

### PROJECT DATA

**DESIGN CODES:**

- ACCESSIBILITY: 2003 ICC/ANSI A117.1
- BUILDING: 2007 BUILDING CODE OF NEW YORK STATE (BCNYS)
- ELECTRICAL: NATIONAL ELECTRICAL CODE/NFPA 70-2005; NFPA-70E
- ENERGY: 2007 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECNYS)
- FIRE: 2007 FIRE CODE OF NEW YORK STATE (FCNYS)
- HWAC: 2007 MECHANICAL CODE OF NEW YORK STATE (MCNYS)
- PLUMBING: 2007 PLUMBING CODE OF NEW YORK (PCNYS)
- ADDITIONAL: 2007 FUEL GAS CODE OF NEW YORK STATE (FGNYS)  
2000 NFPA 30 - FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE  
2000 NFPA 30A - CODE FOR MOTOR FUEL DISPENSING FACILITIES AND REPAIR GARAGES  
2007 PROPERTY MAINTENANCE CODE OF NEW YORK STATE (PMCNYS)

**DESIGN CODE NOTE:** PROVIDE MATERIALS AND EQUIPMENT AND EXECUTE THE WORK, INCLUDING ALL TESTING AND INSPECTIONS, IN COMPLIANCE WITH APPLICABLE PROVISIONS OF FEDERAL, STATE AND LOCAL GOVERNMENT LAWS, ORDINANCES, REFERENCED CODES AND STANDARDS CURRENT AS OF THE ISSUE DATE OF THESE DRAWINGS. ORDINANCES, CODES AND STANDARDS CONSTITUTE MINIMUM REQUIREMENTS. ALL MORE STRINGENT REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL MODIFY, SUPPLEMENT AND SUPERSEDE APPLICABLE PORTIONS OF GOVERNING LAWS, ORDINANCES, CODES AND STANDARDS.

### SYMBOL LEGEND

--- CENTER LINE, FLOOR LINE, PROJECTED LINE	② --- DETAIL NUMBER
--- ELEVATION SYMBOL, MATCHLINE INDICATOR	④-2 --- DRAWING NUMBER
--- BREAK LINE	② --- ELEVATION/SECTION NUMBER
	④-2 --- DRAWING NUMBER

### MATERIAL LEGEND

BRICK MASONRY	CONCRETE MASONRY UNIT	RIGID INSULATION
STEEL	GYPSUM WALL BOARD	BATT INSULATION
EARTH	ALUMINUM	CRUSHED STONE
GLASS	WOOD	CONCRETE
ACOUSTIC TILE	METALS -	TILE - CERAMIC QUARRY



### ABBREVIATION LEGEND

L ANGLE	HM HOLLOW METAL	PNL PANEL
ACT ACOUSTIC CEILING TILE	HR HIGH POINT	PNT PAINT
ABV ABOVE	HT HEIGHT	PR PAIR
ADJ ADJUSTABLE		PROJ PROJECT
AL ALUMINUM		PT PAINT
ALUM ALUMINUM		
APP APPROVED	INSUL INSULATION	
	INT INTERIOR	
	INTERM INTERMEDIATE	
BM BEAM		QTY QUANTITY
BLDG BUILDING		QUAL QUALITY
BLK BLOCK		
BO BOTTOM OF	JB JUNCTION BOX	
BOT BOTTOM	JNT JOINT	
		R RISER
		RAD RADIUS
		RD ROOF DRAIN
		REC RECESSED
		REQ REQUIRED
		RFG ROOFING
CL CENTER LINE		RLG RAILING
CLG CEILING		RM ROOM
CLJ CONTROL JOINT	L LNGTH	RND ROUND
	LNDG LANDING	RO ROUGH OPENING
CLR CLEAR	LNTL LINTEL	RWL RAIN WATER LEADER
CMU CONCRETE MASONRY UNIT	LOC LOCATION	R.O. ROUGH WALL OPENING
COL COLUMN	LP LOW POINT	
CONC CONCRETE	LT LIGHT	
CONST CONSTRUCTION	LVR LOUVER	
		SB SPLASH BLOCK
	MAS MASONRY	SOL SADDLE
	MATL MATERIAL	SECT SECTION
	MAX MAXIMUM	SM SIMILAR
	MECH MECHANICAL	SLP SLOPE
	MEMB MEMBRANE	
	MTL METAL	SPEC SPECIFICATION
	MFG MANUFACTURER	SPKLR SPRINKLER
	MIN MINIMUM	SO SQUARE
	MNTD MOUNTED	SS STAINLESS STEEL
	MTG MEETING	
		STD STANDARD
		STL STEEL
		STOR STORAGE
		STRUCT STRUCTURAL
EA EACH	# NUMBER	
EL ELEVATION		
ELEC ELECTRICAL	N/A NOT APPLICABLE	T TREAD
ENCL ENCLOSURE	NIC NOT IN CONTRACT	TEMP TEMPERED
	NO NUMBER	TEMPORARY
	NTS NOT TO SCALE	THK THICK
EO EQUAL		TO TOP OF
EQUIP EQUIPMENT		TYP TYPICAL
EMC ELECTRIC WATER COOLER		
EXIST EXISTING	OA OVERALL	
EXP EXPANSION	OC ON CENTER	
		UON UNLESS OTHERWISE NOTED
EXT EXTERIOR	OD OUTSIDE DIMENSION	
	OF OUTSIDE FACE	
	OPNG OPPOSITE HAND	
	OPP OPPOSITE	
	ORIG ORIGINAL	VERT VERTICAL
FD FLOOR DRAIN		
FIN FINISH		
FLR FLOOR		
FO FACE OF		
	PERF PERFORATED	W/ WITH
GA GAUGE	PERM PERMITTER	WP WORKING POINT
	PERM PERMANENT	WR WATER RESISTANT
GL GLASS	PERP PERPENDICULAR	
GR GRADE	PL PLATE	
GYP GYPSUM WALL BOARD		

### DRAWING INDEX

DRAWING NO.	DRAWING TITLE	FIRST ISSUED DATE	REVISIONS DATE
SITE ENGINEERING DRAWINGS - BY BERGMANN ASSOCIATES ASSOCIATES, P.C.			
C-1	COVER SHEET	11.01.10	
SV-1	EXISTING CONDITIONS	11.01.10	
DM-1	DEMOLITION PLAN	11.01.10	
D-1	DEVELOPMENT PLAN	11.01.10	
G-1	GRADING PLAN	11.01.10	
U-1	UTILITY PLAN	11.01.10	
L-1	LANDSCAPING PLAN	11.01.10	
DE-1	MISCELLANEOUS DETAILS	11.01.10	
DE-2	MISCELLANEOUS DETAILS	11.01.10	
DE-3	MISCELLANEOUS DETAILS	11.01.10	
DE-4	CHAIN LINK FENCE TRASH ENCLOSURE DETAILS	11.01.10	
LG-1	LIGHTING PLAN	11.01.10	
SUNOCO STANDARD DETAILS			
0-001	COVER SHEET FOR 2010 STANDARD CONSTRUCTION DETAILS	3-12-08	03-2010
3-451XX	EQUIPMENT SCHEDULE	2-5-96	03-2010
3-459	DISPENSER ISLAND DETAILS	03-21-03	05-2009
3-507 (1 of 2)	TRUCK DIESEL DISP. ASSEMBLY ENCORE 500 HI SPEED SUMP DETAILS	01-23-08	03-2010
3-507 (2 of 2)	TRUCK DIESEL DISP. ASSEMBLY ENCORE 500 HI SPEED LAYOUT	01-23-08	03-2010
3-509	OPW DISPENSER SUMP DETAILS (ENCORE 500 S)	06-16-06	03-2010
3-511	DOUBLE WALL PIPING DETAILS AND LAYOUTS	02-16-09	03-2010
3-512	OPW DISPENSER SUMP DETAILS ENCORE 500 S (4+1 DISPENSER)	06-16-06	03-2010
3-513 (1 of 4)	FIBERGLASS TANK DETAILS (TANK ELEVATION)	01-06-09	03-2010
3-513 (2 of 4)	FIBERGLASS TANK DETAILS (TANK SUMP DETAILS)	01-06-09	03-2010
3-513 (3 of 4)	FIBERGLASS TANK DETAILS (STP MATRIX AND MSC DETAILS)	01-06-09	03-2010
3-513 (4 of 4)	FIBERGLASS TANK DETAILS (TANK BURIAL AND TANK MAT)	01-06-09	03-2010
4-500XX	EXTERIOR CONCRETE DETAILS	02-05-96	02-25-10
4-501	MISCELLANEOUS EXTERIOR CONCRETE DETAILS	01-04-91	03-2010
4-508	ADA STEWOK DETAILS	06-14-06	03-2010
4-511	TYPICAL TRAFFIC MARKINGS	02-25-09	03-2010
4-514	ISLAND MERCHANDISER & MISCELLANEOUS EQUIPMENT	03-2010	

### CONTACTS

**OWNER:**  
SUNOCO, INC.  
1840 LYELL AVENUE  
ROCHESTER, NY 14606  
TOM BOJE  
585-254-8626

**CIVIL ENGINEER:**  
BERGMANN ASSOCIATES  
28 EAST MAIN STREET  
200 FIRST FEDERAL PLAZA  
ROCHESTER, NY 14614  
BRIAN BURRI  
585-232-5135

**SURVEY:**  
BERGMANN ASSOCIATES  
28 EAST MAIN STREET  
200 FIRST FEDERAL PLAZA  
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**ARCHITECT:**  
BERGMANN ASSOCIATES  
28 EAST MAIN STREET  
200 FIRST FEDERAL PLAZA  
ROCHESTER, NY 14614  
BRIAN BURRI  
585-232-5135

**GEOTECHNICAL ENGINEER:**  
TIERNEY ENGINEER, PC  
3445 WINTON PLACE  
SUITE 117  
ROCHESTER, NY 14623  
KEVIN TIERNEY  
585-424-6360

**CITY OF WATERTOWN:**  
245 WASHINGTON STREET  
WATERTOWN, NY 13601

**PLANNING DEPARTMENT:** 315-785-7730  
**CODE ENFORCEMENT DEPARTMENT:** 315-785-7735  
**ENGINEERING DEPARTMENT:** 315-785-7740  
**DEPARTMENT OF PUBLIC WORKS:** 315-785-7842  
**ELECTRICAL DEPARTMENT:** 315-785-7847  
**WATER DEPARTMENT:** 315-785-8870

**ELECTRIC COMPANY:**  
NATIONAL GRID (800-664-6729)  
21265 STATE ROUTE 232  
WATERTOWN, NY 13601  
TODD FROYSELL  
315-785-7225

**GAS COMPANY:**  
NATIONAL GRID - (800-664-6729)  
21265 STATE ROUTE 232  
WATERTOWN, NY 13601  
T.YE GARVIN

**TELEPHONE COMPANY:**  
VERIZON  
610 COFFEEEN STREET  
WATERTOWN, NY 13601  
DALE PHILLIPS  
315-785-7563

**NYS HEALTH DEPARTMENT:**  
STATE OFFICE BUILDING  
317 WASHINGTON STREET  
WATERTOWN, NY 13601  
STEVE POWERS  
315-785-2277

**NYS DOT REGION 7:**  
DULLES STATE OFFICE BUILDING  
317 WASHINGTON STREET  
WATERTOWN, NY 13601  
CRAIG ORTLES - PERMITS  
315-785-7981

### LEGEND

	MALBOX
	BUSH
	CONIFEROUS TREE
	DECIDUOUS TREE
	STUMP
	ONE-POST SIGN
	TWO-POST SIGN
	REBAR FOUND
	IRON PIPE FOUND
	PK NAIL FOUND
	SURVEY CONTROL POINT
	CONCRETE MONUMENT
	LIGHT POLE
	UTILITY POLE
	UTILITY POLE WITH LIGHT
	ELECTRIC BOX
	GAS MARKER
	GAS VALVE
	WATER VALVE
	HYDRANT
	CATCH BASIN
	TELEPHONE JUNCTION BOX
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	TEST PIT LOCATION
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	SANITARY SEWER
	STORM SEWER
	WATER LINE
	UNDERGROUND TELEPHONE LINE
	GAS LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING DOT ROW
	EDGE OF SHOULDER
	EDGE OF PAVEMENT
	CHAINLINK FENCE
	GUIDERAIL
	CONCRETE PAVEMENT
	ASPHALT PAVEMENT



**Bergmann associates**

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200 First Federal Plaza  
Rochester, New York 14614  
585.232.5135 / 585.232.4652 fax

Engineers / Architects / Planners / Surveyors

REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D BY	APP'VD.

**SUNOCO, INC.**  
Retail Engineering  
Exton, PA

LOCATION: 1255 Arsenal Street  
Watertown, NY  
Jefferson County

PROJECT NO. E76021

COVER SHEET

APPROVED: B. Burri  
CHECKED: T. Bot  
DRAWN: T. Bot  
DATE: 11/11/10

FACILITY NO. 0363-9911

DRAWING NO. C-1

REV. NO. 0

SCALE: No Scale

It is understood that the drawing(s), specifications, CADD disks, paper documents and electronic documents ("Documents") are prepared specifically for use with this Project and are the sole property of Sunoco, Inc. They are not intended or represented to be suitable for reuse by Client or others on any other project or for any other purpose. Use of the Documents, information or data contained therein for other purposes is at the sole risk and responsibility of the user. Reuse will be at the sole risk of the user and without liability or legal exposure to Sunoco, Inc. Sunoco Inc. will be indemnified and held harmless from all claims, damages, losses and expenses arising out of or resulting therefrom.

Sunoco, Inc.

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**NOTES**

- HORIZONTAL DATUM IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (CENTRAL ZONE), NAD '83.
- VERTICAL DATUM USED IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88).
- SUBJECT PARCEL LIES IN ZONE "X", AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 360354 0001 E, LAST REVISED JANUARY 17, 1990.
- UTILITIES SHOWN HEREON ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM PLANS AND PHYSICAL EVIDENCE LOCATED AT TIME OF SURVEY. THEY HAVE NOT BEEN CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION.
- NO ABSTRACT OF TITLE OR TITLE REPORT WAS PROVIDED. PARCELS MAY BE SUBJECT TO EASEMENTS AND ENCUMBRANCES OF RECORD.

**REFERENCES**

- MAP MADE BY LAFAYE, WHITE & MCGOVERN, L.S., P.C., ENTITLED, "MAP OF LAND SURVEYED FOR ARSENAL STREET ASSOCIATES", LAST REVISED 10/8/96 (FILE 9-7).
- MAP MADE BY PECK, GOZALKOWSKI & MONCRIEF, PROFESSIONAL LAND SURVEYORS, ENTITLED, "TOPOGRAPHICAL & SURVEY MAP OF THE LANDS OF ATLANTIC REFINING CORP.", DATED 5/14/91 (FILE No. 91104).
- MAP MADE BY LAFAYE, WHITE, & MCGOVERN, LAND SURVEYORS AND ENGINEERS, ENTITLED, "SURVEY OF LANDS OF NORTH COUNTRY ASSOCIATES", LAST REVISED 3/20/86 (FILE 9-7).

**Existing Atlantic Refining & Marketing Corp. Parcel (L. 1148, P. 242)**

All that tract or parcel of land situate in the City of Watertown, County of Jefferson, State of New York, bounded and described as follows:

Beginning at the northeast boundary corner of lands now of formerly of Atlantic Refining & Marketing Corporation (Liber 1148 of Deeds, Page 242), said point being on the southerly right of way line of Arsenal Street (State Route 3 - Variable Width); thence;

- South 09°-58'-55" East, on the division line between said Atlantic Refining & Marketing Corporation on the west and lands now or formerly of AEA Arsenal Inc. (Liber 1535 of Deeds, Page 282) on the east, a distance of 156.16 feet to a pin and cap found on the northerly line of lands now or formerly of the Arsenal Street Associates (Liber 1544 Deeds, Page 254); thence,
- South 78°-46'-05" West, on the division line between said Atlantic Refining on the north and Arsenal Street Associates on the south, a distance of 200.00 feet, to an iron pipe found at the southeast corner of lands now or formerly of Sunoco Inc. (Liber 2007 of Deeds, Page 2818); thence,
- North 09°-59'-22" West, on the division line between said Atlantic Refining on the east and Sunoco Inc. on the west, a distance of 152.86 feet to a point on the southerly right of way line said Arsenal Street; thence,
- North 77°-49'-22" East, on said southerly right of way line of said Arsenal Street, a distance of 200.12 feet to the Point of Beginning.

Said parcel containing 0.709 acre, more or less.

**Existing Sunoco Parcel (L. 2007, P. 2818)**

All that tract or parcel of land situate in the City of Watertown, County of Jefferson, State of New York, bounded and described as follows:

Beginning at the northeast boundary corner of lands now of formerly of Sunoco Inc. (Liber 2007 of Deeds, Page 2818), said point being on the southerly right of way line of Arsenal Street (State Route 3 - Variable Width); thence;

- South 09°-59'-22" East, on the division line between said Sunoco Inc. on the west and lands now or formerly of Atlantic Refining & Marketing Corporation (Liber 1148 of Deeds, Page 242) on the east, a distance of 152.86 feet, to a pipe found on the northerly line of lands now or formerly of the Arsenal Street Associates (Liber 1544 Deeds, Page 254); thence,
- South 78°-46'-05" West, on the division line between said Sunoco Inc. on the north and Arsenal Street Associates on the south, a distance of 102.90 feet, to a point on the easterly line of lands now or formerly of the City of Watertown (Appropriation Map No. 223, Parcel No. 239); thence,
- North 13°-15'-35" East, on the division line between said Sunoco Inc. on the east and the City of Watertown on the west, a distance of 167.26 feet to a point on the southerly right of way line said Arsenal Street; thence,
- North 77°-49'-22" East, on said southerly right of way line of said Arsenal Street, a distance of 36.88 feet to the Point of Beginning.

Said parcel containing 0.244 acre, more or less.

**Combined Atlantic Refining & Marketing Corp. and Sunoco, Inc.**

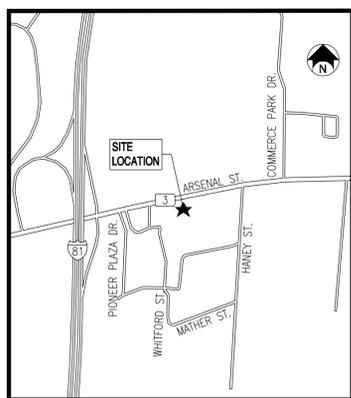
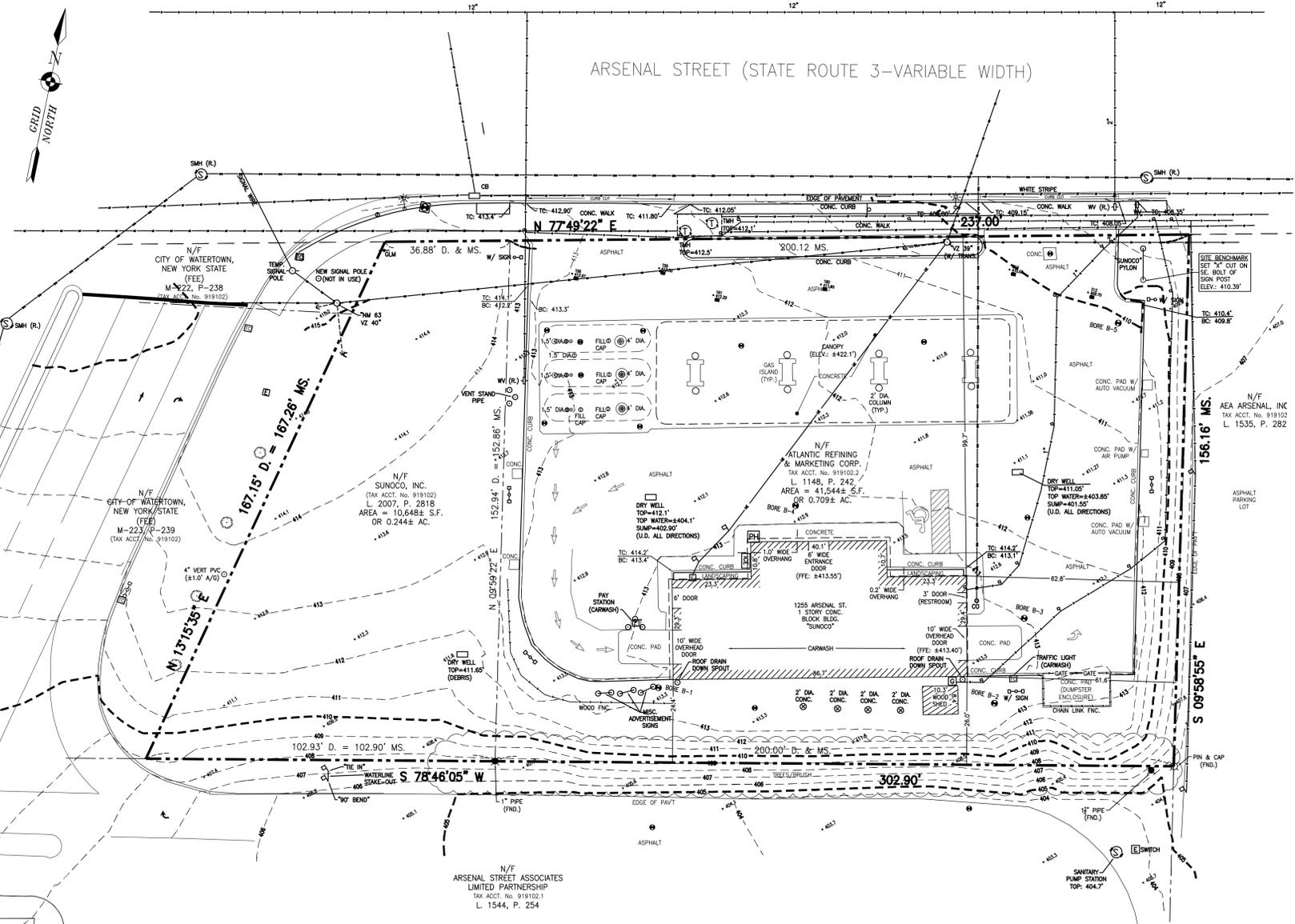
All that tract or parcel of land situate in the City of Watertown, County of Jefferson, State of New York, bounded and described as follows:

Beginning at the northeast boundary corner of lands now of formerly of Atlantic Refining & Marketing Corporation (Liber 1148 of Deeds, Page 242), said point being on the southerly right of way line of Arsenal Street (State Route 3 - Variable Width); thence;

- South 09°-58'-55" East, on the division line between said Atlantic Refining & Marketing Corporation on the east and lands now or formerly of AEA Arsenal Inc. (Liber 1535 of Deeds, Page 282) on the east, a distance of 156.16 feet, to a pin and cap found on the northerly line of lands now or formerly of the Arsenal Street Associates (Liber 1544 Deeds, Page 254); thence,
- South 78°-46'-05" West, on the division line between said Atlantic Refining on the north and Arsenal Street Associates on the south, a distance of 302.90 feet, to an iron pipe found at the southwest corner of lands now or formerly of Sunoco Inc. (Liber 2007 of Deeds, Page 2818); thence,
- North 13°-15'-35" East, on the division line between said Sunoco Inc. on the east and lands now or formerly of the City of Watertown (Appropriation Map No. 223, Parcel No. 239) on the west, a distance of 167.26 feet to a point on the southerly right of way line of said Arsenal Street; thence,
- North 77°-49'-22" East, on said southerly right of way line of said Arsenal Street, a distance of 237.00 feet to the Point of Beginning.

Said parcel containing 0.954 acre, more or less.

- LEGEND**
- BC = BOTTOM OF CURB
  - CONC = CONCRETE
  - DIA = DIAMETER
  - ELEV. = ELEVATION
  - FTE = FINISHED FLOOR ELEVATION
  - FNC = FENCE
  - R = RECORD
  - TC = TOP OF CURB
  - TRP = TYPICAL
  - U.D. = UNDERDRAIN
  - = BOLLARD/POST
  - CB = CATCH BASIN
  - ⊞ = ELECTRIC METER
  - GLM = GAS LINE MARKER
  - ⊞ = GAS METER
  - ← = GUY WIRE
  - = HAND HOLE
  - = LIGHT POLE (1 HEAD)
  - = LIGHT POLE (2 HEAD)
  - = MONITORING WELL
  - = UNKNOWN MANHOLE
  - PH = PHONE BOOTH
  - SMH = SANITARY MANHOLE
  - ⊞ = SPOT ELEVATION
  - TMH = TELEPHONE MANHOLE
  - ⊞ = UTILITY STAKE-OUT
  - = UTILITY POLE
  - = WATER VALVE
  - = ADJOINING PARCEL BOUNDARY
  - = MAJOR CONTOUR (5' INTERVAL)
  - = MINOR CONTOUR (1' INTERVAL)
  - = OVERHEAD WIRES
  - = PARCEL BOUNDARY
  - = RIGHT OF WAY
  - = SANITARY SEWER
  - = STORM SEWER
  - = UNDERGROUND GAS LINE
  - = UNDERGROUND ELECTRIC
  - = UNDERGROUND TELEPHONE
  - = UNDERGROUND WATER LINE
  - = AREA UNDER HEAVY CONSTRUCTION



**LOCATION MAP**



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Engineers / Architects / Planners / Surveyors

REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D BY	APP'VD.
<b>SUNOCO, INC. Retail Engineering Exton, PA</b>					
LOCATION: 1255 Arsenal Street Watertown, NY Jefferson County			PROJECT NO. E76021		
EXISTING CONDITIONS					
APPROVED		FACILITY NO.	DRAWING NO.	REV. NO.	
CHECKED K. Sullivan		0363-9911	SV-1	0	
DRAWN P. McKeown					
DATE 1/29/08					

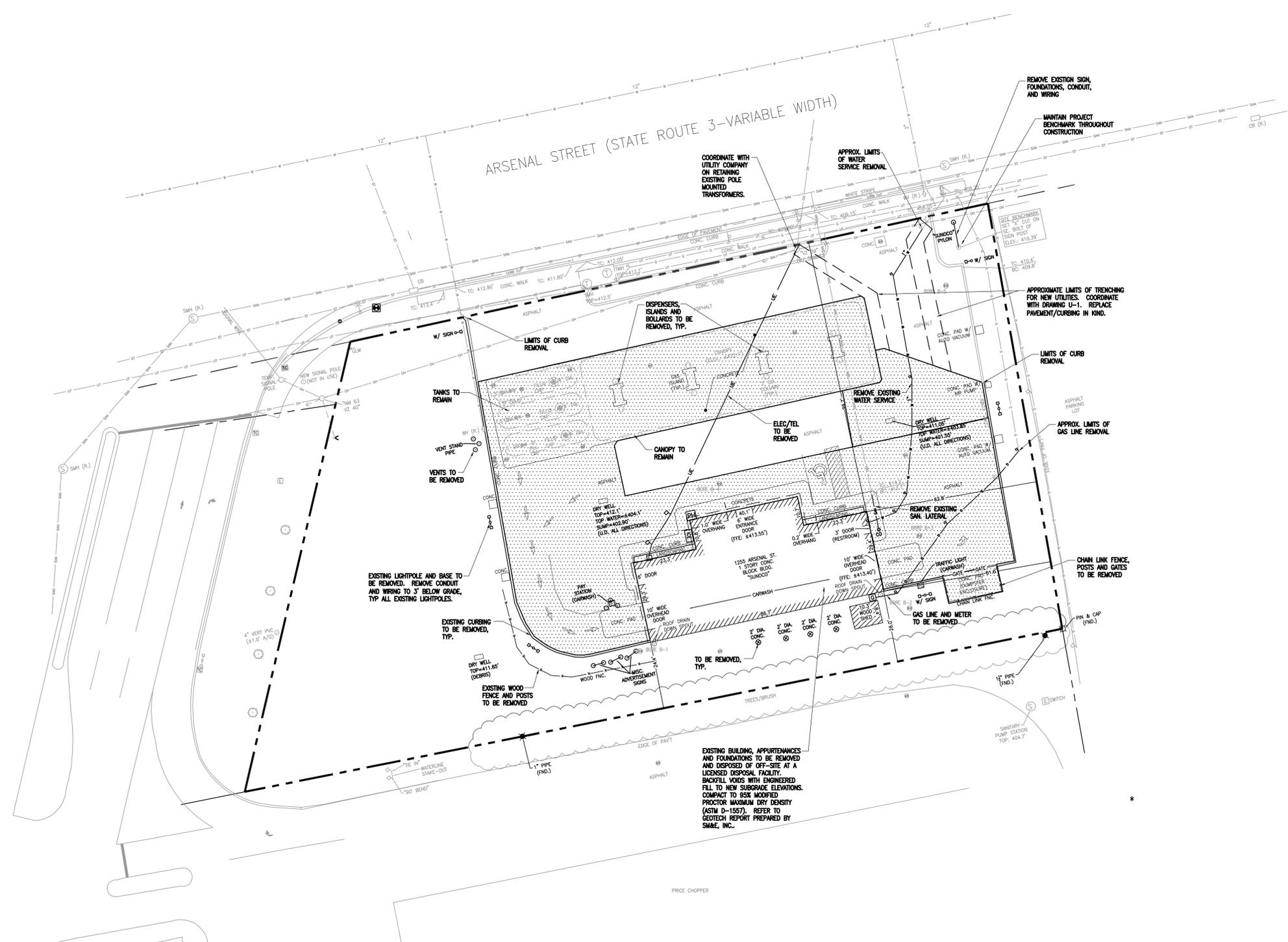
KEVIN M. SULLIVAN DATE DATE  
 L.S. No. 49963

C:\Sunoco\7530\_Watertown\3-D\_Dwg\3.2\_Survey\EP7530\_BKSE.dwg

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ARSENAL STREET (STATE ROUTE 3-VARIABLE WIDTH)



- DEMOLITION NOTES:**
1. ALL REQUIRED DEMOLITION PERMITS MUST BE OBTAINED FROM ALL REQUIRED AGENCIES PRIOR TO COMMENCEMENT OF WORK.
  2. ANY ASBESTOS REMOVAL MUST BE DONE BY A CERTIFIED ASBESTOS REMOVAL CONTRACTOR.
  3. ALL UTILITY COMPANIES MUST BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF DEMOLITION.
  4. PROPER FENCING OR PUBLIC PROTECTION DEVICES MUST BE CONSTRUCTED AND MAINTAINED AROUND THE PERIMETER OF THE SITE AT ALL TIMES DURING DEMOLITION PHASE. FENCING MATERIAL TO BE DETERMINED BY SUNOCO.
  5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL DUST, DIRT, AND DEBRIS DURING DEMOLITION AND CONSTRUCTION PHASES.
  6. REFER TO EXISTING STANDARD SUNOCO CONSTRUCTION/AS-BUILT DRAWINGS FOR UNDERGROUND TANK PIPING AND CONDUITS.
  7. THE CONTRACTOR'S ATTENTION DIRECTED TO THE LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENT. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE CONTROL AND RIGHT-OF-WAY MONUMENTS IN AREAS OF CONSTRUCTION.

**CAUTION - NOTICE TO CONTRACTORS:**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. DIG SAFELY: 1-800-962-7962.



ASPHALT/CONCRETE PAVEMENT REMOVAL

BOLD OR HEAVY LINE WEIGHT ITEMS ARE ITEMS TO BE REMOVED OR RELOCATED.



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 Engineers / Architects / Planners / Surveyors

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NOT APPROVED:  
 THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

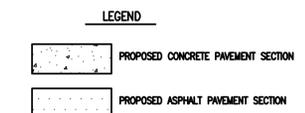
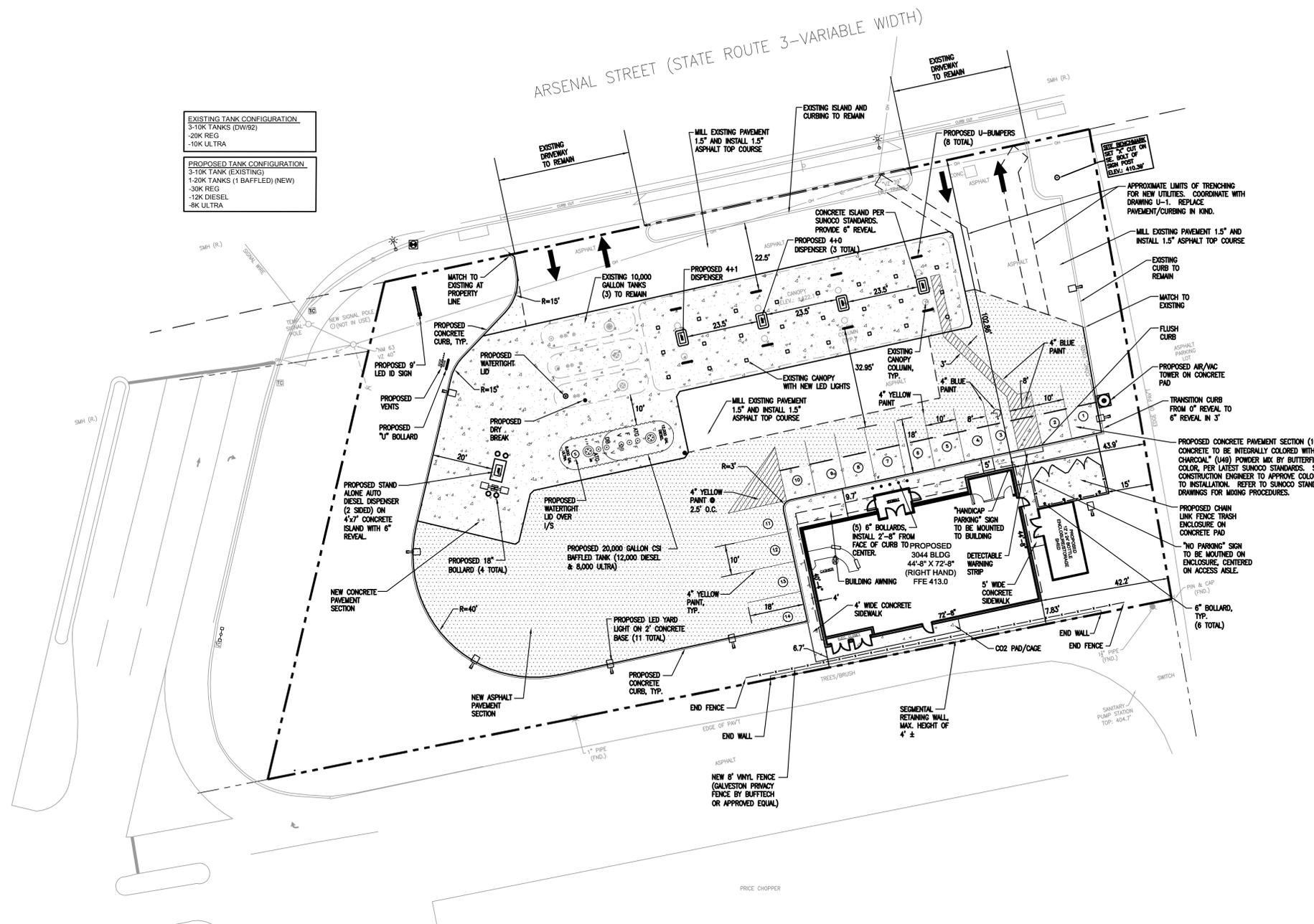


REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D BY	APPV'D.
<b>SUNOCO, INC. Retail Engineering Exton, PA</b>					
LOCATION: 1255 Arsenal Street Watertown, NY Jefferson County				PROJECT NO. E76021	
<b>DEMOLITION PLAN</b> SCALE 1" = 20'-0"					
APPROVED	FACILITY NO.	DRAWING NO.	REV. NO.		
CHECKED B. Burri	0363-9911	DM-1	0		
DRAWN T. Bolt					
DATE 11/1/10					

- GENERAL NOTES:**
1. THE CONTRACTOR'S ATTENTION DIRECTED TO THE LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENT. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE CONTROL AND RIGHT-OF-WAY MONUMENTS IN AREAS OF CONSTRUCTION.
  2. THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS. THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 1-800-962-7962.
  3. THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1928, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
  4. ALL ROADS, DRAINAGE SYSTEMS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
  5. REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS. CONTRACTOR RESPONSIBLE TO VERIFY ALL BUILDING CONSTRUCTION IS WITHIN PROPERTY OF SUNOCO.
  6. THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
  7. IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
  8. IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE OWNER HAS OBTAINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
  9. EXCAVATED WASTE MATERIAL REMOVED FROM THE SITE SHALL BE PLACED AT A LOCATION ACCEPTABLE TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
  10. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN A MINIMUM OF 1' OF COVER OVER ALL EXISTING AND NEW STORM AND SANITARY PIPES, DURING CONSTRUCTION.
  11. ALL EXISTING SURFACE APPURTENANCES TO REMAIN (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS, MONITORING WELLS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE. (NO SEPARATE PAYMENT).
  12. AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECTS CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
  13. UNLESS COVERED BY THE CONTRACT SPECIFICATIONS OR AS NOTED ON THE PLANS, ALL WORK SHALL CONFORM TO THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED MAY 1, 2006, AND ANY SUBSEQUENT AMENDMENTS.



- EXISTING TANK CONFIGURATION**  
 3-10K TANKS (DW/62)  
 -20K REG.  
 -10K ULTRA
- PROPOSED TANK CONFIGURATION**  
 3-10K TANKS (EXISTING)  
 1-20K TANKS (1 BAFFLED) (NEW)  
 -30K REG.  
 -12K DIESEL  
 -8K ULTRA



**PROJECT DATA:**

APPLICANT:

1. SUNOCO, INC.  
1940 LYLELL AVE.  
ROCHESTER, NEW YORK
2. TAX ACCOUNT NO. 919102.2 & 919102
3. EXISTING ZONING: COMMERCIAL
4. PROPOSED USE: 3,044 G.S.F. CONVENIENCE STORE/ GAS STATION (2,665 ± N.S.F.)

CITY OF WATERTOWN ZONING REQUIREMENTS	REQUIRED	PROPOSED
MIN. LOT SIZE (AREA)		0.953 ac. ±
FRONT YARD SETBACK	0 FT.	102.86 +/- FT. (BLDG.) 24.2 +/- FT. (EXIST. FUEL CANOPY)
SIDE YARD SETBACK	0 FT.	41 +/- FT.
REAR YARD SETBACK	0 FT.	6.7 +/- FT.
MAX. LOT COVERAGE (BUILDINGS)	0%	13.6%
GREENSPACE	0%	33%
MIN. BLDG. HEIGHT		25 FT. ±

**OFF STREET PARKING REQUIREMENT:**

5 SPACES PER 1,000 S.F.  
 5 x 3,044 (GROSS SF) = 15.22 SPACES, SAY 15 SPACES  
 5 x 2,665 (NET SF) = 13.3 SPACES, SAY 13 SPACES.

**PROPOSED OFF-STREET PARKING:**

14 SPACES

AN ADDITIONAL 8 SPACES ARE PROVIDED AT THE DISPENSERS WHICH BRINGS THE TOTAL PARKING TO = 22 SPACES



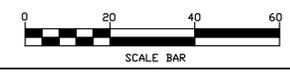
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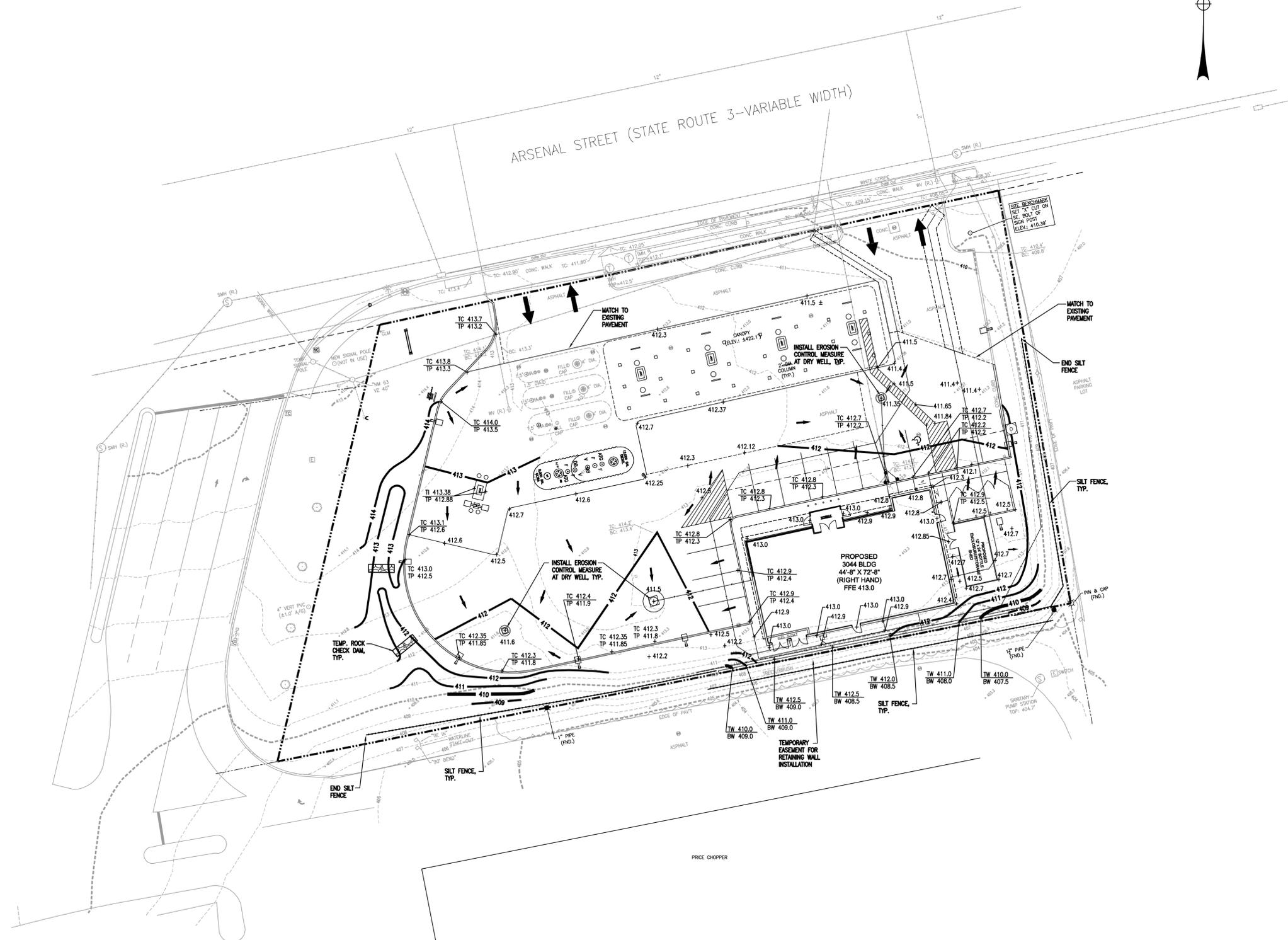
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BASED ON CONCEPT PLAN CP-6, REV 7, DATED 5-6-10			
REV. NO.	DATE	REVISIONS	DRAWN BY / CH'CD. BY / APP'VD.
<b>SUNOCO, INC. Retail Engineering Exton, PA</b>			
LOCATION:	1255 Arsenal Street Watertown, NY Jefferson County	PROJECT NO. E76021	
DEVELOPED CONDITIONS			
APPROVED	FACILITY NO.	DRAWING NO.	REV. NO.
CHECKED B. Burri	0363-9911	D-1	0
DRAWN T. Bolt			
DATE 11/1/10			

**NOT APPROVED:**  
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- GRADING NOTES:**
- REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 6" DEPTH. ALL DISTURBED AREAS TO BE HYDROSEED AS DIRECTED BY THE CONSTRUCTION MANAGER.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS, CHECK DAMS, FILTER BAGS AND SILT FENCE. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE VEGETATION HAS OCCURRED COMPLETELY.
  - ALL SILT FENCE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR IMPEPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
  - EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, HEALTH DEPARTMENT, AND THE CITY OF WATERTOWN REQUIREMENTS.
  - ALL INLETS TO THE STORM SEWER SHALL HAVE STONE DROP INLET PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE BEST MANAGEMENT PRACTICES(BMP'S) UNTIL GROUND COVER IS ESTABLISHED.
  - SILT FENCE, JUTE MESH, AND/OR EROSION CONTROL BLANKETS WILL BE USED ON STEEP SLOPES AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER OR SPECIFIED ON PLANS.
  - THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
  - ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH OR TEMPORARY SEEDING WITHIN 2 WEEKS OF DISTURBANCE.

- EROSION CONTROL NOTES:**
- ALL SITE WORK SHALL CONFORM TO THE CLEARING, STRIPPING AND EROSION CONTROL REQUIREMENTS OF THE NYSDEC AND THE CITY OF WATERTOWN.
  - CONTRACTOR TO PROVIDE, INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION. EROSION CONTROL DEVICES TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK.
  - DISTURBED AREAS SHALL BE AS SMALL AS PRACTICAL, AND SHALL BE RESTORED, IMPROVED OR TEMPORARILY STABILIZED AS SOON AS POSSIBLE.
  - CONTRACTOR SHALL TAKE THE NECESSARY MEASURES, INCLUDING WATER SPRINKLING, TO PROVIDE DUST CONTROL DURING CONSTRUCTION.
  - CONTRACTOR SHALL PREVENT SEDIMENTS FROM ENTERING UTILITIES. ALL MANHOLES, CURB INLETS, FIELD INLETS, END SECTIONS OR OTHER SIMILAR DRAINAGE INLET STRUCTURES SHALL BE PROTECTED FROM SILTATION BY INSTALLING FILTER FABRIC AND/OR CRUSHED STONE.
  - SILT FENCE SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY GRADING WORK ALONG THE LIMITS OF DISTURBANCE AND SHALL BE MAINTAINED FOR THE DURATION OF THE WORK. NO SEDIMENT FROM THE SITE SHALL BE PERMITTED TO WASH OFF-SITE.

- SEQUENCE OF CONSTRUCTION:**
- PRE-CONSTRUCTION MEETING HELD BY PROJECT MANAGER AND THE OPERATOR'S ENGINEER PRIOR TO LAND DISTURBING ACTIVITIES
  - CLEARLY IDENTIFY PROJECT WORK LIMITS IDENTIFYING ALL AREAS WHERE CONSTRUCTION DISTURBANCE SHALL NOT BE PERMITTED INCLUDING, BUT NOT LIMITED TO, BUFFER AREAS, WETLANDS, SELECT TREES AND ADJOINING PROPERTIES.
  - INSTALL TREE PROTECTION AND PERIMETER EROSION CONTROL MEASURES. CONSTRUCT TEMPORARY EARTHEN BERM, SEDIMENT TRAP, SEDIMENT CONTROL CHECK DAMS AND ASSOCIATED EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY TO DIVERT RUNOFF FROM ENTERING AREAS OF PLAN.
  - ESTABLISH EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCING EARTHWORK OPERATIONS.
  - REMOVE AND DISPOSE OF ALL REMOVED VEGETATION OFF-SITE OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
  - STRIP AND STOCKPILE TOPSOIL FROM STRUCTURAL FILL AND CUT AREAS (STOCKPILE LOCATIONS AS DIRECTED BY OWNER'S REPRESENTATIVE).
  - ESTABLISH MANS GRADE ELEVATIONS.
  - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS WELL AS STOCK PILES ARE TO BE MULCHED AND SEEDED FOR TEMPORARY VEGETATIVE COVER IMMEDIATELY FOLLOWING GRADING.
  - CONSTRUCT STORM WATER MANAGEMENT FEATURES.
  - CONSTRUCT UTILITIES AND INFRASTRUCTURE IMPROVEMENTS.
  - FINE GRADE AND SPREAD TOPSOIL. INSTALL LANDSCAPING, SITE AMENITIES AND PERMANENT SEEDING.
  - REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL FEATURES UPON ESTABLISHMENT OF PERMANENT GROUND COVER.
  - NOTIFY OWNER'S REPRESENTATIVE OF COMPLETION OF FINAL SITE STABILIZATION.

THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS AND THE CONTRACTOR WILL HAVE THE OPPORTUNITY TO VARY FROM THE SCHEDULE AS NECESSARY. ARRANGEMENT OF THESE ACTIVITIES ANOTHER WAY MAY BE REQUIRED TO MAINTAIN SATISFACTORY EROSION AND SEDIMENT CONTROL.

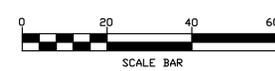


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- LEGEND**
- FLOW ARROW
  - - - SILT FENCE
  - ▨ TEMPORARY STONE CHECK DAM
  - + TC 412.8 TOP OF CURB ELEVATION
  - + TP 412.1 TOP OF PAVEMENT ELEVATION
  - + TW 412.0 TOP OF WALL ELEVATION
  - + BW 408.5 BOTTOM OF WALL AT GRADE

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REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D BY	APP'VD.
<b>SUNOCO, INC.</b> <b>Retail Engineering</b> <b>Exton, PA</b>					
LOCATION: 1255 Arsenal Street Watertown, NY Jefferson County			PROJECT NO. E76021		
<b>GRADING/EROSION CONTROL PLAN</b> SCALE 1" = 10'-0"					
APPROVED	FACILITY NO.	DRAWING NO.	REV. NO.		
CHECKED B. Burri	0363-9911	G-1	0		
DRAWN T. Bolt					
DATE 11/1/10					

**UTILITY PLAN NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
3. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
4. WHERE WATER CROSSES STORM OR SANITARY SEWERS, 18" VERTICAL SEPARATION WILL BE MAINTAINED.
5. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
6. WATER SERVICE INSIDE THE BUILDING IS DETAILED ON THE ARCHITECTURAL DRAWINGS.
7. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
8. TOPS OF EXISTING MANHOLES AND WATER VALVE BOXES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS.
9. ALL CONCRETE FOR ENCASMENTS AND THRUST BLOCKS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I. UNLESS NOTED OTHERWISE.
10. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
11. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
12. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE CONSTRUCTION REQUIREMENTS OF THE CITY OF WATERTOWN WITH REGARD TO MATERIALS AND INSTALLATION OF THE SEWER LINES.
13. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
14. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
15. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
16. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH TOWN UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR THE INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
17. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
18. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
19. REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL DESIGN AND LAYOUT.
20. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER ON ALL WATER LINES.
21. STORM SEWER PIPE SHALL BE CORRUGATED PLASTIC PIPE (CPP) WITH SMOOTH FLOW INTERIOR, UNLESS OTHERWISE SPECIFIED.
22. ALL WATER MAIN AND SERVICE WORK MUST BE COORDINATED WITH THE CITY OF WATERTOWN WATER DEPARTMENT. THE WATER DEPARTMENT REQUIREMENTS SUPERCEDE ALL OTHER PLANS AND SPECIFICATIONS PROVIDED.

**CAUTION - NOTICE TO CONTRACTORS:**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. **CALL SAFELY: 1-800-462-7862.**



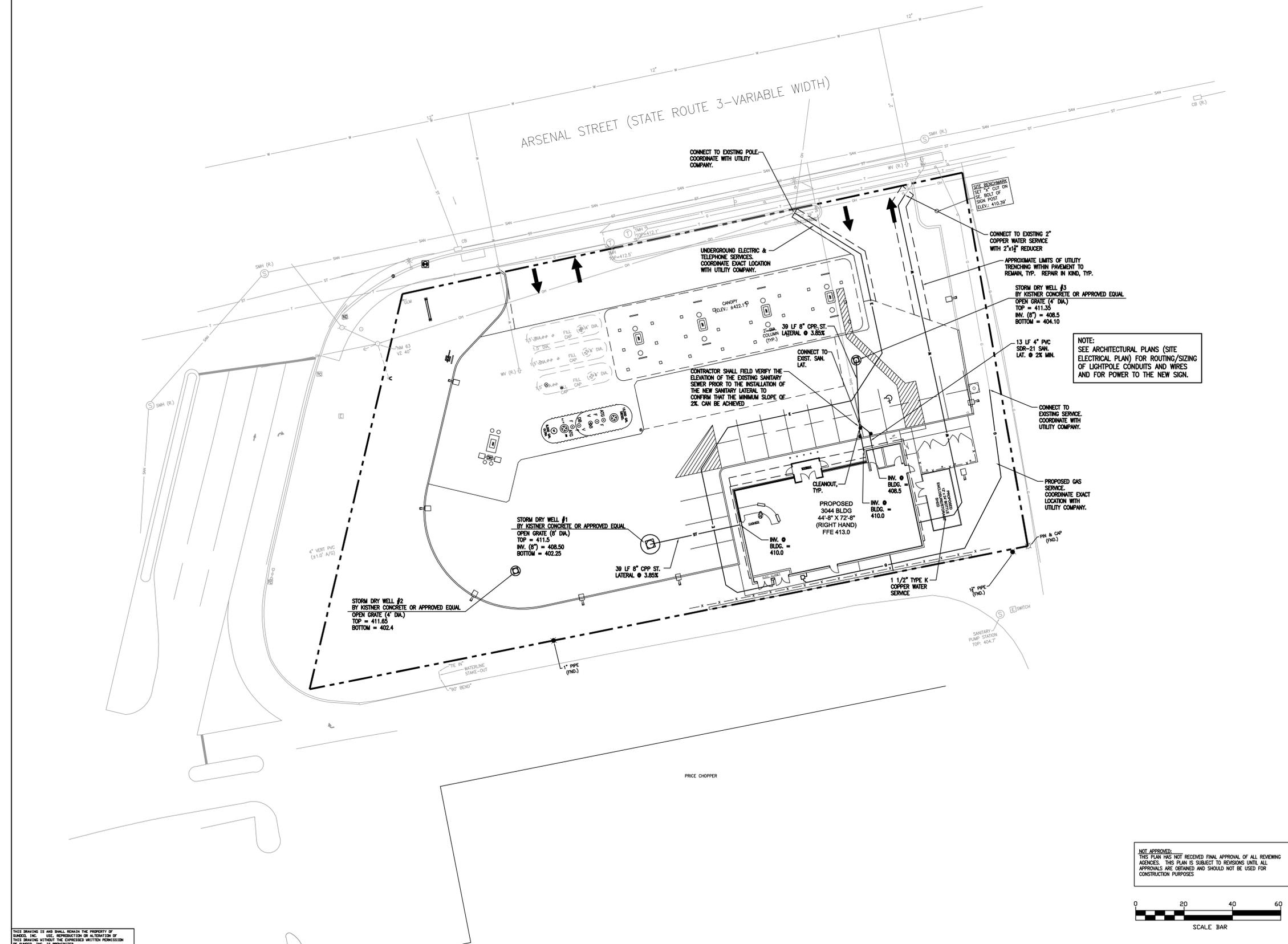
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REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D. BY	APPV'D.

<b>SUNOCO, INC.</b> Retail Engineering Exton, PA		PROJECT NO. E76021
LOCATION:	1255 Arsenal Street Watertown, NY Jefferson County	

UTILITY PLAN		SCALE 1" = 20'-0"
APPROVED	FACILITY NO.	DRAWING NO.
CHECKED B. Burri	0363-9911	U-1
DRAWN T. Bolt		
DATE 11/1/10		REV. NO. 0



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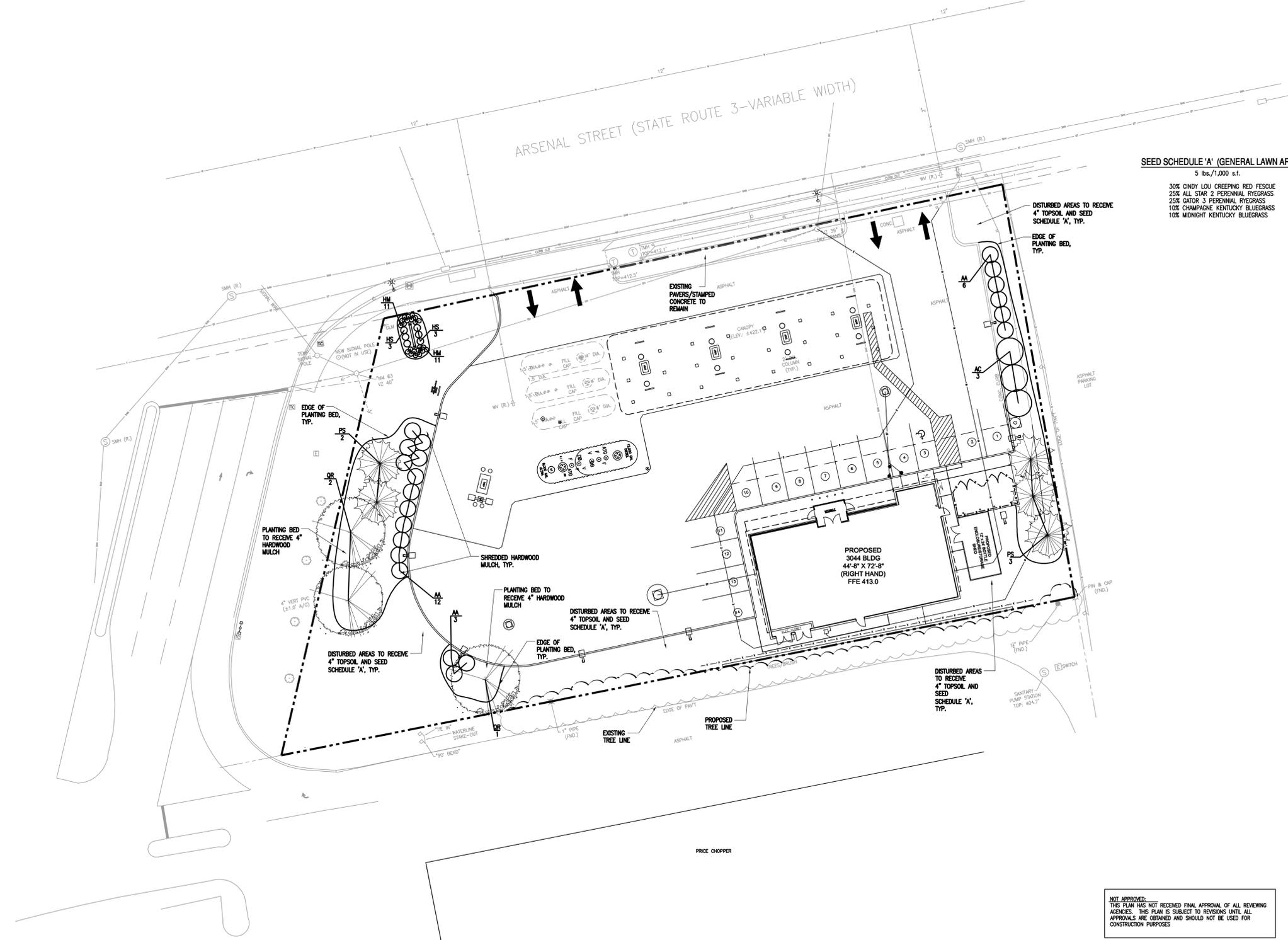
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PLANT LIST						
SYMBOL KEY	SCIENTIFIC NAME	COMMON NAME	INSTALLED SIZE	MATURE SIZE	CONDITION	
OR	<b>STREET TREES</b> Quercus rubra	Northern Red Oak	2 - 2 1/2" Cal.	60-75' H./45-50' Sprd.	B&B	
PS	<b>EVERGREEN TREES</b> Pinus strobus	White Pine	6' Height	70-75' H./30-35' Sprd.	B&B	
AA	<b>SHRUBS/PERENNIALS</b> Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	No. 5 Cont.	6-8' H./6-8' Sprd.	Cont.	
AC	Amelanchier canadensis	Shadblow Serviceberry	4" H. CLUMP FORM	25' H./10-20' Sprd.	Cont.	
HM	Hemerocallis 'Stella D'oro'	Daylily	No. 2 Cont.	18-20" H./18-20" Sprd.	Cont.	
HS	Hosta x 'Blue Angel'	Hosta	No. 2 Cont.	30" H./30" Sprd.	Cont.	

- LANDSCAPE NOTES:**
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
  - ALL PLANTS MUST BE SUITABLE FOR USE IN THE SOIL AND CLIMATE CONDITIONS OF THE PROJECT.
  - ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
  - ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
  - MULCH ALL ISLANDS AND PLANTINGS IN LAWN AREAS WITH SHREDED HARDWOOD MULCH, TO A MINIMUM DEPTH OF FOUR INCHES.
  - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
  - THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
  - ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
  - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEARS BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
  - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
  - LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
  - ALL SHRUB PLANTING BEDS SHALL BE HAND SPADE OUT.
  - ALL DISTURBED/UNSURFACED AREAS SHALL RECEIVE 4" OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THIS IS EXCLUDING ALL LANDSCAPED ISLANDS AND ENTRANCE AREAS.
  - NO IRRIGATION SYSTEM IS TO BE INSTALLED.
  - SEE SHEET DE-2 FOR PLANTING DETAILS.
  - ALL EXISTING TREES SHALL BE PRESERVED WHERE POSSIBLE.

**SEED SCHEDULE 'A' (GENERAL LAWN AREAS)**  
5 lbs./1,000 s.f.

- 30% CINDY LOU CREEPING RED FESCUE
- 25% ALL STAR 2 PERENNIAL RYEGRASS
- 25% GATOR 3 PERENNIAL RYEGRASS
- 10% CHAMPAGNE KENTUCKY BLUEGRASS
- 10% MIDNIGHT KENTUCKY BLUEGRASS



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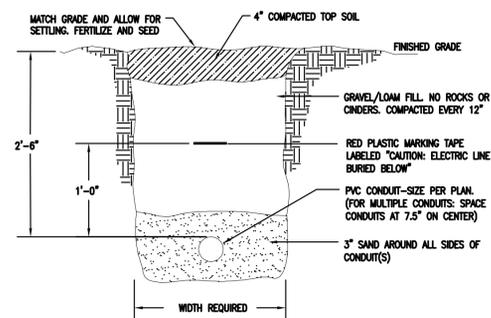
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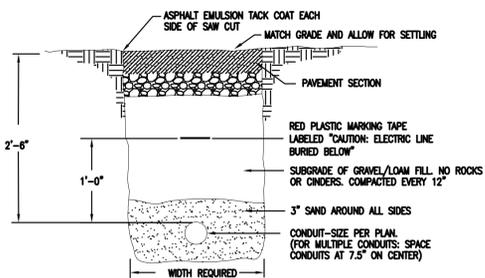
REV. NO.	DATE	REVISIONS	DRAWN BY	CHECKED BY	APPVD.
<b>SUNOCO, INC.</b> Retail Engineering Exton, PA					
LOCATION: 1255 Arsenal Street Watertown, NY Jefferson County			PROJECT NO. E76021		
LANDSCAPE PLAN					
APPROVED		FACILITY NO.	DRAWING NO.	SCALE 1" = 20'-0"	
CHECKED	A. Hort	0363-9911	L-1	REV. NO. 0	
DRAWN	T. Liddell				
DATE	11/1/10				





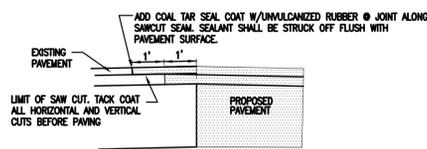
**ELECTRICAL CONDUIT TRENCH IN GRASS**

NO SCALE



**ELECTRICAL CONDUIT TRENCH IN PAVEMENT**

NO SCALE

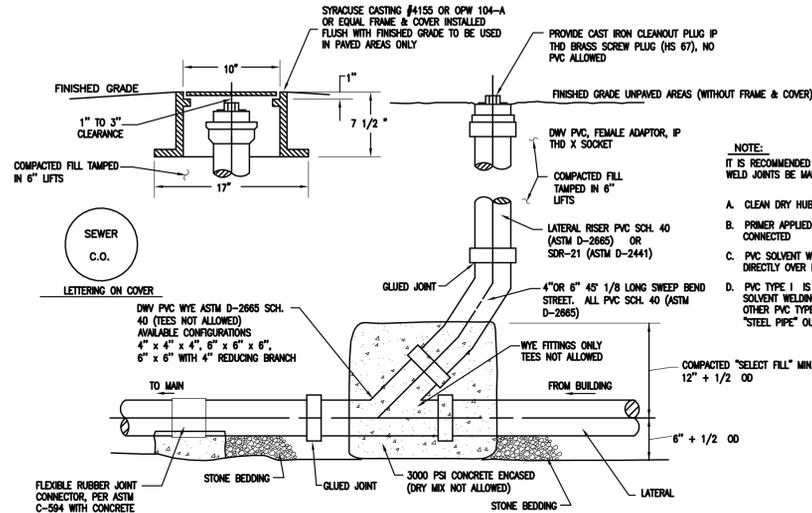


**SHEAR STEP DETAIL**

NO SCALE

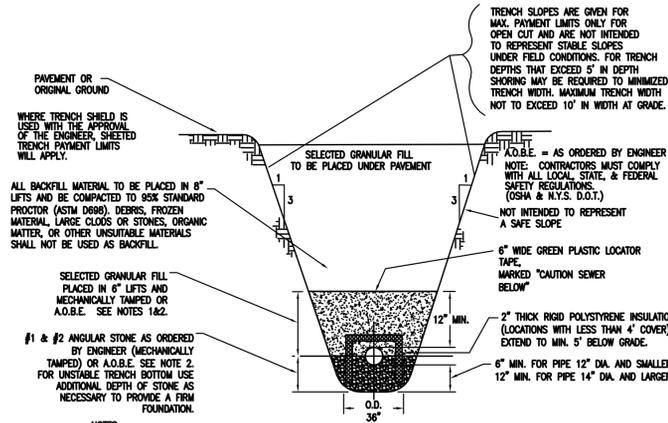
- NOTES:
1. IN AREAS WHERE THE EXISTING ASPHALT BASE COURSE IS INADEQUATE FOR THE SHEAR STEP, THE EXISTING TOP COURSE SHALL BE SAWCUT ONE FOOT WIDE.
  2. DEPTH OF SAWCUT SHALL BE DETERMINED ONCE THE PAVEMENT CROSS SECTION HAS BEEN EXPOSED.
  3. CAP ALL SEAMS BETWEEN NEW AND EXISTING PAVEMENT WITH UNMULCANIZED RUBBER SEAL COAT, STRIKE OFF SEAMS FLUSH W/PAVEMENT

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**BUILDING AND SEWER CLEAN-OUT**

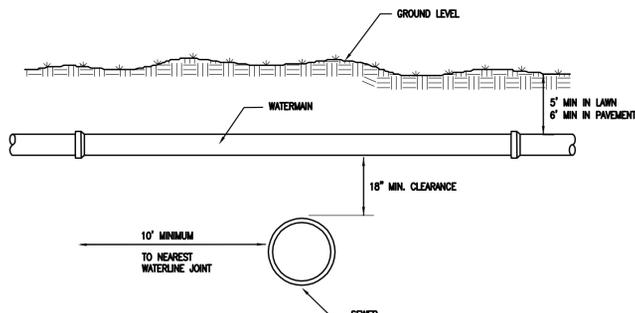
NO SCALE



**SANITARY SEWER BEDDING**

NO SCALE

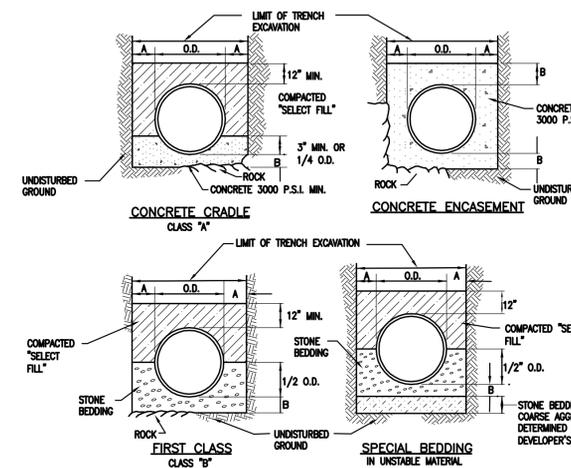
- NOTES:
- 1) NATIVE EXCAVATED GRANULAR MATERIAL MAY BE USED IF APPROVED BY THE ENGINEER.
  - 2) CRUSHED STONE NOT TO EXCEED #2 IN SIZE. GRANULAR FILL TO MEET THE FOLLOWING REQUIREMENTS:  
OR IN EXCESS OF 3"  
25%-75% PASSING #4 SIEVE  
0%-15% PASSING #200 SIEVE



**TYPICAL WATER LINE - SEWER LINE CROSSING**

NO SCALE

NOTE- ALL EXCAVATIONS UNDER ANY UTILITY WILL BE BACKFILLED WITH NO. 1 CRUSHED STONE TO A POINT AT LEAST 6" OVER THE TOP OF THE UTILITY.

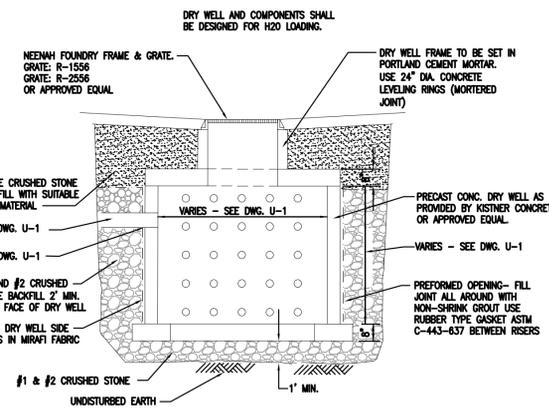


**STORM SEWER BEDDING MATERIAL DETAIL**

NO SCALE

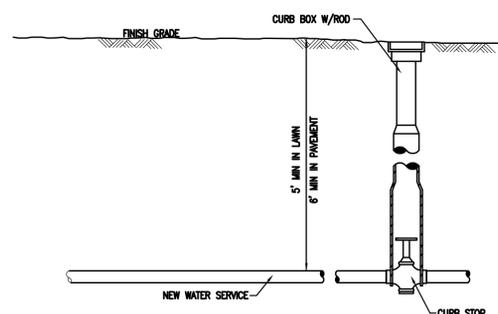
- NOTES:
1. TRENCH BACKFILL SHALL BE AS REQUIRED BY THE ENGINEER.
  2. SELECT FILL SHALL BE SAND, GRAVEL, AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSION.
  3. STONE BEDDING SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATION JAN 2, 2002 EDITION, AS REVISED, SUBSECTION 703-0201 "CRUSHED STONE". PRIMARY SIZE 1 OR A MIXTURE OF PRIMARY SIZES 1 AND 2.
  4. COARSE AGGREGATE SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATION, JAN 2, 2002 EDITION, AS REVISED, SUBSECTION 703-0201 "CRUSHED STONE". PRIMARY SIZE 3 AND/OR 4.
  5. THIS FIGURE APPLIES TO SANITARY, STORM AND COMBINED MAINLINE AND LATERAL PIPE INSTALLATIONS AS WELL AS FORCE MAINS.
  6. USE FIRST CLASS DETAIL UNLESS CONDITIONS WARRANT OTHERWISE.

PIPE DIA.	DIM. A	DIM. B
UP TO 18"	1.0'	6"
21" TO 36"	1.5'	9"
OVER 36"	1.5'	12"



**DRY WELL**

NO SCALE



**SERVICE INSTALLATION DETAIL**

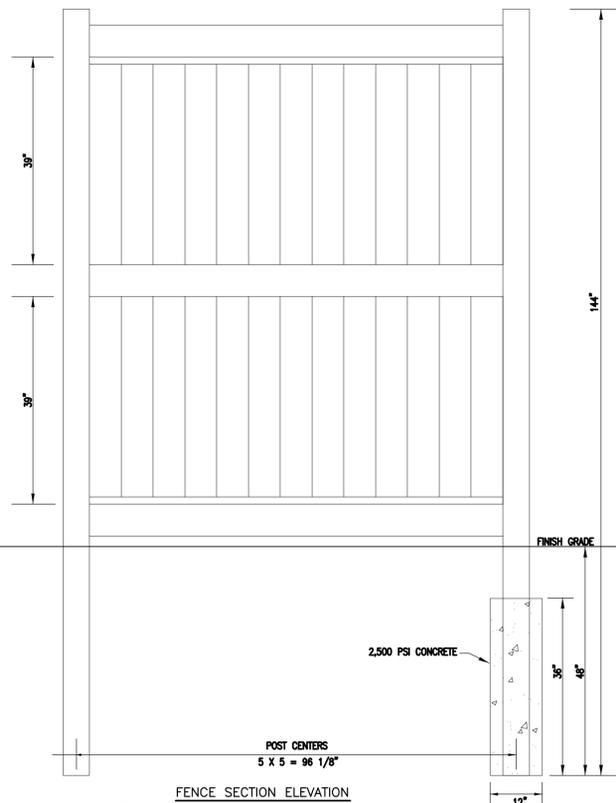
NO SCALE

NOT APPROVED: THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.



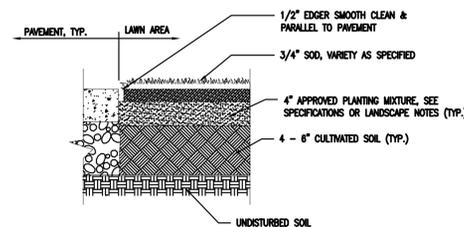
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REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D BY	APP'VD.
<b>SUNOCO, INC.</b> Retail Engineering Exton, PA					
LOCATION: 1255 Arsenal Street Watertown, NY Jefferson County			PROJECT NO. E76021		
MISCELLANEOUS DETAILS					
APPROVED	FACILITY NO.	DRAWING NO.	SCALE	As Noted	
CHECKED: B. Burri	0363-9911	DE-1	REV. NO. 0		
DRAWN: T. Bolt					
DATE: 11/1/10					



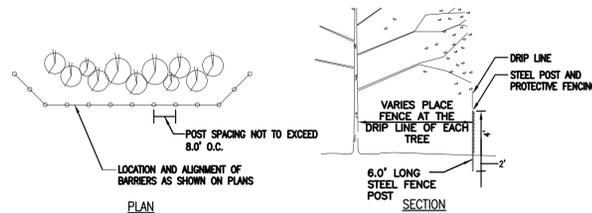
- NOTES:**
- WHITE GALVESTON STYLE FENCE BY BUFTTECH, INC. OR APPROVED EQUAL.
  - SPECIFICATIONS SHOWN CAN BE CHANGED BY BUFTTECH ONLY.
  - FOOTING WIDTH TO BE MIN. 12" DIA. MINIMUM DEPTH 48", 2,500 PSI CONCRETE.

**8'-0" HIGH WHITE VINYL FENCE**  
NO SCALE

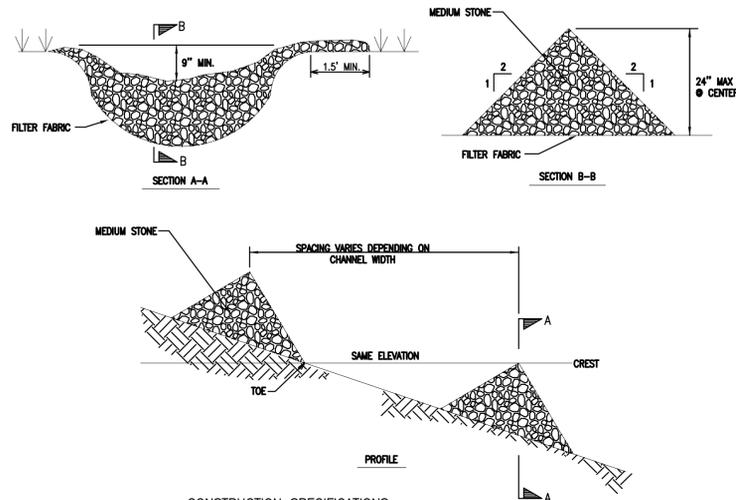


- SODDING PROCEDURE:**
- CULTIVATE ENTIRE AREA TO 4"-6" DEPTH. HANDRAKE SMOOTH. SPREAD 4" OF TOPSOIL.
  - APPLY ANY SOIL MODIFICATIONS AS NECESSARY (SEE SPECIFICATIONS OR LANDSCAPE NOTES).
  - WATER AREA TO BE SODDED PRIOR TO LAYING SOD.
  - LAY AND ROLL SOD AND WATER THOROUGHLY.
  - SOD IS TO BE INSTALLED SUCH THAT TOP OF SOIL AND ROOT LAYER IS LEVEL WITH THE TOP OF PAVEMENT.
  - DO NOT LAY DORMANT SOD OR INSTALL SOD ON FROZEN OR SATURATED SOIL.
  - DO NOT OVERLAY EDGES.

**SOD INSTALLATION DETAIL**  
NO SCALE

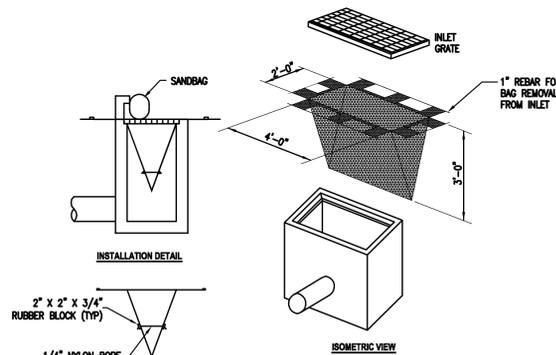


**VEGETATION PROTECTION BARRIER DETAIL**  
NO SCALE

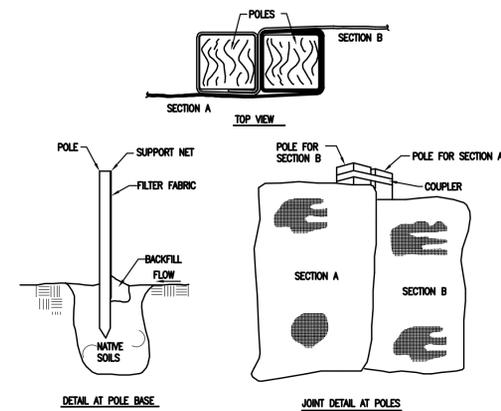


- CONSTRUCTION SPECIFICATIONS**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES GRADES AND LOCATIONS SHOWN ON THE PLAN.
  - SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
  - EXTEND THE STONE A MINIMUM OF 1.5' BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
  - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
  - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

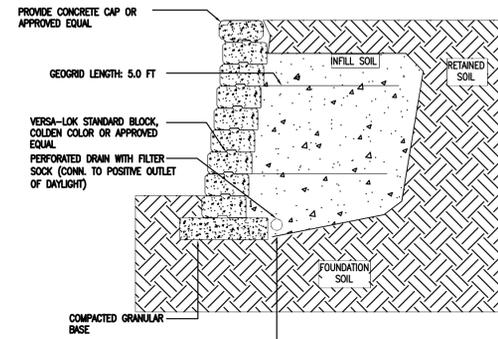
**LIGHT STONE CHECK DAM**  
NO SCALE



**FILTER BAG INLET PROTECTION**  
NO SCALE

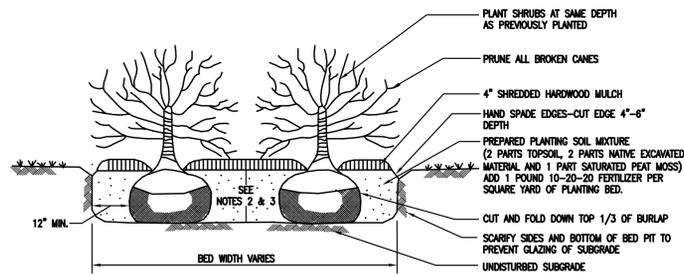


**SILT FENCE INSTALLATION DETAIL**  
NO SCALE



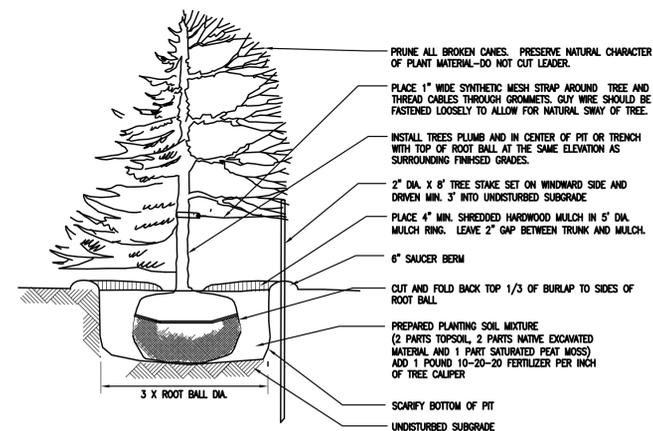
- NOTES:**
- THIS DESIGN SHALL MEET OR EXCEED THE MINIMUM FACTORS OF SAFETY REQUIRED BY RISI STONE SYSTEMS BASED ON THE DESIGN PARAMETERS ESTABLISHED BY THE SRIW ENGINEER. THE ANALYSIS SHALL BE CONDUCTED IN ACCORDANCE WITH THE NATIONAL CONCRETE MASONRY ASSOCIATION DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS, SECOND EDITION.
  - THIS IS A PRELIMINARY, NON SITE-SPECIFIC DESIGN FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL SUBMIT SIGNED AND SEALED DRAWINGS BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL.
  - NO ANALYSIS OF GLOBAL STABILITY, TOTAL OR DIFFERENTIAL SETTLEMENT, OR SEISMIC EFFECTS HAS BEEN PERFORMED.
  - THIS DESIGN IS ONLY PROVIDED TO ILLUSTRATE THE GENERAL ARRANGEMENT OF THE SRIW STRUCTURE. THIS DETAIL MUST BE USED IN CONJUNCTION WITH THE RELATED DETAIL DRAWINGS AND SPECIFICATIONS FOR PROPER DESIGN AND CONSTRUCTION.
  - STRUCTURES SUCH AS HANDRAILS, GUARDRAILS, FENCES, TERRACES, AND SITE CONDITIONS SUCH AS WATER APPLICATIONS, DRAINAGE AND SOIL CONDITIONS, ADDITIONAL LIVE AND DEAD LOADS, ETC., HAVE SIGNIFICANT EFFECTS ON THE WALL DESIGN AND MUST BE REVIEWED/APPROVED BY A QUALIFIED ENGINEER BEFORE BEING USED IN CONJUNCTION WITH THIS DESIGN.
  - FOR GEOGRID REINFORCED STRUCTURES, A MINIMUM LONG TERM ALLOWABLE DESIGN STRENGTH OF 14 KSI WAS ASSUMED. CONTACT YOUR MANUFACTURER OR RISI STONE SYSTEMS FOR A LIST OF APPROVED GEOGRID REINFORCEMENTS.

**SEGMENTAL RETAINING WALL DETAIL**  
NO SCALE

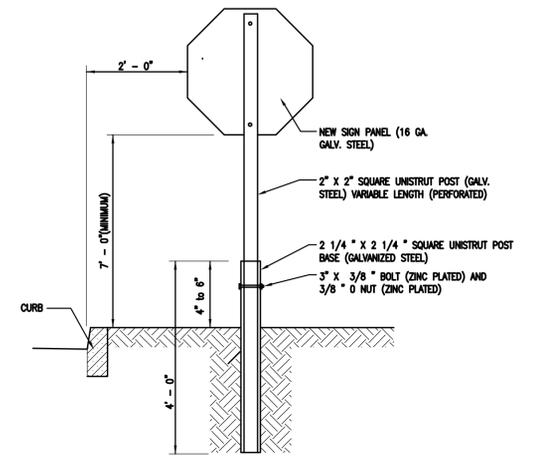


- NOTE:**
- PLANTING BEDS SHALL BE GENTLY MOUNDING TOWARDS CENTER TO A HEIGHT OF 12". ANY MATERIAL REQUIRED TO ACHIEVE MOUNDING IN PLANTING BEDS SHALL BE SPECIFIED TOPSOIL.
  - PLANTING BED DEPTH IN LAWN AREAS SHALL BE A MIN. 12" DEEP.
  - PLANTING BED AREAS NOT IN LAWN AREAS, (INCLUDING BUT NOT LIMITED TO PARKING LOT ISLANDS AND FOUNDATION PLANTING AREAS, ETC.) SHALL BE OVER EXCAVATED TO A MIN. DEPTH OF 24" TO REMOVE ANY CONSTRUCTION DEBRIS. BACKFILL WITH PREPARED PLANTING SOIL MIXTURE AND COMPACT MIXTURE UNDER SHRUBS TO AVOID SETTLING.

**SHRUB PLANTING DETAIL**  
NO SCALE



**TREE PLANTING DETAIL**  
NO SCALE



**POST MOUNT SIGN INSTALLATION IN SOIL**  
NO SCALE

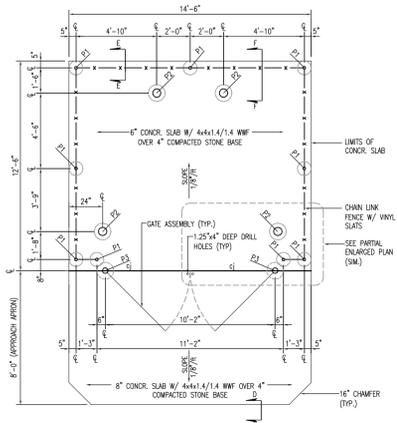
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**Bergmann**  
associates

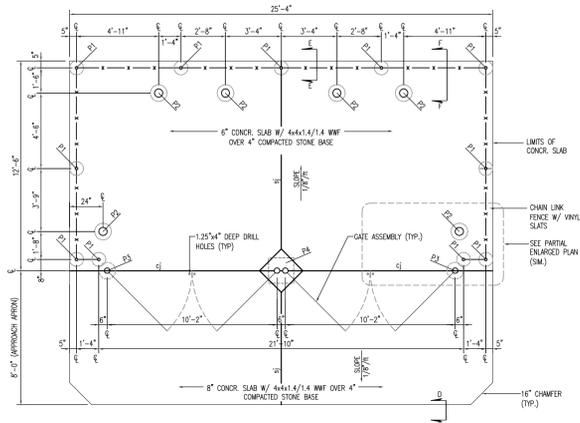
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REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D BY	APP'VD.
<b>SUNOCO, INC.</b> <b>Retail Engineering</b> <b>Exton, PA</b>					
LOCATION: 1255 Arsenal Street Watertown, NY Jefferson County			PROJECT NO. E76021		
MISCELLANEOUS DETAILS					
APPROVED	FACILITY NO.	DRAWING NO.	SCALE	As Noted	REV. NO.
CHECKED B. Burri	0363-9911	DE-2			0
DRAWN T. Bolt					
DATE 11/1/10					





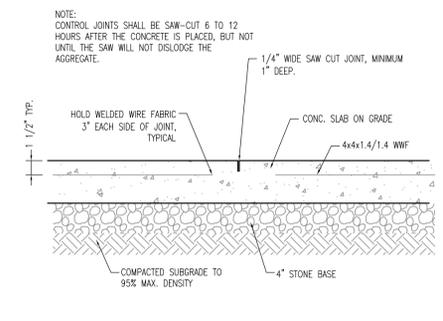
**ENCLOSURE PLAN - SINGLE**  
SCALE: NONE



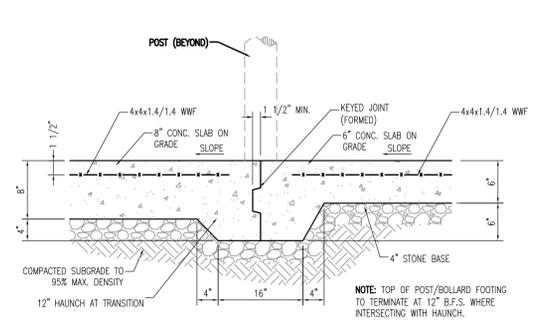
**ENCLOSURE PLAN - DOUBLE**  
SCALE: NONE

MARK	PIPE SIZE	FOOTING SIZE	FOOTING DEPTH	REMARKS	PIPE HEIGHT
P1	2" DIA.	10" DIA.	36" B.F.S.	SEPARATE POUR	6'-0" MIN. A.F.S.
P2	6" DIA.	12" DIA.	36" B.F.S.	SEPARATE POUR	36" A.F.S.
P3	4" DIA.	12" DIA.	48" B.F.S.	SEPARATE POUR	6'-3" A.F.S.
P4	(2) 4" DIA.	18"x18" SQ.	48" B.F.S.	SEPARATE POUR	6'-3" A.F.S.

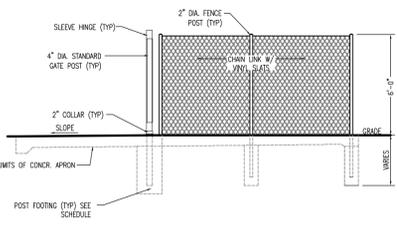
NOTES:  
 1. ALL FOOTINGS SHALL REST ON VIRCON SOILS OR ENGINEERED FILL.  
 2. B.F.S. = BELOW FINISH SLAB.  
 3. VERIFY APRON CONFIGURATION WITH FINAL LAND DEVELOPMENT PLANS.  
 4. ALL POSTS/BOLLARDS SHALL BE GROUTED SOLE WITH DOMED TOPS.  
 5. ALL BACKFILL MATERIALS MUST BE COMPACTED TO 95% MAX. DENSITY.



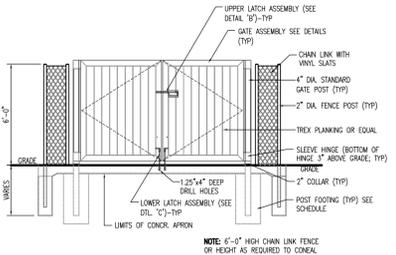
**TYPICAL SAW JOINT DETAIL (sj)**  
SCALE: NONE



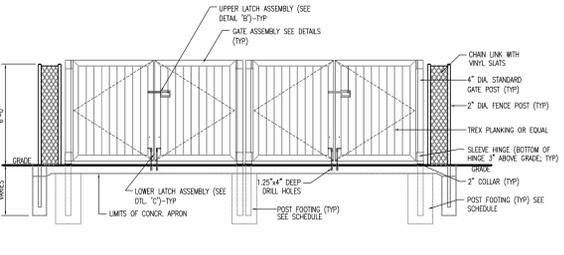
**TYPICAL CONTROL JOINT DETAIL (cj)**  
SCALE: NONE



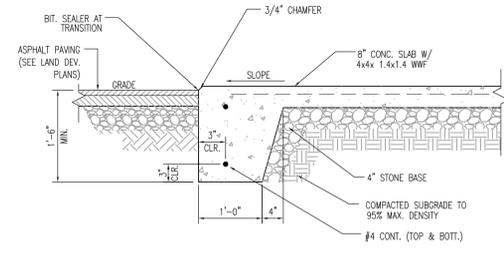
**ENCLOSURE ELEVATION - SIDE (TYP)**  
SCALE: NONE



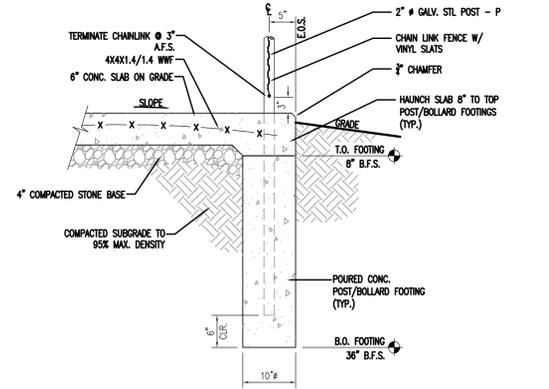
**ENCLOSURE ELEVATION - SINGLE**  
SCALE: NONE



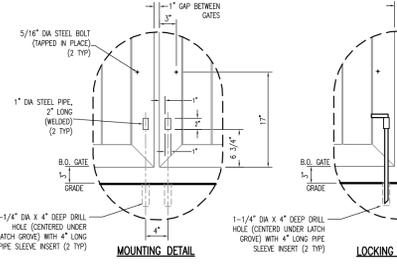
**ENCLOSURE ELEVATION - DOUBLE**  
SCALE: NONE



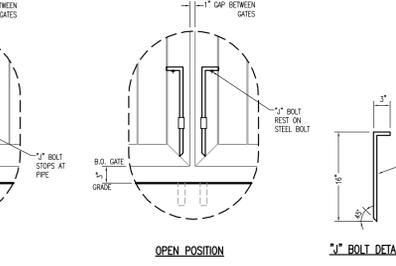
**APRON HAUNCH DETAIL 'D'**  
SCALE: NONE



**TYPICAL SECTION 'E'**  
SCALE: NONE



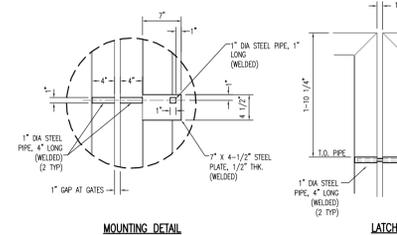
**DETAIL 'C' - BOTTOM LATCH ASSEMBLY**  
SCALE: NONE



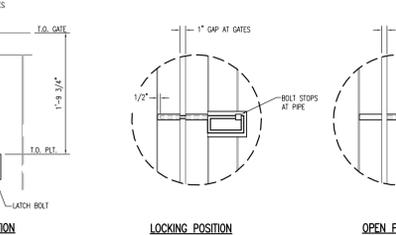
**DETAIL 'C' - OPEN POSITION**



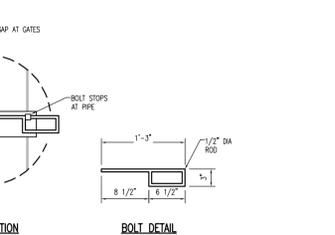
**DETAIL 'C' - BOLT DETAIL**



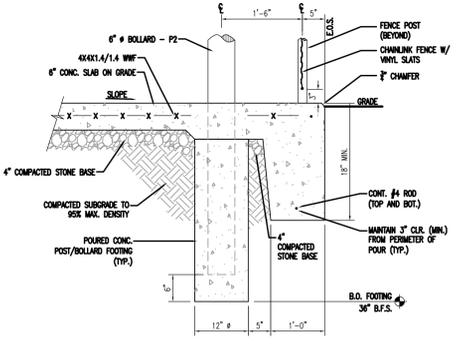
**DETAIL 'B' - UPPER LATCH ASSEMBLY**  
SCALE: NONE



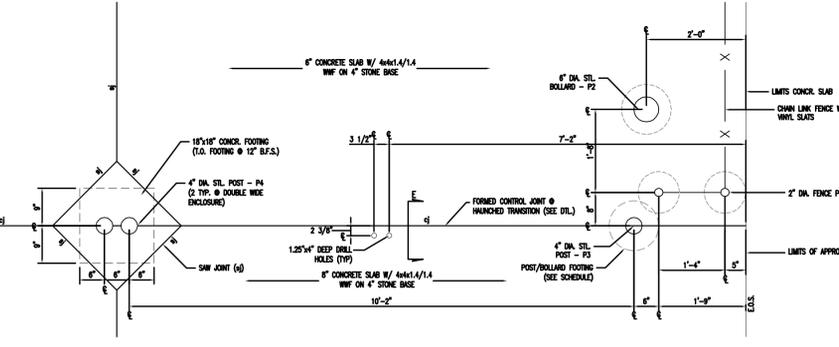
**DETAIL 'B' - LOCKING POSITION**



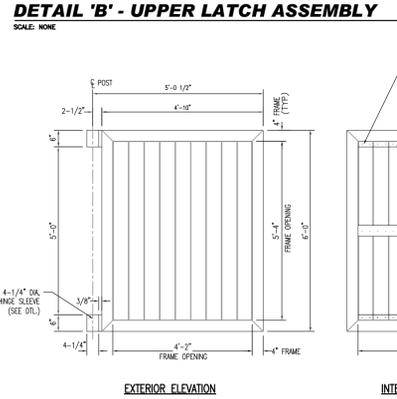
**DETAIL 'B' - OPEN POSITION**



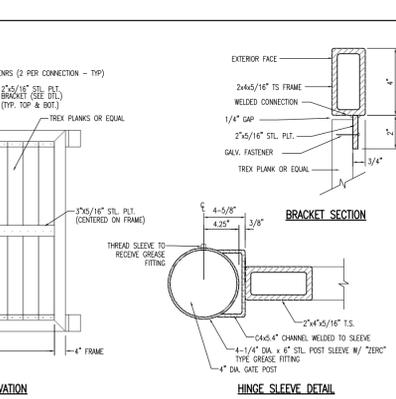
**TYPICAL SECTION 'F'**  
SCALE: NONE



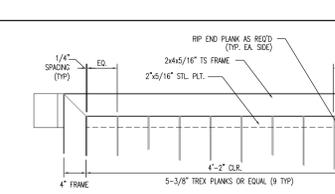
**PARTIAL ENLARGED PLAN**  
SCALE: NONE



**DETAIL 'A' - GATE ASSEMBLY DETAILS**  
SCALE: NONE



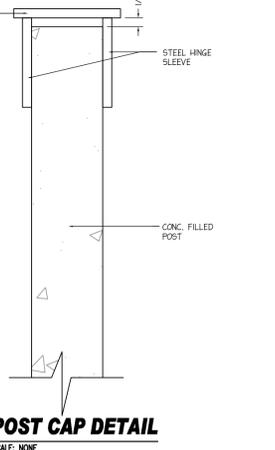
**DETAIL 'A' - BRACKET SECTION**



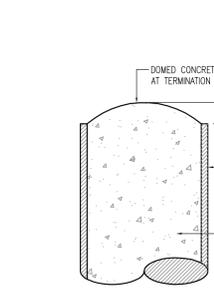
**DETAIL 'A' - PLANKING DETAIL**



**DETAIL 'A' - HINGE SLEEVE DETAIL**



**POST CAP DETAIL**  
SCALE: NONE



**TYP. POST/BOLLARD CAP**  
SCALE: NONE

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REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D BY	APPV'D.
<b>SUNOCO, INC.</b> Retail Engineering Exton, PA					
LOCATION: 1255 Arsenal Street Watertown, NY Jefferson County			PROJECT NO. E76021		
CHAIN LINK FENCE TRASH ENCLOSURE DETAILS					
APPROVED	FACILITY NO.	DRAWING NO.	SCALE	As Noted	
CHECKED B. Burt	0363-9911	DE-4			
DRAWN T. Bolt					
DATE 11/1/10					

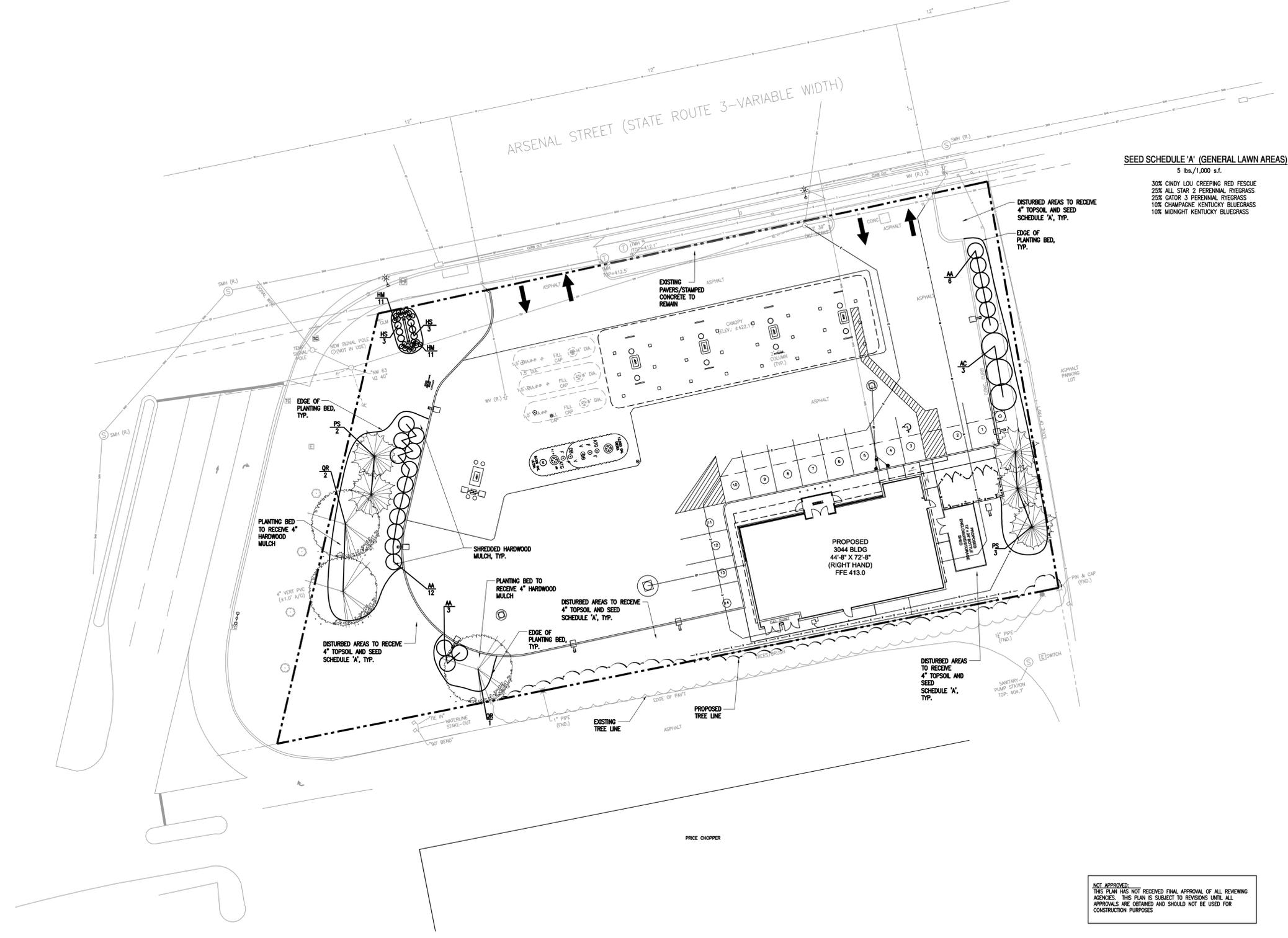
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PLANT LIST						
SYMBOL KEY	SCIENTIFIC NAME	COMMON NAME	INSTALLED SIZE	MATURE SIZE	CONDITION	
OR	<b>STREET TREES</b> <i>Quercus rubra</i>	Northern Red Oak	2 - 2 1/2" Cal.	60-75' H./45-50' Sprd.	B&B	
PS	<b>EVERGREEN TREES</b> <i>Pinus strobus</i>	White Pine	6' Height	70-75' H./30-35' Sprd.	B&B	
AA	<b>SHRUBS/PERENNIALS</b> <i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry	No. 5 Cont.	6-8' H./6-8' Sprd.	Cont.	
AC	<i>Aronia arbutifolia</i>	Shadblow Serviceberry	4" H. CLUMP FORM	25' H./10-20' Sprd.	Cont.	
HM	<i>Hemerocallis</i> 'Stella D'oro'	Daylily	No. 2 Cont.	18-20" H./18-20" Sprd.	Cont.	
HS	<i>Hosta</i> x 'Blue Angel'	Hosta	No. 2 Cont.	30" H./30" Sprd.	Cont.	

- LANDSCAPE NOTES:**
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
  - ALL PLANTS MUST BE SUITABLE FOR USE IN THE SOIL AND CLIMATE CONDITIONS OF THE PROJECT.
  - ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
  - ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
  - MULCH ALL ISLANDS AND PLANTINGS IN LAWN AREAS WITH SHREDDED HARDWOOD MULCH, TO A MINIMUM DEPTH OF FOUR INCHES.
  - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
  - THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
  - ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
  - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEARS BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
  - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
  - LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
  - ALL SHRUB PLANTING BEDS SHALL BE HAND SPADE OUT.
  - ALL DISTURBED/UNSURFACED AREAS SHALL RECEIVE 4" OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THIS IS EXCLUDING ALL LANDSCAPED ISLANDS AND ENTRANCE AREAS.
  - NO IRRIGATION SYSTEM IS TO BE INSTALLED.
  - SEE SHEET DE-2 FOR PLANTING DETAILS.
  - ALL EXISTING TREES SHALL BE PRESERVED WHERE POSSIBLE.

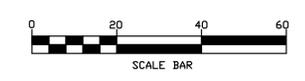
**SEED SCHEDULE 'A' (GENERAL LAWN AREAS)**  
5 lbs./1,000 s.f.

- 30% CINDY LOU CREEPING RED FESCUE
- 25% ALL STAR 2 PERENNIAL RYEGRASS
- 25% GATOR 3 PERENNIAL RYEGRASS
- 10% CHAMPAGNE KENTUCKY BLUEGRASS
- 10% MIDNIGHT KENTUCKY BLUEGRASS



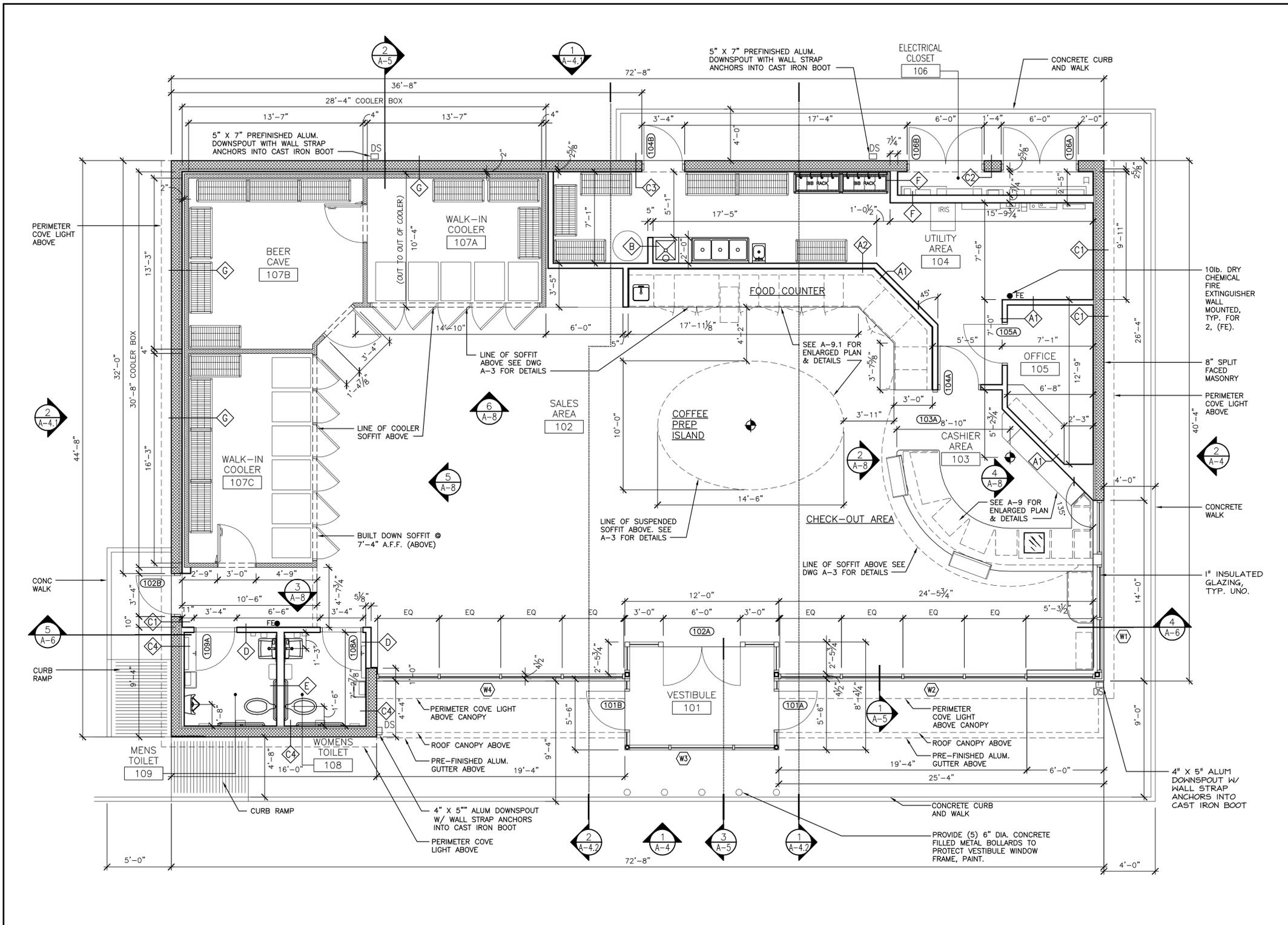
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NOT APPROVED  
THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES



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REV. NO.	DATE	REVISIONS	DRAWN BY	CHECKED BY	APPVD.
<b>SUNOCO, INC.</b> Retail Engineering Exton, PA					
LOCATION: 1255 Arsenal Street Watertown, NY Jefferson County			PROJECT NO. E76021		
LANDSCAPE PLAN					
APPROVED		FACILITY NO.	DRAWING NO.	SCALE 1" = 20'-0"	
CHECKED	A. Hort	0363-9911	L-1	REV. NO.	
DRAWN	T. Liddell			0	
DATE	11/1/10				



- ### PARTITION TYPES
- NOTE: REFER TO SHEET A-10 FOR ADDITIONAL WALL FINISH AND TREATMENT INFORMATION.
- 1 25 GA. 3-5/8" METAL STUDS @ 16" O.C. WITH 5/8" M.R. GWB EA. SIDE & R-11 BATT INSUL. EXTEND TO UNDERSIDE OF ROOF DECK.
  - 2 25 GA. 3-5/8" METAL STUDS @ 16" O.C. WITH 5/8" M.R. GWB EA. SIDE & R-11 BATT INSUL. EXTEND TO UNDERSIDE OF ROOF DECK. PROVIDE FRP OVER GYP. IN UTILITY ROOM.
  - 3 25 GA. 3-5/8" METAL STUDS @ 16" O.C. WITH 5/8" M.R. GWB EA. SIDE. EXTEND TOTAL CONSTRUCTION TO 6" ABOVE FINISHED CEILING (USE FRP OVER GYP. IN UTILITY ROOM).
  - 4 8" SPLIT FACED MASONRY W/ 2" METAL Z FURRING AT 2'-0" O.C. VERTICALLY AND 2" RIGID INSULATION BETWEEN Z FURRING. PROVIDE 5/8" M.R. GWB ON FACE OF Z FURRING AND RIGID INSULATION.
  - 5 8" SPLIT FACED MASONRY W/ 2" METAL Z FURRING AT 2'-0" O.C. VERTICALLY AND 2" RIGID INSULATION BETWEEN Z FURRING. PROVIDE FRP OVER 5/8" M.R. GWB ON FACE OF Z FURRING AND RIGID INSULATION. EXTENDED FRP TO 6" ABOVE FINISHED CEILING.
  - 6 8" SPLIT FACED MASONRY W/ 2" METAL Z FURRING AT 2'-0" O.C. VERTICALLY AND 2" RIGID INSULATION BETWEEN Z FURRING. PROVIDE CERAMIC TILE OVER 5/8" M.R. GWB ON FACE OF Z FURRING AND RIGID INSULATION. EXTENDED TILE TO 4" ABOVE FINISHED CEILING.
  - 7 25 GA. 3-5/8" METAL STUDS AT 16" O.C. WITH 1 LAYER OF 5/8" M.R. GWB BOTH SIDES. EXTEND STUDS AND M.R. GWB UP TO UNDERSIDE OF ROOF DECK. PROVIDE R-11 SOUND ATTENUATION BLANKET INSULATION BETWEEN STUDS. PROVIDE M.R. GWB AND CERAMIC TILE ON TOILET ROOM SIDE. EXTEND CERAMIC TILE UP TO 4" ABOVE FINISHED CEILING.
  - 8 25 GA. 6" METAL STUDS AT 16" O.C. WITH 1 LAYER OF 5/8" M.R. GWB BOTH SIDES. EXTEND STUDS AND GWB UP TO UNDERSIDE OF ROOF DECK. PROVIDE R-11 SOUND ATTENUATION BLANKET INSULATION BETWEEN STUDS. PROVIDE CERAMIC TILE ON TOILET ROOM SIDES. EXTEND CERAMIC TILE UP TO 4" ABOVE FINISHED CEILING.
  - 9 25 GA. 6" METAL STUDS AT 16" O.C. WITH 1 LAYER OF 5/8" M.R. GWB ON THE UTILITY ROOM SIDE AND ONE LAYER OF 3/4" FIRE RESISTANT PLYWOOD ON THE ELECTRICAL CLOSET SIDE. FILL STUD CAVITIES WITH R-19 BATT INSULATION. EXTEND STUDS AND M.R. GWB UP TO UNDERSIDE OF ROOF DECK.
  - 10 8" SPLIT FACED MASONRY W/ 2" METAL Z FURRING AT 2'-0" O.C. VERTICALLY AND 2" RIGID INSULATION BETWEEN Z FURRING. PROVIDE 5/8" M.R. GWB ON FACE OF Z FURRING AND RIGID INSULATION (JUST TAPE AND SPACKLE). EXTEND CONSTRUCTION TO UNDERSIDE OF ROOF DECK. PROVIDE 1" GAP BETWEEN COOLER AND GWB ON EXTERIOR WALL.

SCALE: NOT TO SCALE

PARTITION TYPES **3**

- ### SPECIFICATIONS
- DOOR SYSTEM SHALL BE N/S (NARROW STYLE) 1/2" TEMPERED CLEAR GLASS ENTRANCE DOOR. PROVIDE FULL WIDTH EXTRUDED ALUMINUM RAIL ACROSS TOP & BOTTOM AND VERTICALLY EXTRUDED ALUMINUM STYLE AT EACH DOOR EDGE. VERTICLE STILES SHALL BE PROVIDED WITH MANUFACTURER'S NEOPRENE WEATHER-STRIPPING. TEMPERED SAFTY GLASS SHALL COMPLY WITH ASTM C1048-909, KIND FT. (FULLY TEMPERED) CONDITION AS PER TYPE I AND SHALL ALSO COMPLY WITH SGGC 16CFR, 1201-11, AND ANSI Z97.1. PUSH/PULL HARDWARE SHALL BE 12" VERTICLE PULL X 32" HORIZONTAL PULL 1" DIAMETER. CLEAR ANODIZED ALUMINUM FINISH LOCKING DEVICE SHALL BE STANDARD BOTTOM RAIL LOCK ONE PER DOOR LEAF. HINGES SHALL BE ROTON (PIANO STYLE) AND CONCEALED OVERHEAD CLOSER. MANUFACTURED/SUPPLIED BY KAWNEER COMPANY 404-449-5555 OR A SUNOCO INC. APPROVED EQUAL.
  - ALUMINUM STOREFRONT SYSTEM SHALL BE A 451T FRONT SET SYSTEM WITH 1" CLEAR LOW E INSULATED GLAZING UNIT(S) (IG-1) SET IN EXTRUDED CLEAR ANODIZED ALUMINUM FRAMES AS INDICATED ON THE DRAWINGS. PROVIDE GUARDIAN SUNGLARD SUPERNEUTRAL 68 CLEAR ON CLEAR WITH COATING ON 2ND SURFACE OR EQUAL. ALL GLAZING AND FRAMES SHALL BE AS MANUFACTURED/SUPPLIED BY KAWNEER COMPANY'S 451T FRONT SET STORE FRONT SYSTEM 404-449-5555 OR A SUNOCO INC. APPROVED EQUAL.

MASONRY

- ALL CONCRETE, MASONRY UNITS MATERIALS AND ACCESSORIES SHALL CONFORM TO NCM STANDARDS.
- ALL EXTERIOR BLOCK SHALL BE SPLIT-FACE MASONRY UNLESS OTHERWISE NOTED. COLOR SHALL BE PER FINISH SCHEDULE
- PROVIDE SPRAY-ON WATERPROOFING ON ALL EXTERIOR MASONRY UNITS.
- PROVIDE FLASHING AT ALL OPENINGS AND PROVIDE SPLASH BLOCK FLASHING AT BASE COURSE.

4. DRYWALL/STUDS/ROUGH CARPENTRY
- A. MATERIALS TO BE AS FOLLOWS:
- GYPSUM WALL BOARD: 5/8" TH. W/ EASED EDGES
  - STEEL STUDS: 25 GA. 3 5/8" TH. AND 22 GA FOR 6" AND LARGER (AS NOTED)
  - WALL INSULATION: 2" RIGID FOIL BACK FIBERGLASS (UNLESS OTHERWISE NOTED) WITH 2" METAL Z FURRING TWO DIRECTIONS
- B. INSTALL STUDS PLUMB AND EVENLY SPACED, ATTACHING TO RUNNERS. PROVIDE METAL STRAPPING AT THE STUD WORK, AS REQUIRED FOR DOOR BUMPERS, ACCESSORIES, AND SHELING. SCREW ATTACH DRYWALL PARALLEL TO STUDS. FINISH WITH PREMIXED JOINT COMPOUND AND TAPE AT ALL JOINTS, CORNERS, ETC. USE FLUSH SPACKLED METAL CORNER AND EDGE BEADS. SEAL ALL PENETRATIONS AT ACOUSTICAL PARTITIONS. C. PROVIDE TREATED WOOD BLOCKING, BACKINGS, AND NAILERS, IN WALLS ON WHICH EQUIPMENT AND ACCESSORIES ARE TO BE MOUNTED. BOLT, NAIL, SCREW AND ATTACH SECURELY TO STUDS.

5. H.M. DOORS & FRAMES
- A. PROVIDED WELDED 1/8 GAUGE HOLLOW METAL FRAMES REINFORCED AND PREPARED FOR HARDWARE. ANCHOR TO WALLS AT A MINIMUM OF 3 POINTS PER JAMB. FILL FRAMES AT MASONRY WALLS SOLID WITH NON-SHRINK GROUT. EXTERIOR FRAMES TO BE GALVANIZED.
- B. DOORS TO BE 18 GAUGE GALVANIZED HOLLOW METAL INSULATED CORE, WITH CLOSED TOP AND BOTTOM RAILS AS MANUFACTURED BY REPUBLIC OR APPROVED EQUAL. HINGE AND STRIKE AREAS TO BE REINFORCED.
- FINISH HARDWARE
6. A. SUPPLY/INSTALL DOOR HARDWARE CONFORMING TO ANSI GRADE 1 STANDARDS. FINISHES TO BE DULL STAINLESS STEEL (BHMA 630) WHERE AVAILABLE, OR DULL CHROME (BHMA 626).
- SUBMIT HARDWARE SCHEDULE, WITH CATALOGUE CUTS, FOR REVIEW BY SUNOCO.

- SEALANTS
7. A. PROVIDE SEALANTS AT ALL JOINTS OF DISSIMILAR MATERIALS, INTERIOR & EXTERIOR, AT FLASHINGS AND TRIMS, ALONG ACOUSTIC AND FULL HEIGHT PARTITIONS, AND WHERE INDICATED ON THE DRAWINGS. SEAL ALL FLOOR OPENINGS.
- B. INTERIOR SEALANTS TO BE 1 PART PAINTABLE ACRYLIC LATEX, EXTERIOR TO BE SILICONE. GLASS SEALANTS SHALL BE BY THE GLAZING CONTRACTOR.
- C. PROVIDE FIRE RATED SEALANT SYSTEMS AT ALL UL LISTED ASSEMBLIES.
8. PAINTING
- PAINT ALL WALLS, DOORS, FRAMES, SURFACES EXPOSED TO NORMAL VIEW AND WHERE "PAINT, PAINTED, OR PTD" IS SHOWN ON THE DRAWINGS IN ACCORDANCE WITH SUNOCO STANDARD COLORS OR AS SPECIFIED.
  - CLEAN AND PREPARE SUBSTRATES, PRIME AND APPLY 2 FINISH COATS, ACCORDING TO MANUFACTURER'S INSTRUCTIONS. FINISH COAT TO BE SMOOTH AND FREE FROM RUNS, SAGS, DEFECTS AND UNIFORM IN SHEEN, COLOR AND TEXTURE.
  - PROTECT ALL ADJOINING SURFACES FROM PAINT, AND CLEAN OFF ANY EXCESS PAINT.
9. WINDOW FILM: (VK-70)
- SUPPLY/INSTALL WINDOW FILM ON ALL SOUTH FACING WINDOWS OR AS NOTED ON DRAWINGS.
  - CLEAN & PREPARE WINDOW PER MANUFACTURER'S SPECIFICATION.
  - FILM SPEC: VK-70 (FORMERLY SOLIS)
10. ROOFING: REFER TO SHEET A-2 FOR SPECIFICATIONS.

SCALE: 1/4" = 1'-0"

FLOOR PLAN **1**

- ### GENERAL NOTES
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH FEDERAL, STATE, AND LOCAL CODES AND GOOD CONSTRUCTION PRACTICES.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO COMMENCING ANY WORK AND SHALL NOTIFY THE OWNER AND ENGINEER IN WRITING IMMEDIATELY OF ANY VARIATION FROM THE PLAN THAT MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING, THE SAFETY OF THE OCCUPANTS OR THE COST OF THE PROPOSED WORK.
  - THE CONTRACTOR SHALL EXERCISE CAUTION REGARDING PUBLIC SAFETY DURING THE EXECUTION OF THE WORK, AND SHALL NOT IMPEDE THE SUNOCO'S OPERATION IN ANY WAY.
  - ACCESS TO SITE BY PERSONNEL, PARKING, MATERIAL STORAGE SHALL BE IN AREA'S AS DEFINED AND DESIGNATED BY THE FIELD ENGINEER.
  - THE CONTRACTOR IS TO MAINTAIN, CLEAN AND PROTECT ALL WORK DURING CONSTRUCTION AND PROMPTLY REMOVE ALL CONSTRUCTION DEBRIS FROM FROM SITE. ACCUMULATION OF TRASH/DEBRIS IS PROHIBITED. PROVIDE TRANSPORT AND LEGAL DISPOSAL OF ALL MATERIALS OFF SITE.
  - CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS ON SITE DURING CONSTRUCTION.
  - DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AND ANY OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT PERSONNEL AND THE GENERAL PUBLIC FROM INJURY.
  - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY HEAT AS REQUIRED TO PROTECT TEMPERATURE SENSITIVE WORK DURING CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY WEATHER PROTECTION AS REQUIRED TO INSURE THAT NO DAMAGE OCCURS TO THE STRUCTURE OR INTERIORS OF THE BUILDING AS THE RESULT OF WATER LEAKING OR BEING BLOWN INTO THE BUILDING.
  - TERMINATE FRP PANELS ABOVE FINISHED CEILINGS.
  - THE CONTRACTOR IS PERMITTED TO SUBMIT ALTERNATES WITH SUPPORTING INFORMATION FOR: MATERIAL SUBSTITUTIONS AND PRICE REDUCTIONS AS PART OF THE BID. THE ALTERNATES WILL BE CONSIDERED AND REVIEWED BY THE ARCHITECT AND OWNER, AND MUST BE APPROVED BY BOTH PARTIES BEFORE ACCEPTANCE.
  - ALL SPECIFICATIONS, NOTES AND DRAWINGS ARE INCLUSIVE, WHAT IS CALLED FOR BY ANY IS BINDING, AS IF CALLED FOR BY ALL. DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY. REVIEW LAYOUT WITH ARCHITECT PRIOR TO COMMENCING CONSTRUCTION.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, SEQUENCING WORK, TECHNIQUES, PROCEDURES, TEMPORARY PROTECTIONS, TEMPORARY STRUCTURE, AND PROPER SAFETY PRECAUTIONS.
  - THE CONTRACTORS SHALL CARRY LIABILITY INSURANCE, TEMS AND LIMITS AS DIRECTED BY OWNER, AND SHALL FURNISH THE CERTIFICATES OF INSURANCE, NAMING THE OWNER AS THE CERTIFICATE HOLDER, UPON BID ACCEPTANCE.
  - BY ACCEPTING THIS WORK, THE CONTRACTORS AGREE THAT THE OWNER, ARCHITECT, AND ENGINEERS SHALL BE HELD HARMLESS AND NOT LIABLE FOR ANY INJURIES OR PROPERTY DAMAGE RESULTING FROM ANY OF THE CONTRACTORS' OPERATION.
  - APPLY AND CONSTRUCT ALL BUILDING SYSTEMS AND MATERIALS ACCORDING TO EACH MANUFACTURER'S WRITTEN SPECIFICATIONS, RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.
  - SUSPENDED VINYL COATED GWB ACCOUSTIC CEILING.
  - POLISHED CONCRETE FLOORING
  - CERAMIC TILE
  - PAINT COLORS AND FINISHES
  - SPLIT-FACE BLOCK MASONRY
  - REFER TO THIS SHEET A-1 FOR ARCHITECTURAL SPECIFICATIONS.
  - REFER TO THIS SHEET A-1 FOR PARTITION TYPES, INCLUDING INFORMATION REGARDING FIRE RATINGS, SOUND RATINGS, CONSTRUCTION MATERIALS, AND DIMENSIONS.
  - REFER TO THE EXTERIOR ELEVATIONS ("A4" SERIES DRAWINGS) AND STRUCTURAL SPECS FOR CONTROL JOINT INFORMATION.
  - ALL DOORS AND WINDOWS ARE DIMENSIONED TO THE ROUGH OPENING. REFER TO "A7" SERIES DRAWINGS FOR ADDITIONAL INFORMATION REGARDING DOORS & WINDOWS.
  - INSTALL MOISTURE RESISTANT (M.R.) GYPSUM WALL BOARD BEHIND ALL PLUMBING FIXTURES AND 3'-0" BEYOND THE FIXTURE ON EITHER SIDE.
  - ALL ELECTRICAL ROOMS TO HAVE FIRE-RATED PLYWOOD
  - REFER TO STRUCTURAL DRAWINGS FOR LAYOUT AND DIMENSIONS OF COLUMN GRID; AND LOCATIONS AND DETAILS OF CONCRETE SLABS, FOUNDATIONS, FOOTINGS AND STEEL STRUCTURE.
  - ALL MASONRY WORK SHALL BE PERFORMED BY A QUALIFIED MASON IN ACCORDANCE WITH ACCEPTED MASONRY PRACTICES.
  - CONTRACTOR TO PROVIDE TEMPORARY SHORING AND BRACING FOR ALL NEW BEARING SUPPORT SYSTEMS AS FIELD CONDITIONS DICTATE.
  - ALL COUNTER-MOUNTED FOOD SERVICE EQUIPMENT WEIGHING IN EXCESS OF 80 POUNDS WILL BE MOUNTED ON NSF APPROVED FOUR INCH LEGS.
  - ALL EXPOSED RAW WOOD WILL BE SEALED.
  - ALL ANNUAL OPENINGS IN CONSTRUCTION WILL BE SEALED WITHIN 1/32".
  - ALL PAINTING WILL BE WITH LEAD-FREE, NON-METALLIC, EASILY CLEANABLE PAINT OR A HIGH QUALITY VARNISH.
  - THE CONTRACTOR SHALL WARRANT ALL WORK FOR ONE (1) YEAR AGAINST DEFECTS IN MATERIAL AND LABOR - UNLESS NOTED TO BE LONGER IN SPECIFICATIONS OR EXISTING MANUFACTURERS LONGER WARRANTIES EXIST. PROVIDE WRITTEN WARRANTIES AS PART OF THE PROJECT CLOSE OUT.

SCALE: NOT TO SCALE

GENERAL NOTES **2**

SCALE: NOT TO SCALE

SPECIFICATIONS **4**

prepared by:

**Bergmann Associates**  
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Bergmann Project No. 7530.00

REV. NO.	DATE	REVISIONS	DRAWN BY	CHECKED BY	APPROVED

**SUNOCO, INC.**  
Retail Engineering  
Exton, PA

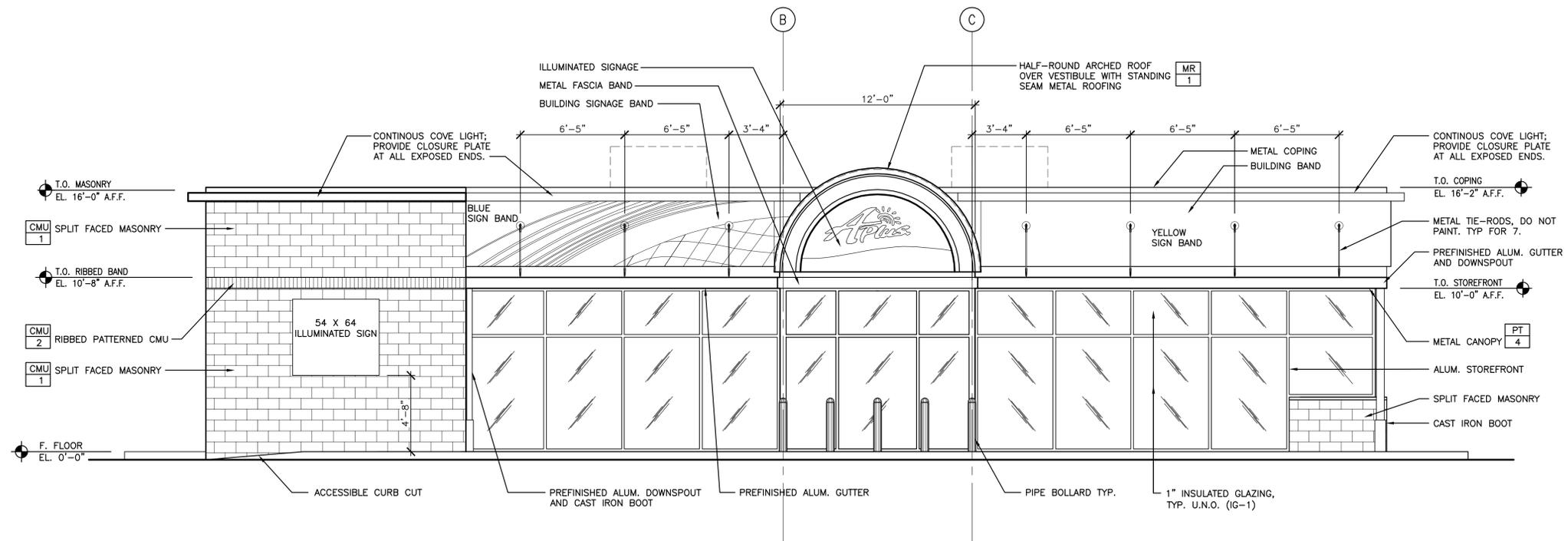
LOCATION: 1255 Arsenal Street  
Watertown, NY  
Jefferson County

PROJECT NO. E76021

**ARCHITECTURAL - FLOOR PLAN**

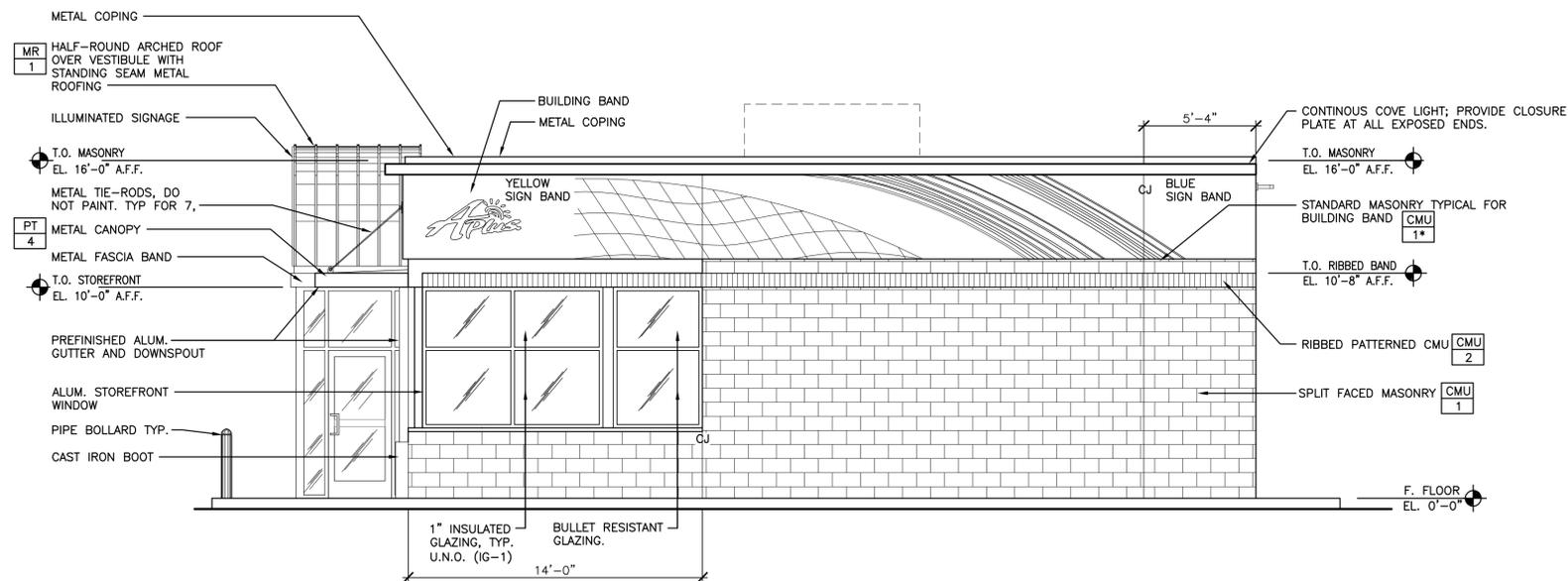
APPROVED	CKD	FACILITY NO.	DRAWING NO.	SCALE	AS NOTED
CHECKED	DRY	0363-9911	A-1		
DRAWN	PPH				
DATE	11/1/10				





SCALE:  
1/4" = 1'-0"

NORTH ELEVATION **1**



SCALE:  
1/4" = 1'-0"

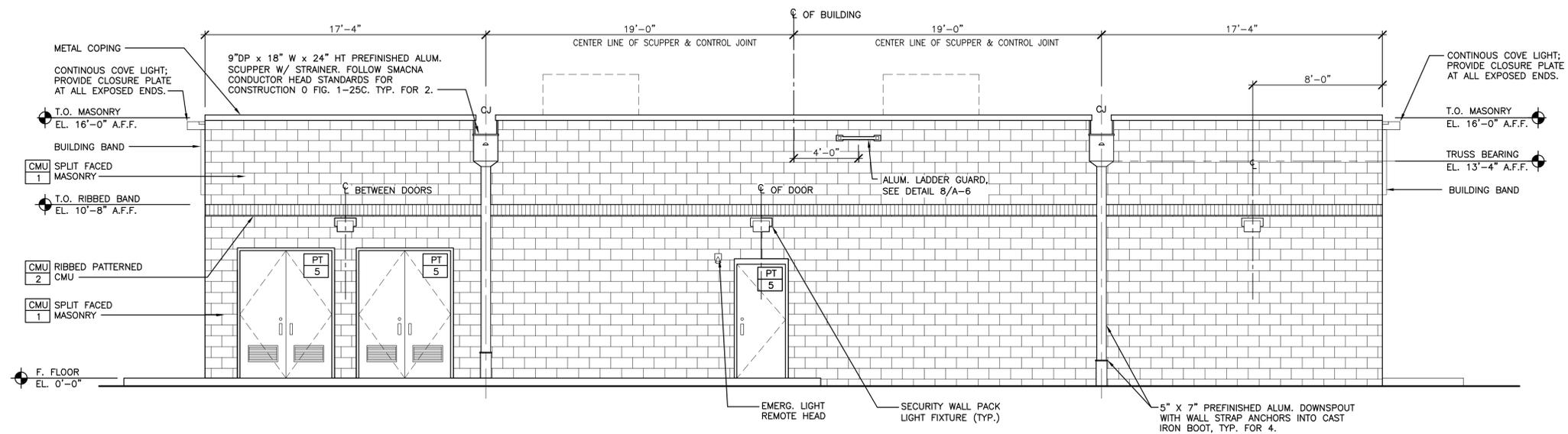
WEST ELEVATION **2**

prepared by:



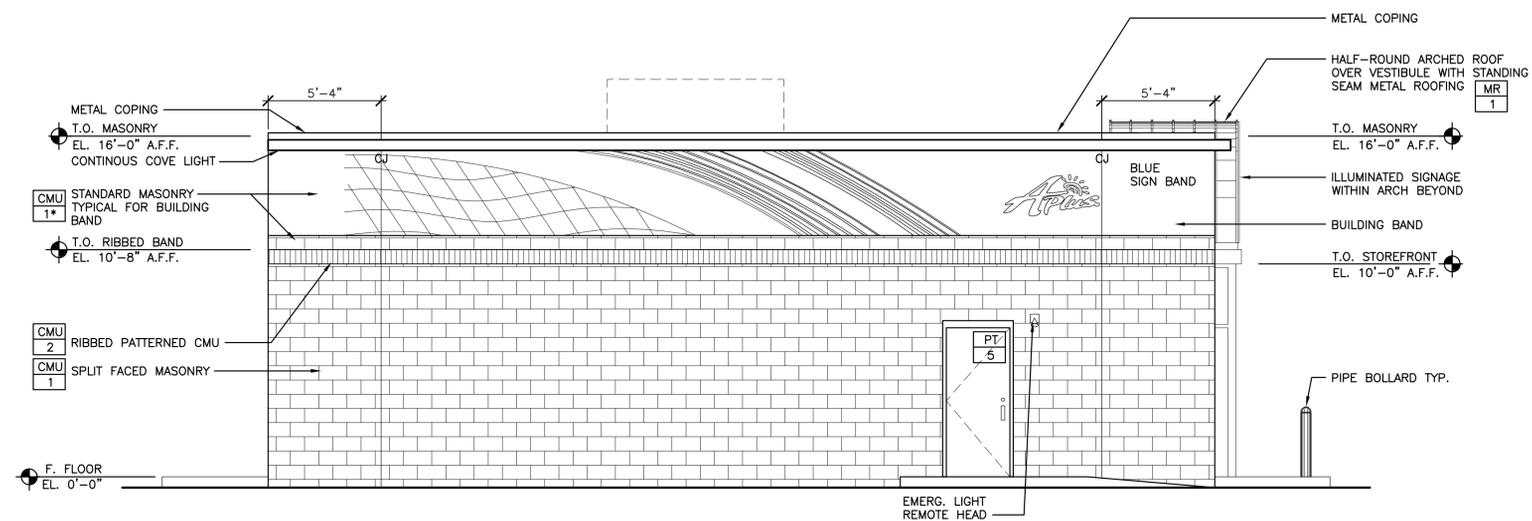
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<b>SUNOCO, INC.</b> <b>Retail Engineering</b> <b>Exton, PA</b>					
LOCATION: 1255 Arsenal Street Watertown, NY Jefferson County			PROJECT NO. E76021		
ARCHITECTURAL - BUILDING ELEVATIONS					
APPROVED	CKD	FACILITY NO.	DRAWING NO.	SCALE:	AS NOTED
CHECKED	DRV	0363-9911	A-4		0
DRAWN	PTH				
DATE	11/1/10				



SCALE:  
1/4" = 1'-0"

SOUTH ELEVATION **1**



SCALE:  
1/4" = 1'-0"

EAST ELEVATION **2**



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CHECKED	DRV	0363-9911	A-4.1		0
DRAWN	PTM				
DATE	11/1/10				