

LEGEND

- 5/8" REBAR WITH CAP SET
- LEGAL POINT
- IRON PIPE OR PIN FOUND (AS NOTED)
- PROPERTY LINE
- STREET MARGIN
- CENTERLINE OF ROAD
- CURB
- SETBACK LINE
- FENCELINE
- CONTOUR
- UTILITY POLE
- OVERHEAD UTILITY LINE
- CURB STOP
- WATER VALVE
- HYDRANT
- CATCH BASIN
- SANITARY SEWER MANHOLE
- CLEANOUT
- DECIDUOUS TREE
- CONIFEROUS TREE

STANDARD NOTES:
 1. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

2. Only boundary survey maps with the surveyor's embossed seal or red ink seal are genuine true and correct copies of the surveyor's original work and opinion.
3. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveyors adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
4. The certifications hereon are not transferable.
5. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments are not covered by this certificate.

GENERAL NOTES:
 1. The subject parcel is City of Watertown Assessment Department Tax Parcel No. 10-15-115.
 2. The subject parcel is zoned Limited Business (LB) per City of Watertown Zoning Reference Map.

Minimum Setback Requirements:
 Front Yard Setback = 20 feet
 Rear Yard Setback = 25 feet
 Side Yard Setback = 5 feet

Minimum Lot Dimensions:
 Width = N/A
 Area = 1,000 sq. feet

3. All adjoiners are per the City of Watertown Assessment Department.
4. Adjoining property lines should be considered approximate and are shown for reference only.
5. This survey was prepared without the benefit of an abstract of title and is subject to any modifications which may occur as a result of a complete title search.
6. The underground utilities and features shown hereon have been located from above ground visible features and other available records and therefore their location should be considered approximate only. Other underground utilities and features may exist, either in service or abandoned, that are not indicated on this survey. Dig Safety, New York (UFPD) should be contacted prior to performing any excavation activities.
7. The field survey was performed on August 30, 2011 and September 15, 2011.
8. Mullin Street is a public street of varying width.
9. The Horizontal Datum for this survey is based on NYS Central Zone NAD83(96) (North American Datum 1983/1996).
10. The Vertical Datum for this survey is based on the North American Vertical Datum of 1988 (NAVD88).

MAP REFERENCE:
 1. "Survey Map of the Land at 151 Mullin Street, City of Watertown, Co. of Jefferson, State of N.Y.," dated July 07, 1995 and prepared by Bernier, Carr & Associates, P.C.



522 Bradley Street
 Watertown, New York 13601

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The above Architect, Engineer or Land Surveyor states that to the best of his or her knowledge, information and belief, the plans and specifications are in accordance with applicable requirements of New York State. It is a violation of New York State Law for any person, unless acting under the direct supervision of a Registered Architect, Licensed Professional Engineer or Licensed Land Surveyor to alter this document in any way. If altered, such licensee shall file with or her seal and the notification "altered by" followed by his or signature, date and a specific description of the alteration.
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 AUBERTINE and CURRIER ARCHITECTS, ENGINEERS & LAND SURVEYORS, PLLC



SURVEY MAP of the LANDS of
CYNTHIA MORRISON FEARON
 151 MULLIN STREET
 CITY of WATERTOWN
 JEFFERSON COUNTY, NEW YORK

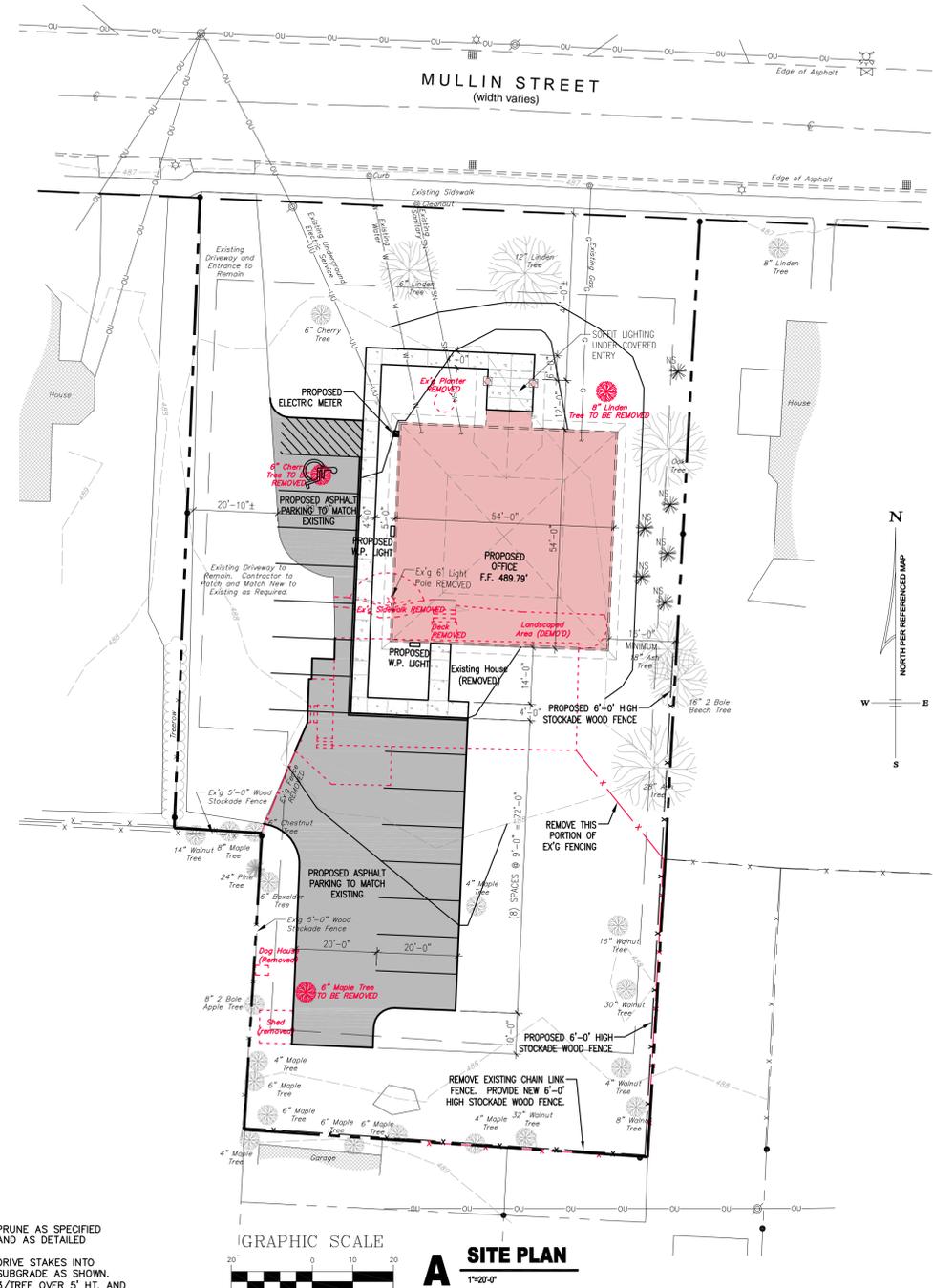
PROJECT NO:	2011-115-001
SCALE:	1" = 20'
DRAWN BY:	RES
CHECKED BY:	JU
ISSUE DATES:	September 16, 2011

V1

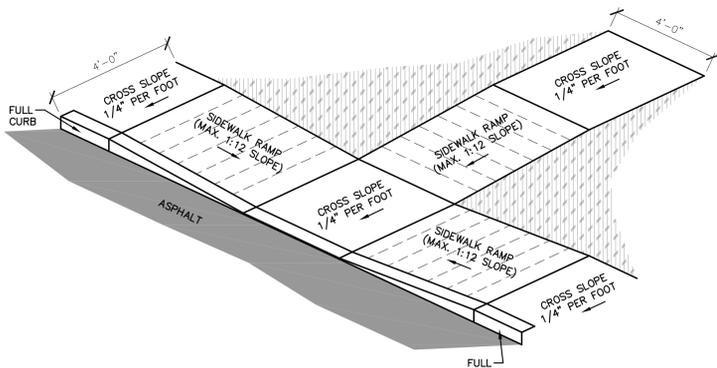
GENERAL NOTES

1. THE CONTRACTOR SHALL INSTALL ALL MATERIALS, PRODUCTS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND IN SATISFACTION OF THE NEW YORK STATE BUILDING CODE STANDARDS FOR PERFORMANCE OF WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND HIS AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM CONSTRUCTION RELATED INJURIES OR FAILURE TO MAINTAIN SAFE WORK CONDITIONS ON SITE.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY THE ARCHITECT IMMEDIATELY WITH ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN ACCURATE BENCHMARKS FOR LAYOUT OF ALL WORK.
4. THE CONTRACTOR & OWNER SHALL REVIEW AND BECOME FAMILIAR WITH ALL DRAWINGS PRIOR TO COMMENCEMENT OF WORK. ANY INCONSISTENCIES FOUND BETWEEN THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT. DO NOT PERFORM ANY WORK AFFECTED IN ANY MANNER BY THE INCONSISTENCIES UNTIL THE ARCHITECT HAS CLARIFIED THE INFORMATION.
5. THE CONTRACTOR SHALL REQUEST THE LOCATION AND STAKING OF ALL BURIED UTILITIES PRIOR TO EXCAVATION. CONTACT LOCAL UFPO.
6. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS.
7. THE CONTRACTOR SHALL MAINTAIN CLEAN AND SAFE WORKING CONDITIONS ON SITE.

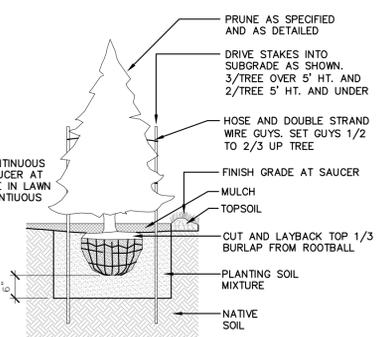
GENERAL INFORMATION		
Zoning	LIMITED BUSINESS	
Use	OFFICE SPACE	
No. of Stories	1	
Building Square Footage	1ST FLOOR - 2960 S.F.	
Lot Coverage Percentage For Bldg	11.30%	
Lot Coverage Percentage For Paving	29.41%	
Parking Space Dimensions	9' x 20'	
ITEM	REQUIRED	PROPOSED
Minimum Lot Area	1,000 S.F.	26,203 S.F.
Minimum Frontage	-	123'-6"
Minimum Front Setback	20'-0"	41'-0"
Minimum Rear Yard	25'-0"	123'-0" +/-
Minimum Side Yard	5'-0"	16'-0"
Maximum Building Height	-	26'-0"
No. of Parking Spaces	5 per 1,000 S.F. = (15)	15 (9' x 20')



GRAPHIC SCALE
A SITE PLAN
1" = 20'-0"
(IN FEET)
1 inch = 20 ft.



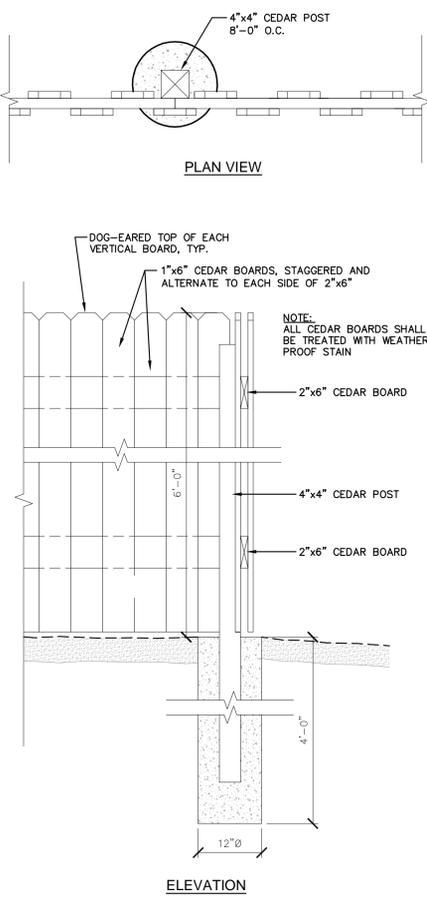
6 SIDEWALK RAMP DETAIL
NOT TO SCALE



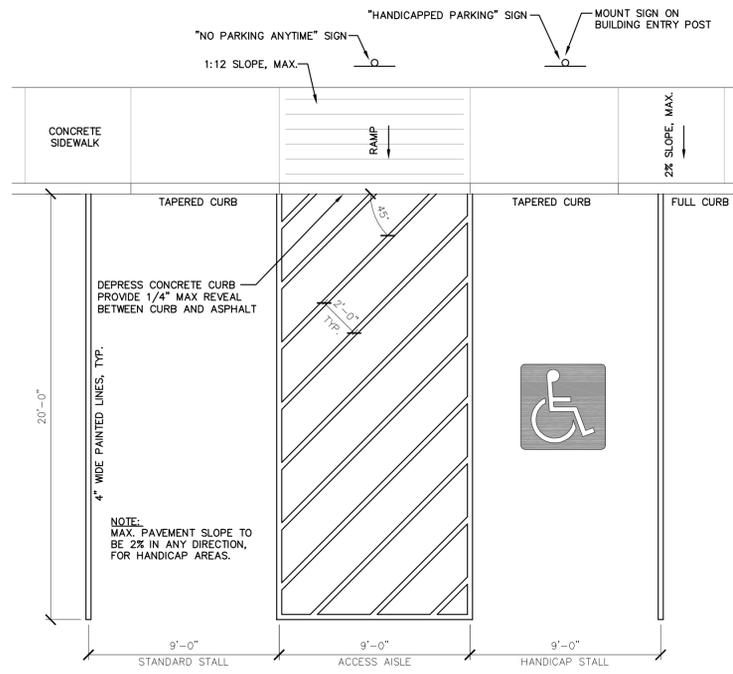
1 TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

PLANTING SCHEDULE				
RECOMMON NAME	ABBREVIATION	BOTANICAL NAME	SIZE	QUANTITY
NORWAY SPRUCE	NS	PICEA ABIES	6'-0"	6

- LANDSCAPING NOTE:**
1. PLANT SPECIES WERE SELECTED BASED ON ABILITY TO GROW IN EXISTING SOIL CONDITIONS. PLANT SPECIFIED WERE ALSO CHOSEN BASED ON SIZE, SHAPE, COLOR AND GROWTH HABIT. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT.
 2. ALL PLANTINGS SHALL ARRIVE ON-SITE BEARING THE ORIGINAL IDENTIFICATION TAGS SHOWING THEIR BOTANICAL NAME, COMMON NAME AND SIZE.
 3. ALL TREES SHALL HAVE A 4' DIA. SHREDDED HARDWOOD MULCH RING AROUND THE BASE OF THE TREE.
 4. ALL LANDSCAPED AREAS SHALL HAVE A WEED BARRIER FABRIC AND A MIN. OF 3" DEEP SHREDDED HARDWOOD MULCH.
 5. ALL PLANTINGS SHALL BE THOROUGHLY WATERED AT THE TIME OF PLANTING.

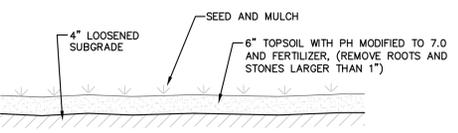


7 TYPICAL WOOD FENCE DETAIL
NOT TO SCALE

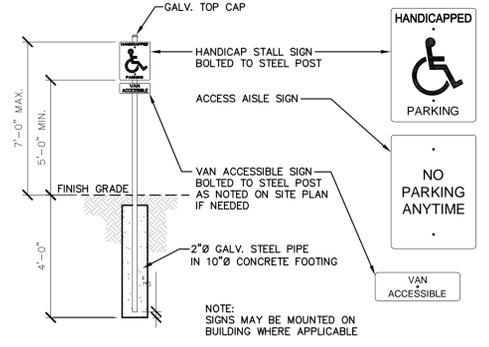


9 TYPICAL PARKING STALL MARKINGS DETAIL
NOT TO SCALE

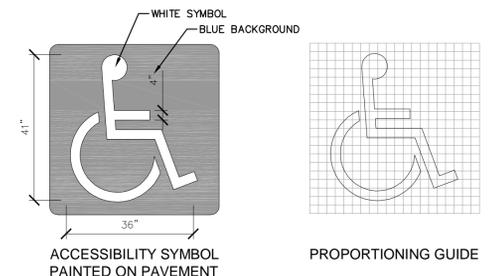
LEGEND	EXISTING	PROPOSED
5' CONTOUR	-155	155
1' CONTOUR	-154	154
PROPERTY LINE	---	---
RIGHT OF WAY	---	---
SETBACK	---	---
ZONING LINE	---	---
BUILDING	---	---
ASPHALT PAVEMENT	---	---
EDGE OF GRAVEL	---	---
CURB	---	---
SIDEWALK	---	---
TREE LINE	---	---
FENCE	---	---
STREAM/WATER	---	---
WATERLINE	W	W
SANITARY SEWER	SN	SN
SEWER FORCEMAIN	FM	FM
STORM SEWER	ST	ST
FOUNDATION DRAIN	FD	FD
OVERHEAD UTILITY	OU	OU
UNDERGROUND UTILITY	U	U
ELECTRIC	E	E
TELEPHONE	T	T
GAS	G	G
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
FIRE HYDRANT	⊙	⊙
WATER VALVE	⊙	⊙
CURB STOP	⊙	⊙
UTILITY POLE	⊙	⊙
ELECTRIC MANHOLE	⊙	⊙
TELEPHONE MANHOLE	⊙	⊙
GAS VALVE	⊙	⊙
LIGHT POLE	⊙	⊙
PERC TEST	⊙	⊙
TEST HOLE	⊙	⊙



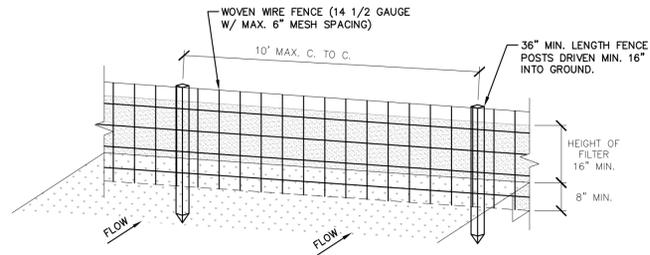
2 TYPICAL TOPSOIL REPLACEMENT DETAIL
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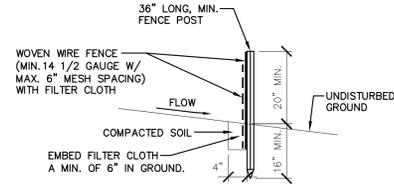
10 TYPICAL HANDICAP SIGN DETAIL
NOT TO SCALE



11 TYPICAL HANDICAP SYMBOL DETAIL
NOT TO SCALE



PERSPECTIVE VIEW

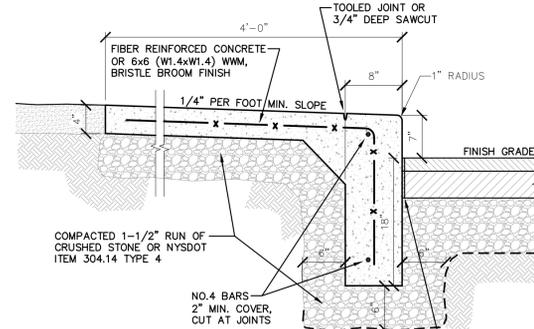


SECTION VIEW

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

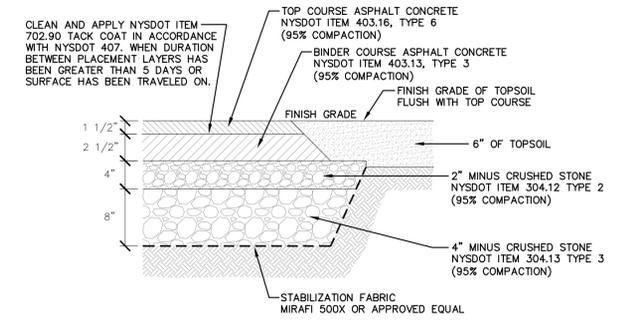
1 TYPICAL SILT FENCE DETAIL
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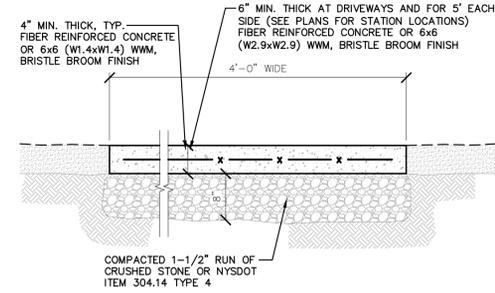
NOTES:

- CONCRETE WALK AND CURB EXPANSION JOINTS TO COINCIDE AT 20' O.C. MAX., CONTRACTION JOINTS TO BE SPACED EVENLY AT 5' O.C. MAX. BOTH DIRECTIONS.
- EXPANSION JOINTS TO BE 1/2" WIDE FILLED WITH PREMOLDED JOINT FILLER AND SEALANT CONFORMING TO ASTM D1752 TYPE II.

2 TYPICAL INTEGRAL CURB AND WALK DETAIL
NOT TO SCALE



5 TYPICAL ASPHALT PAVEMENT DETAIL
NOT TO SCALE



NOTES:

- CONCRETE WALK EXPANSION JOINTS TO COINCIDE AT 20' O.C. MAX., CONTRACTION JOINTS TO BE SPACED EVENLY AT 5' O.C. MAX. BOTH DIRECTIONS.
- EXPANSION JOINTS TO BE 1/2" WIDE FILLED WITH PREMOLDED JOINT FILLER AND SEALANT CONFORMING TO ASTM D1752 TYPE II.

7 TYPICAL CONCRETE WALK DETAIL
NOT TO SCALE



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MORGIA GROUP
NEW OFFICE BUILDING
151 MULLIN STREET
CITY OF WATERTOWN
JEFFERSON COUNTY, STATE OF NEW YORK

PROJECT NO: 2011-115

SCALE: AS NOTED

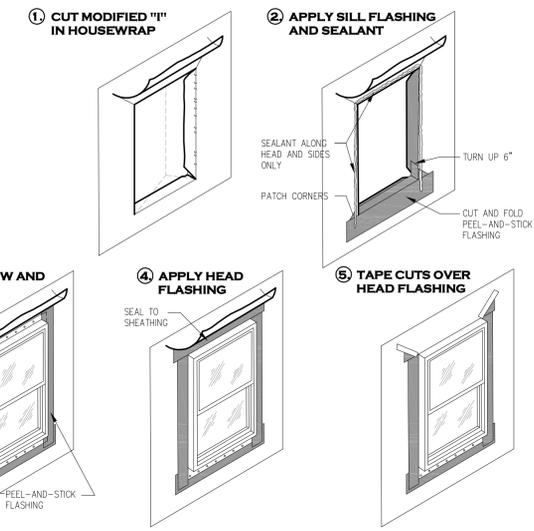
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CHECKED BY: PJC

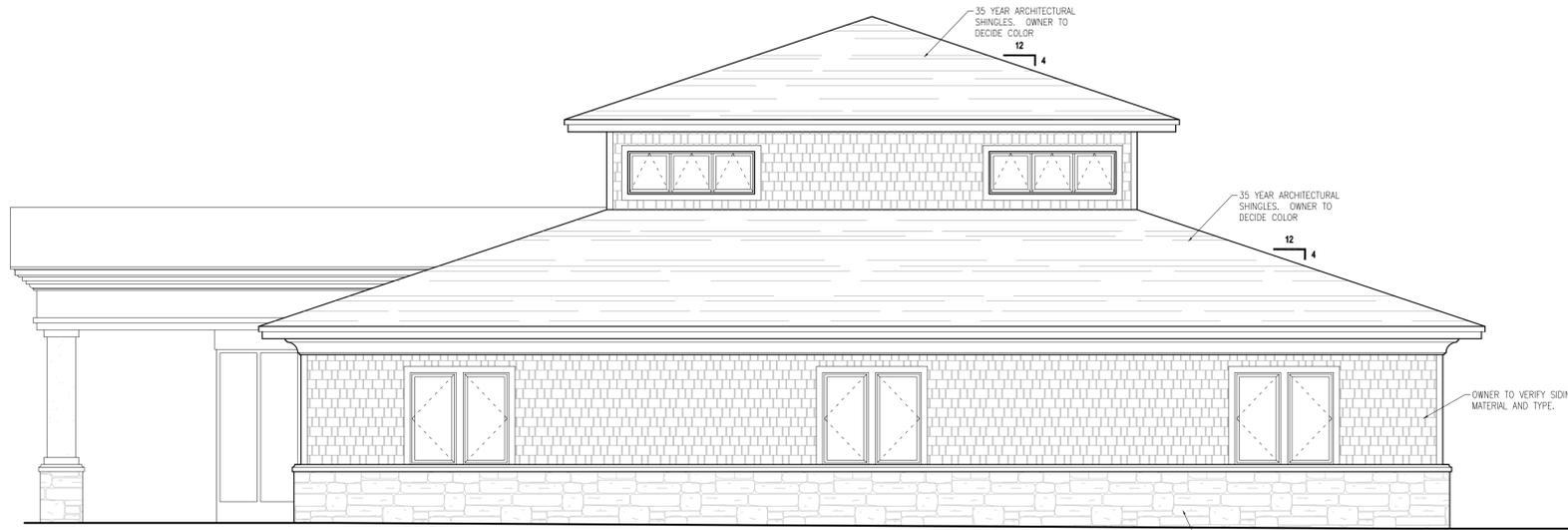
ISSUE DATES:
09-20-2011 PLANNING BOARD

SITE DETAILS

C101



WINDOW INSTALLATION



4 WEST ELEVATION
1/4"=1'-0"



3 SOUTH ELEVATION
1/4"=1'-0"



2 EAST ELEVATION
1/4"=1'-0"



1 NORTH ELEVATION
1/4"=1'-0"

PROGRESS PRINT
NOT FOR CONSTRUCTION