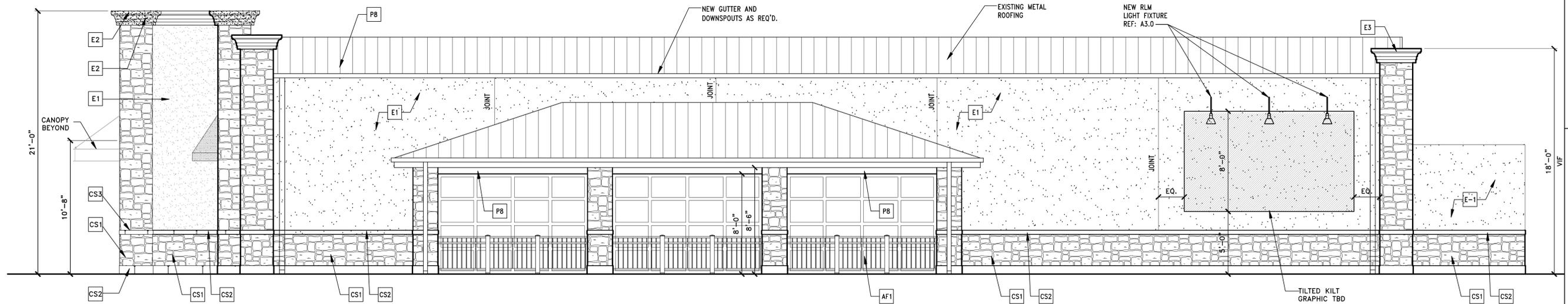
Revisions:

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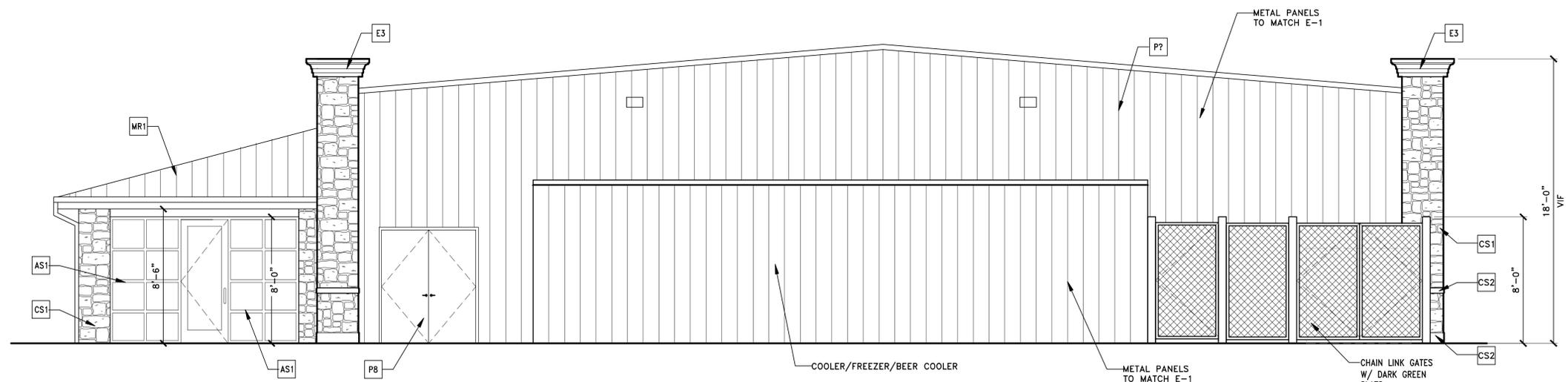
Sheet Title:
EXTERIOR ELEVATIONS

Sheet Number:

A6.1



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"