

**CITY OF WATERTOWN  
SITE PLAN APPLICATION  
AND  
SHORT ENVIRONMENTAL  
ASSESSMENT FORM, PART 1**

**\*\* Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in **not** making the agenda for the upcoming Planning Board meeting.**

**PROPERTY LOCATION**

Proposed Project Name: Sunoco  
Tax Parcel Number: 14-13-201.000  
Property Address: 1222 Washington Street  
Existing Zoning Classification: NB & Residence A

**OWNER OF PROPERTY**

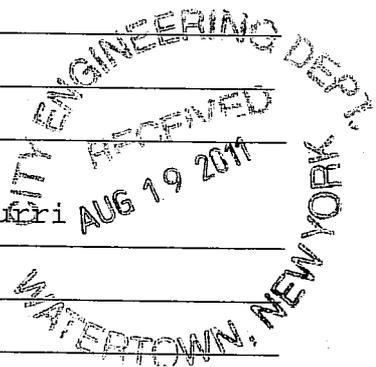
Name: Sunoco, Inc  
Address: 1840 Lyell Avenue  
Rochester, NY 14606  
Telephone Number: 585-254-8626  
Fax Number: \_\_\_\_\_

**APPLICANT**

Name: Sunoco, Inc. - Tom Boje  
Address: 1840 Lyell Avenue  
Rochester, NY 14606  
Telephone Number: 585-254-8626  
Fax Number: \_\_\_\_\_  
Email Address: tboje@sunocoinc.com

**ENGINEER/ARCHITECT/SURVEYOR**

Name: Bergmann Associates - Brian Burri  
Address: 28 East Main Street  
Rochester, NY 14614  
Telephone Number: 585-232-5135  
Fax Number: \_\_\_\_\_  
Email Address: bburri@bergmannpc.com



**Proposed Redevelopment  
of  
Sunoco/A-Plus  
1222 Washington Street  
City of Watertown, NY**

Prepared for:



Prepared by:



**200 First Federal Plaza  
28 East Main Street  
Rochester, NY 14614  
585-232-5135**

*DATE: August 15, 2011*

### **General Narrative:**

The proposed project is located at 1222 Washington Street in the City of Watertown at the northwest corner of the intersection of Elm Street and Washington Street. The 1.1 acre parcel is currently developed with a 1,560 +/- square foot convenience store, associated pavement, canopy, and four dual sided fueling dispensers. The site consists of approximately 0.59 ac of pervious surface and approximately 0.51 ac of impervious surface.

The proposed redevelopment will consist of removing the existing building and installing a new 2,400 square foot building which will be located west of the location of the existing building. In addition, store front parking spaces will be constructed to meet code, new building utility laterals will be installed, four new dual sided dispensers, and significant landscaped areas along the perimeter of the property. Upon completion of the redevelopment, the parcel will consist of approximately 0.58 ac of pervious surface and approximately 0.52 ac of impervious surface.

### **Stormwater:**

Currently stormwater runoff is directed in multiple directions. As shown on Figure 1, the site has three catch basins that collect a majority of the stormwater runoff. Area 1 which consists of approximately 0.22 ac +/-, discharges into the combined sewer system located in Elm Street. Areas 2 (0.02 ac +/-) and 3 (0.07 ac +/-) discharge into the storm sewer system in Washington Street.

The proposed redevelopment will utilize the same stormwater runoff patterns and will not increase the runoff to the three existing catch basins. The building roof laterals will discharge at the rear of the building onto splash blocks, similar to the current conditions.

There will be a slight net increase in impervious surface associated with the redevelopment, approximately 0.01 acre. Additionally the post-development runoff to the existing catch basins will remain the same as the current conditions. The existing catch basins will be cleaned of all debris at the completion of the project.

### **Sanitary:**

The new building will utilize the existing four inch (4") sanitary lateral. The proposed connection to the existing lateral will be within the site limits. Since this building is essentially the same size as the current building, this lateral will be adequate for the proposed redevelopment.



**Water:**

The existing building is service by a 2" copper line that connects to the main in Elm Street. The proposed building requires a 1½" service, which will connect to the existing service line at the southern property line.

**Traffic:**

The proposed redevelopment of this property is not likely to increase traffic as the site use is not changing. In addition, the building size is remaining the same as well as the total number of fueling dispensers, therefore, we are not anticipating any increase in traffic nor the need for mitigation.

**Lighting:**

A detailed lighting design has been performed for the new locations of the lightpoles. The design is such that no more than 0.5 foot-candles spill over the property line.

**Landscaping:**

The proposed re-development will provide landscaping as outlined in the City of Watertown requirements. Landscaping is being proposed around the perimeter of the property and consists of trees and shrubs. See Drawing L-1 for the complete layout.

**Schedule:**

Construction is scheduled to begin in the Spring of 2012 with an anticipated completion date of 90 to 100 days after the start of construction. The sequencing for construction will be to install fencing around the perimeter of the property, remove the existing building, dispensers and pavement and construct the new building and pavement areas.



Below is a chart indicating the pre and post development characteristics of the site:

Total property area = 1.1 ac

Total existing impervious area = 0.51 ac

Total proposed impervious area = 0.52 ac

Total percent post construction impervious area = 53%

Total percent post construction greenspace area = 47%

Pre-redevelopment CN = 82

Post-redevelopment CN = 83

Pre-redevelopment runoff (10 year storm event) = 1.65 in

Post-redevelopment runoff (10 year storm event) = 1.67 in

Total disturbed area = 0.5 ± ac



# APPENDIX



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# **STORMWATER CALCULATIONS**



## Worksheet 2: Runoff curve number and runoff

Project Name: Sunoco - Washington Street

By: BJB

Date: 7/20/2011

Location City of Watertown, NY

Chk By: \_\_\_\_\_

Date: \_\_\_\_\_

Condition (Current or Developed) Current Condition

### Runoff Curve Number (CN)

Soils Name and Hydrologic Group (Appendix A)	Cover Description (cover Type, Treatment and hydrologic condition; percent impervious; Unconnected/connected impervious area ratio)	Table 2	Fig. 2-3	Fig 2-4	Area (Circle One)	Product of CN x Area
					Acres Miles Sq. Percent	
	Grass - Fair Condition	69			0.59	40.71
	Impervious surfaces	98			0.51	49.98
		0			0	0
		0			0	0

Total      1.1      90.69

$$Cn \text{ (weighted)} = \frac{\text{Total Product}}{\text{Total Area}} = \frac{90.69}{1.1} = 82.44545 \approx \boxed{82}$$

### 2. Runoff

		Storm #1	Storm #2	Storm #2	Storm #2	Storm #3
Frequency	Yr	1	2	10	50	100
Rainfall, P (24 hour)	in	2.1	2.3	3.3	4.1	4.4
Runoff, Q	in	0.74	0.88	1.65	2.33	2.59

(Use P and CN with table 2-1 fig. 2-1 or eqs. 2-3 and 2-4.)

## Worksheet 2: Runoff curve number and runoff

Project Name: Sunoco - Washington Street

By: BJB

Date: 7/20/2011

Location City of Watertown, NY

Chk By: \_\_\_\_\_

Date: \_\_\_\_\_

Condition (Current or Developed) \_\_\_\_\_ Proposed Condition

### Runoff Curve Number (CN)

Soils Name and Hydrologic Group (Appendix A)	Cover Description (cover Type, Treatment and hydrologic condition; percent impervious; Unconnected/connected impervious area ratio)	Table 2	Fig. 2-3	Fig 2-4	Area (Circle One) <b>Acres</b> Miles Sq. Percent	Product of CN x Area
	Grass - Fair Condition	69			0.58	40.02
	Impervious surfaces	98			0.52	50.96
		0			0	0
		0			0	0
Total					1.1	90.98

$$Cn \text{ (weighted)} = \frac{\text{Total Product}}{\text{Total Area}} = \frac{90.98}{1.1} = 82.70909 \approx \boxed{83}$$

### 2. Runoff

		Storm #1	Storm #2	Storm #2	Storm #2	Storm #3
Frequency	Yr	1	2	10	50	100
Rainfall, P (24 hour)	in	2.1	2.3	3.3	4.1	4.4
Runoff, Q	in	0.75	0.89	1.67	2.35	2.61

(Use P and CN with table 2-1 fig. 2-1 or eqs. 2-3 and 2-4.)

# **FIGURES**



AREA 1 = 0.22 AC, I = 0.9  
 AREA 2 = 0.02 AC, I = 0.9  
 AREA 3 = 0.07 AC, I = 0.9

REFERENCES:  
 1. EXISTING CONDITIONS AND DEMOLITION PLAN, (PROJ. #55023), DRAWING NO. DM-1, DATED 2-10-95.

NOTES:  
 1. BOUNDARY SURVEY WAS NOT PERFORMED AS PART OF THIS SURVEY. PROPERTY LINES AS SHOWN ARE APPROXIMATE.  
 2. THE UTILITIES SHOWN HEREON ARE BASED ON AN INSTRUMENT LOCATION OF THE ABOVE GROUND FEATURES (MANHOLES, VALVES, HYDRANTS, ETC.). THE UNDERGROUND UTILITIES (WATER LINES, GAS LINES, ETC.) ARE BASED ON THE ABOVE GROUND FEATURES AND RECORD MAPPING. UNDERGROUND UTILITIES ARE NOT CERTIFIED TO THEIR LOCATION OR COMPLETENESS.



SITE LOCATION MAP  
 NOT TO SCALE

LEGEND

- BOLLARD/POST
- CABLE JUNCTION BOX
- CONIFEROUS BUSH
- CONIFEROUS TREE
- DECIDUOUS BUSH
- DECIDUOUS TREE
- ⊕ DRILL HOLE
- ⊞ ELECTRICAL PULL BOX
- ⊞ ELECTRIC METER
- ⊞ GAS METER
- ⊞ LIGHTPOLE (ONE HEAD)
- ⊞ MONITORING WELL
- ONE POST SIGN
- PIPE (FOUND)
- TWO POST SIGN
- UTILITY POLE
- ⊞ CATCH BASIN
- ⊞ DRAINAGE MANHOLE
- ⊞ ELECTRIC MANHOLE
- ⊞ CLAY WIRE
- ⊞ HYDRANT
- ⊞ SANITARY MANHOLE
- VENT PIPE
- ⊞ WATER VALVE
- OH — OVERHEAD ELECTRIC
- UE — UNDERGROUND ELECTRIC
- X — CHAINLINK FENCE
- □ — GUIDEWALL
- G — UNDERGROUND GAS LINE
- — PARCEL BOUNDARY
- — ADJOINING PARCEL BOUNDARY
- SAN — SANITARY SEWER LINE
- ST — STORM/DRAINAGE LINE
- UT — UNDERGROUND TELEPHONE
- — MAJOR CONTOUR (5' INTERVAL)
- — MINOR CONTOUR (1' INTERVAL)
- W — UNDERGROUND WATER LINE



**Bergmann**  
 associates

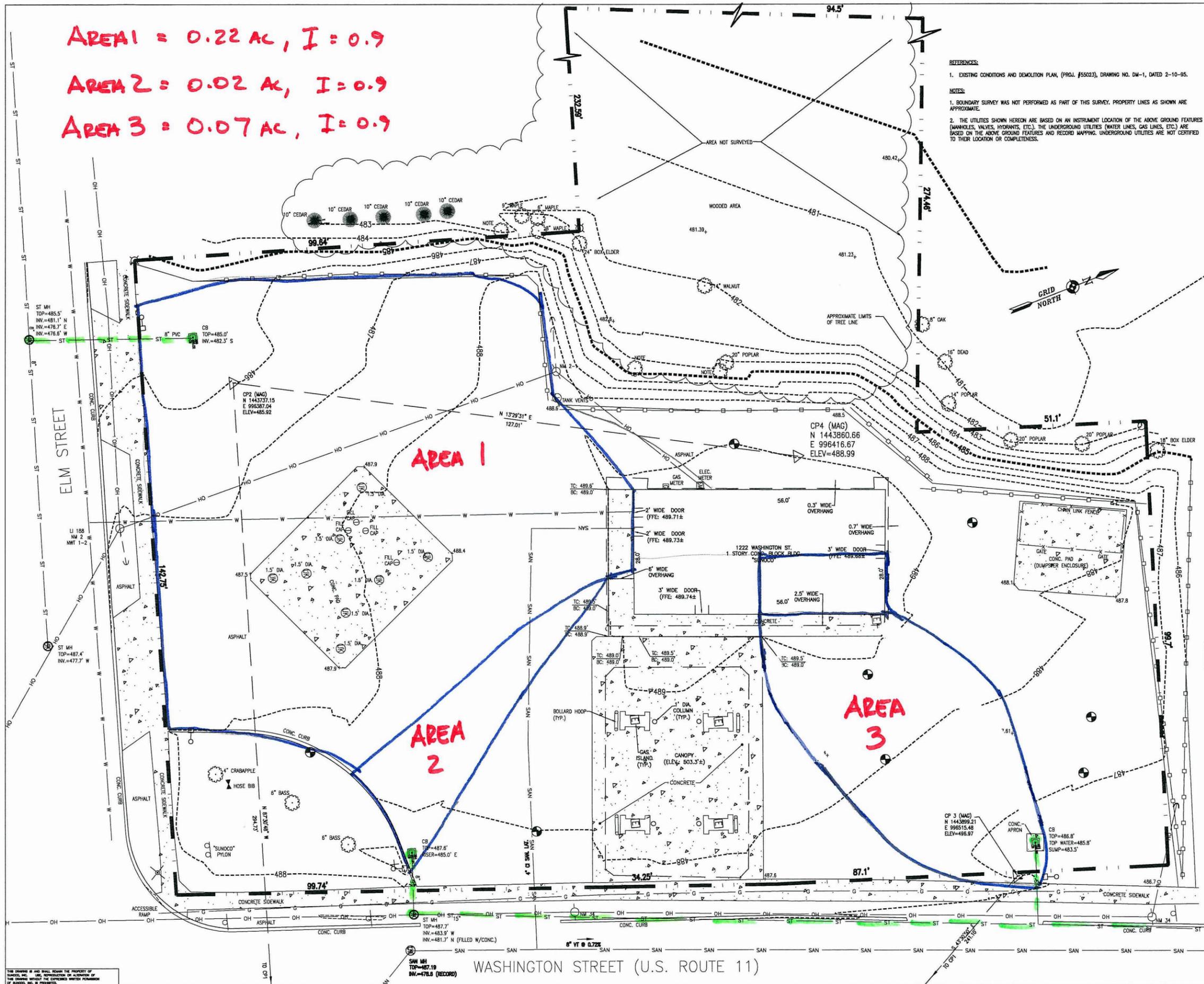
www.bergmannpc.com  
 28 East Main Street  
 200 First Federal Plaza  
 Rochester, New York 14614  
 585.232.5135 / 585.232.4652 fax

DA-1  
 FIGURE 1

Engineers / Architects / Planners / Surveyors

KEVIN M. SULLIVAN DATE  
 L.S. No. 49963

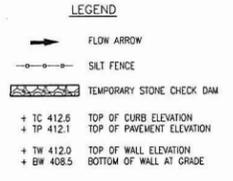
REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D. BY	APP'D.
<b>SUNOCO, INC.</b> <b>Retail Engineering</b> <b>Exton, PA</b>					
LOCATION: 1222 Washington Street Watertown, NY Jefferson County			PROJECT NO.		
EXISTING CONDITIONS					
APPROVED: K. Sullivan		FACILITY NO. 0364-0117		DRAWING NO. SV-1	
CHECKED: T. Balt		SCALE 1" = 10'-0"		REV. NO. 0	
DATE: 9/22/10		8" VT @ 0.725"			



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Area 1 = 0.20 ac, I = 0.9  
 Area 2 = 0.02 ac, I = 0.9  
 Area 3 = 0.07 ac, I = 0.9

- GRADING NOTES:**
1. REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 6" DEPTH. ALL DISTURBED AREAS TO BE HYDROSEED AS DIRECTED BY THE CONSTRUCTION MANAGER.
  2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS, CHECK DAMS, FILTER BAGS AND SILT FENCE. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE VEGETATION HAS OCCURRED COMPLETELY.
  3. ALL SILT FENCE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR IMPERFORABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
  5. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, HEALTH DEPARTMENT, AND THE CITY OF WATERTOWN REQUIREMENTS.
  6. ALL INLETS TO THE STORM SEWER SHALL HAVE STONE DROP INLET PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE BEST MANAGEMENT PRACTICES (BMP'S) UNTIL GROUND COVER IS ESTABLISHED.
  7. SILT FENCE, JUTE MESH, AND/OR EROSION CONTROL BLANKETS WILL BE USED ON STEEP SLOPES AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER OR SPECIFIED ON PLANS.
  8. THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
  9. ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH OR TEMPORARY SEEDING WITHIN 2 WEEKS OF DISTURBANCE.



- EROSION CONTROL NOTES:**
1. ALL SITE WORK SHALL CONFORM TO THE CLEARING, STRIPPING AND EROSION CONTROL REQUIREMENTS OF THE NYSDEC AND THE CITY OF WATERTOWN.
  2. CONTRACTOR TO PROVIDE, INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION. EROSION CONTROL DEVICES TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK.
  3. DISTURBED AREAS SHALL BE AS SMALL AS PRACTICAL, AND SHALL BE RESTORED, IMPROVED OR TEMPORARILY STABILIZED AS SOON AS POSSIBLE.
  4. CONTRACTOR SHALL TAKE THE NECESSARY MEASURES, INCLUDING WATER SPRINKLING, TO PROVIDE DUST CONTROL DURING CONSTRUCTION.
  5. CONTRACTOR SHALL PREVENT SEDIMENTS FROM ENTERING UTILITIES. ALL MANHOLES, CURB INLETS, FIELD INLETS, END SECTIONS OR OTHER SIMILAR DRAINAGE INLET STRUCTURES SHALL BE PROTECTED FROM SILTATION BY INSTALLING FILTER FABRIC AND/OR CRUSHED STONE.
  6. SILT FENCE SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY GRADING WORK ALONG THE LIMITS OF DISTURBANCE AND SHALL BE MAINTAINED FOR THE DURATION OF THE WORK. NO SEDIMENT FROM THE SITE SHALL BE PERMITTED TO WASH OFF-SITE.

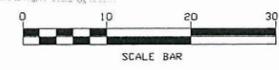
- SEQUENCE OF CONSTRUCTION:**
- A. PRE-CONSTRUCTION MEETING HELD BY PROJECT MANAGER AND THE OPERATOR'S ENGINEER PRIOR TO LAND DISTURBING ACTIVITIES.
  - B. CLEARLY IDENTIFY PROJECT WORK LIMITS IDENTIFYING ALL AREAS WHERE CONSTRUCTION DISTURBANCE SHALL NOT BE PERMITTED INCLUDING, BUT NOT LIMITED TO, BUFFER AREAS, WETLANDS, SELECT TREES AND ADJOINING PROPERTIES.
  - C. INSTALL TREE PROTECTION AND PERIMETER EROSION CONTROL MEASURES. CONSTRUCT TEMPORARY EARTHEN BERM, SEDIMENT TRAP, SEDIMENT CONTROL CHECK DAMS AND ASSOCIATED EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY TO DIVERT RUNOFF FROM ENTERING AREAS OF PLAN.
  - D. ESTABLISH EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCING EARTHWORK OPERATIONS.
  - E. REMOVE AND DISPOSE OF ALL REMOVED VEGETATION OFF-SITE OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
  - F. STRIP AND STOCKPILE TOPSOIL FROM STRUCTURAL, FILL AND CUT AREAS (STOCKPILE LOCATIONS AS DIRECTED BY OWNER'S REPRESENTATIVE).
  - G. ESTABLISH MASS GRADE ELEVATIONS.
  - H. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS WELL AS STOCK PILES ARE TO BE MULCHED AND SEED FOR TEMPORARY VEGETATIVE COVER IMMEDIATELY FOLLOWING GRADING.
  - I. CONSTRUCT STORM WATER MANAGEMENT FEATURES.
  - J. CONSTRUCT UTILITIES AND INFRASTRUCTURE IMPROVEMENTS.
  - K. FINE GRADE AND SPREAD TOPSOIL, INSTALL LANDSCAPING, SITE AMENITIES AND PERMANENT SEEDING.
  - L. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL FEATURES UPON ESTABLISHMENT OF PERMANENT GROUND COVER.
  - M. NOTIFY OWNER'S REPRESENTATIVE OF COMPLETION OF FINAL SITE STABILIZATION.
- THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS AND THE CONTRACTOR WILL HAVE THE OPPORTUNITY TO VARY FROM THE SCHEDULE AS NECESSARY. ARRANGEMENT OF THESE ACTIVITIES ANOTHER WAY MAY BE REQUIRED TO MAINTAIN SATISFACTORY EROSION AND SEDIMENT CONTROL.

**Bergmann associates**  
**DA-2**  
 www.bergmannpc.com  
 28 East Main Street  
 200 First Federal Plaza  
 Rochester, New York 14614  
 585.232.5135 / 585.232.4652 fax  
 Engineers / Architects / Planners / Surveyors

REV. NO.	DATE	REVISIONS	DATE	CHK'D. BY	APP'D. BY
<b>SUNOCO, INC.</b> <b>Retail Engineering</b> <b>Exton, PA</b>					
LOCATION: 1222 Washington Street Watertown, NY Jefferson County				PROJECT NO.	
<b>GRADING/EROSION CONTROL PLAN</b>					
APPROVED:		FACILITY NO.		DRAWING NO.	
CHECKED: B. Burr		0364-0117		G-1	
DRAWN: T. Bor		SCALE: 1" = 10'-0"		REV. NO.	
DATE: 8/17/11		0		0	

WASHINGTON STREET (U.S. ROUTE 11)

NOT APPROVED:  
 THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL RELEVANT AGENCIES. THIS PLAN IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.



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**PROJECT DESCRIPTION**

Describe project and proposed use briefly:

Remove existing building and fueling dispensers.

Construct new 3,540 +/- square foot building with  
a partial basement for storage. Also installing  
new fueling dispensers as replacements and a new  
12000 gallon UST Providing new landscaped areas.

Is proposed Action:

New       Expansion       Modification/Alteration

Amount of Land Affected:

Initially: 0.5 Acres      Ultimately: 0.5 Acres

Will proposed action comply with existing zoning or other existing land use restrictions?

Yes       No      If no, describe briefly

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What is present land use in vicinity of project?

Residential       Industrial       Commercial       Agriculture  
 Park/Forest/Open Space       Other

Describe: \_\_\_\_\_

Does project involve a permit approval, or funding, now or ultimately from any other Governmental Agency (Federal, State or Local)?

Yes       No      If yes, list agency(s) and permit/approval(s)

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Does any aspect of the project have a currently valid permit or approval?

Yes       No      If yes, list agency(s) and permit/approval(s)

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As a result of proposed project, will existing permit/approval require modification?

Yes  No

Proposed number of housing units (if applicable): n/a

Proposed building area: 1<sup>st</sup> Floor 2680 Sq. Ft.  
Basement 860 Sq. Ft.  
3<sup>rd</sup> Floor \_\_\_\_\_ Sq. Ft.  
Total 3540 Sq. Ft.

Area of building to be used for the boiler room, heat facilities, utility facilities  
and storage: 1140 +/- Sq. Ft.

Number of parking spaces proposed: 13 + 8 at dispensers = 21

Construction Schedule: Construction to begin in the  
Spring of 2012 and should last approx. 100 days.

Hours of Operation: 24

Volume of traffic to be generated: an increase in traffic will  
not be generated ADT

**GENERAL INFORMATION**

ALL ITEMS ARE STAMPED & SIGNED WITH AN ORIGINAL SIGNATURE BY A PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR SURVEYOR LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK.

If required, a copy of the Stormwater Pollution Prevention Plan (SWPPP) submitted to the NYSDEC will also be sent to the City of Watertown Engineering Department.

If required, a copy of all submittals sent to the New York State Department of Environmental Conservation (NYSDEC) for the sanitary sewer extension permit will also be sent to the City of Watertown Engineering Department

If required, a copy of all submittals sent to the New York State Department of Health (NYSDOH) will also be sent to the City of Watertown Engineering Department.

Signage will not be approved as part of this submission. It requires a sign permit from the Codes Department. See Section 310-52.2 of the Zoning Ordinance.

Plans have been collated and properly folded.

Explanation for any item not checked in the Site Plan Checklist.

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Completed SEQR Short Environmental Assessment Form Part I.  
\*A copy of the SEQR Form can be obtained from the City of Watertown website.

**SIGNATURE**

I certify that the information provided above is true to the best of my knowledge.

Applicant (please print) Sunoco - Tom Boje

Applicant Signature Thomas C. Boje Date: 2/16/11