

*Design. Build.*

July 23, 2012

Kurt W. Hauk, P.E.  
City Engineer  
Room 305  
245 Washington Street  
Watertown, NY 13601

**RE: North Country Neurology Expansion**

Dear Mr. Hauk,

Enclosed you will find a Site Plan Application package for the expansion of the existing North Country Neurology facility.

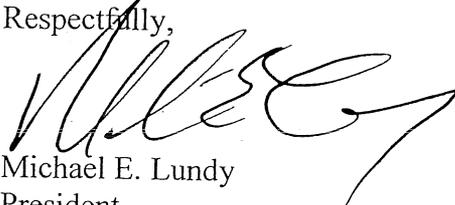
North Country Neurology has contracted with LUNCO Corporation for a 6,000 square foot addition. Of this addition, 4,000 square feet will be used as additional clinical and administrative space and the hours of operation will remain unchanged. The remaining 2,000 square feet will be utilized as a sleep lab. The sleep lab will be open 3-5 nights per week to provide overnight testing for up to 4 patients and 1 staff member.

We have retained Steve Olmstead, P.E. from Wilbur D. Thesier Professional Engineering for Site Civil approvals, as well as Project Engineering and Architecture.

All utilities are already in place and will only require minor modifications for this project. We have no plans for any additional signage. If it is desired, North Country Neurology will apply to the City accordingly.

I look forward to your favorable response. Please do not hesitate to call should you have any additional questions or concerns.

Respectfully,

  
Michael E. Lundy  
President



CC: Ken Mix, City Planner



**CITY OF WATERTOWN  
SITE PLAN APPLICATION  
AND  
SHORT ENVIRONMENTAL  
ASSESSMENT FORM, PART 1**

**\*\* Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in **not** making the agenda for the upcoming Planning Board meeting.**

**PROPERTY LOCATION**

Proposed Project Name: New Addition to North Country Neurology

Tax Parcel Number: 14-21-102.00

Property Address: 1340 Washington Street

Existing Zoning Classification: LB

**OWNER OF PROPERTY**

Name: Zahida & Abdul Latif

Address: 16288 Deer Run Road  
Watertown, NY 13601

Telephone Number: 315-482-9003

Fax Number: 315-782-9010

**APPLICANT**

Name: LUNCO Corporation

Address: 35794 NYS Route 126  
Carthage, NY 13619

Telephone Number: 315-493-2493

Fax Number: 315-493-2004

Email Address: mlundy@mlundygroup.com

**ENGINEER/ARCHITECT/SURVEYOR**

Name: Wilbur D. Thesier, PE PC (Steven J. Olmstead, PE)

Address: PO Box 870  
Carthage, NY 13619

Telephone Number: 315-493-1966

Fax Number: 315-493-0541

Email Address: solmste@twcnny.rr.com

**PROJECT DESCRIPTION**

Describe project and proposed use briefly:

Project will include combining existing 0.57 acre parcel with adjacent  
0.275 acre parcel, construction of 6,000 Sq. Ft. addition to the existing  
building, new parking, site lighting, landscaping, and utility connections

Is proposed Action:

New       Expansion       Modification/Alteration

Amount of Land Affected:

Initially: 0.845 Acres      Ultimately: 0.845 Acres

Will proposed action comply with existing zoning or other existing land use restrictions?

Yes       No      If no, describe briefly

What is present land use in vicinity of project?

Residential       Industrial       Commercial       Agriculture  
 Park/Forest/Open Space       Other

Describe: \_\_\_\_\_

Does project involve a permit approval, or funding, now or ultimately from any other Governmental Agency (Federal, State or Local)?

Yes       No      If yes, list agency(s) and permit/approval(s)  
City of Watertown - Site Plan Approval; NYS Building Permit

Does any aspect of the project have a currently valid permit or approval?

Yes       No      If yes, list agency(s) and permit/approval(s)  
Existing has site plan approval; Certificate of Occupancy

As a result of proposed project, will existing permit/approval require modification?

Yes       No

Proposed number of housing units (if applicable): NA

Proposed building area: 1<sup>st</sup> Floor 6000 Sq. Ft.  
2<sup>nd</sup> Floor \_\_\_\_\_ Sq. Ft.  
3<sup>rd</sup> Floor \_\_\_\_\_ Sq. Ft.  
Total \_\_\_\_\_ Sq. Ft.

Area of building to be used for the boiler room, heat facilities, utility facilities  
and storage: 500 \_\_\_\_\_ Sq. Ft.

Sleep Lab (overnight parking) 2,000 Sq. Ft.

Number of parking spaces proposed: 38

Construction Schedule: September 2012 - May 2013

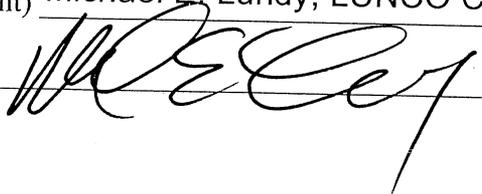
Hours of Operation: 8:00am - 4:30pm

Volume of traffic to be generated: 100 \_\_\_\_\_ ADT

**SIGNATURE**

I certify that the information provided above is true to the best of my knowledge.

Applicant (please print) Michael E. Lundy, LUNCO Corporation

Applicant Signature  Date: 7/23/12

**WILBUR D. THESIER, PE PC  
PROFESSIONAL ENGINEERS**

P.O. BOX 870  
CARTHAGE, NY 13619  
PHONE 315 493-1966  
FAX 315 493-0541  
email: [wthesier@verizon.net](mailto:wthesier@verizon.net)  
[solmste@twcny.rr.com](mailto:solmste@twcny.rr.com)

**ENGINEERING REPORT  
FOR  
NEW ADDITION TO NORTH COUNTRY NEUROLOGY  
1340 WASHINGTON STREET,  
WATERTOWN, NY**

**JULY 23, 2012**



### Project Description

The proposed project consists of a 60' X 100' addition to the existing building at 1340 Washington Street, as shown on the site plan (Sheet C101). The exterior elevations (Sheet A201) show that the addition will match the existing building in height and style. Detailed plans for the building construction are being developed, and will be submitted separately to City Codes Enforcement.

The adjacent parcel of land to the south will be joined with this existing parcel. The existing house and garage will be removed, and the existing driveway and curb cut will be abandoned.

### Parking

Parking presently located to the south of the existing commercial building will be removed for the building expansion, and new parking will be constructed along the west side of the building and the addition. A total of 38 parking spaces will be provided. Note that  $\pm 2,000$  sf of the building will be a Sleep Lab which will only be used at night, and this area has been deducted from the area used to calculate the required parking spaces:

Total Building Square Footage:	9,960 sf
Area of storage, utilities, boiler room:	500 sf
Area of Sleep Lab	2,000 sf
Total Square Footage for Parking Calculations:	7,460 sf

At 7,460 sf, parking required =  $7,460 \text{ sf} / 1,000 \times 5 = 38$

### Water and Wastewater

The water and wastewater flows from the existing building are estimated at 400 gpd, and the flows from the proposed addition are estimated at 600 gpd.

### Storm Water

The new building addition and parking will have an area of approximately 10,200 square feet. In the areas of this new construction there is approximately 5,400 square feet of existing parking, roof area and driveway. The net increase in impermeable area is 4,800 square feet, which will result in a minimal increase in storm water runoff. Storm water will be directed to a drainage swale along the west side of the property, which will connect to the existing drainage swale and catch basin.

### Landscaping

To match existing landscaping

### Traffic

The number of vehicle trips per day from the existing facility estimated at 70. It is estimated that the total number of trips per day from the expanded facility will be 100, which is a minimal increase. In addition, a portion of the traffic from the addition will be associated with the Sleep Lab and will occur after normal business hours.

### Lighting

To match existing lighting

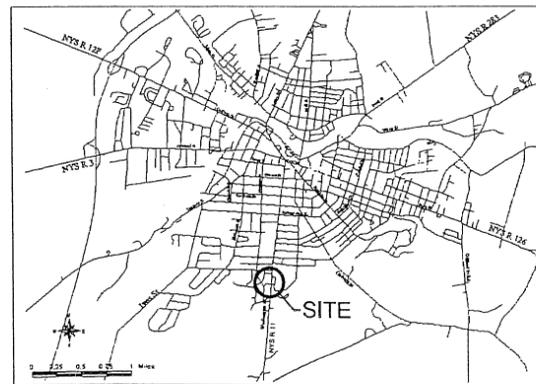
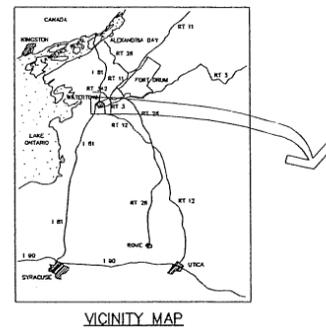
# NEW EXPANSION PROJECT FOR NORTH COUNTRY NEUROLOGY 1340 WASHINGTON STREET, CITY OF WATERTOWN, NY

PROJECT ENGINEER:

**WILBUR D. THESIER, PE, PC**  
P.O. BOX 870  
CARTHAGE, NY 13619

DESIGN / BUILD CONTRACTOR:

*Design. Build.*  
**LUNCO CORPORATION**  
NYS ROUTE 126  
CARTHAGE, NY 13619



### CODE REVIEW

**ADMINISTRATIVE**  
PRIMARY CODE: INTERNATIONAL BUILDING CODE, NEW YORK STATE  
**USE AND OCCUPANCY**  
PRIMARY OCCUPANCY CLASSIFICATION: GROUP B-BUSINESS  
**INCIDENTAL USE AREAS:**  
FURNACE ROOM: NO RATING REQUIRED (UNDER 400,000 BTU)  
STORAGE ROOMS: NO RATING REQUIRED (UNDER 100 SF)

**PROJECT TYPE**  
THIS PROJECT IS A NEW BUILDING

**CONSTRUCTION TYPE**  
CONSTRUCTION TYPE II-B  
**FIRE PROTECTION OF BUILDING ELEMENTS**  
STRUCTURAL FRAME: NO RATING REQUIRED  
EXTERIOR NON-BEARING WALLS: NO RATING REQUIRED  
DISTANCE SEPARATION GREATER THAN 30': NO RATING REQUIRED  
INTERIOR NON-BEARING WALLS: NO RATING REQUIRED  
FLOOR CONSTRUCTION: NO RATING REQUIRED  
ROOF CONSTRUCTION: NO RATING REQUIRED

**BUILDING HEIGHT**  
ALLOWABLE HEIGHT: 55 FEET 4 STORIES  
ACTUAL HEIGHT: 24 FEET 1 STORY

**BUILDING AREA**  
ALLOWABLE BUILDING AREA/FLOOR: 23,000 SF  
ACTUAL BUILDING AREA/FLOOR: 6,040 SF

**FIRE RATED CONSTRUCTION**  
PENETRATIONS OF FIRE RATED CONSTRUCTION 3/4 HOUR FOR 1 HOUR PARTITIONS  
JOINTS IN FIRE RATED CONSTRUCTION 1 HOUR FOR 1 HOUR PARTITIONS

**FIRE PROTECTION SYSTEMS**  
PORTABLE FIRE EXTINGUISHERS PROVIDED

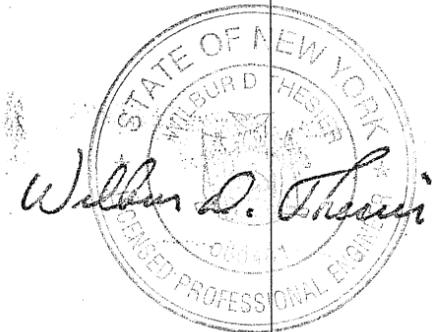
**MEANS OF EGRESS**  
ALLOWABLE EXIT ACCESS TRAVEL DISTANCE: 200 FEET  
ACTUAL MAX. TRAVEL DISTANCE: 90 FEET

**FIRE RATING OF EXITS**  
EXIT ACCESS HALLWAYS ARE NOT REQUIRED TO BE RATED  
ALL EXITS CONSIST OF DOORS DIRECTLY TO THE EXTERIOR

**ACCESSIBILITY**  
THIS BUILDING IS REQUIRED TO BE HANDICAPPED ACCESSIBLE  
THE FOLLOWING SPACES ARE REQUIRED TO BE ACCESSIBLE  
MAIN ENTRY  
OTHER ENTRIES/EXITS  
DESIGNATED TOILET ROOMS AND SHOWERS  
CIRCULATION ROUTES THROUGHOUT BUILDING  
TWO ACCESSIBLE MEANS OF EGRESS ARE REQUIRED

### SITE / CIVIL DRAWING LIST

- COVER SHEET
- C101 - SITE AND LANDSCAPE PLAN
- C102 - SITE UTILITIES AND LIGHTING PLAN
- C103 - SITE GRADING AND DRAINAGE PLAN
- C501 - SITE DETAILS
- C502 - SITE DETAILS

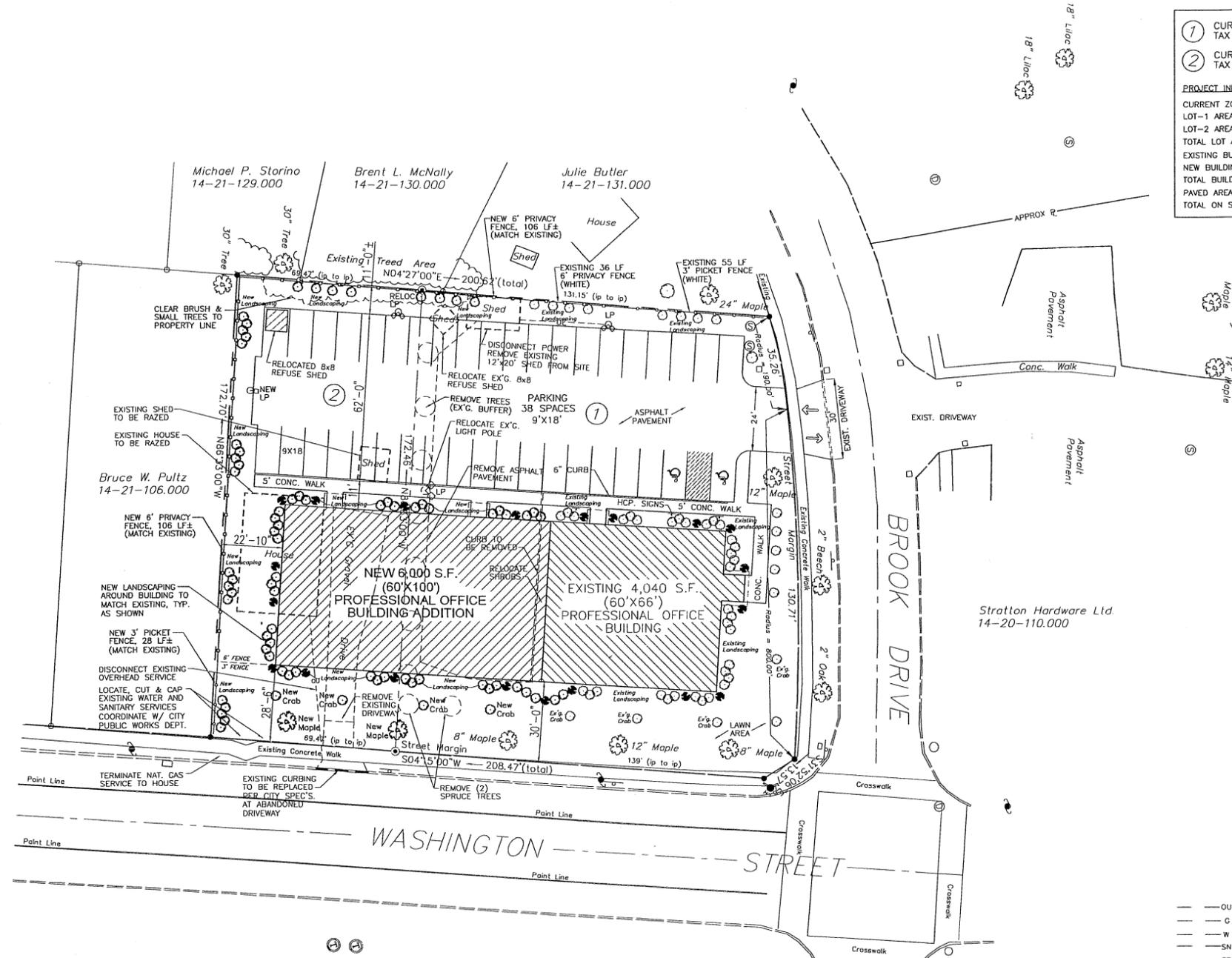


## SITE/CIVIL SET

ISSUE DATE: JULY 20 2012

DRAWING ALTERATION:  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.



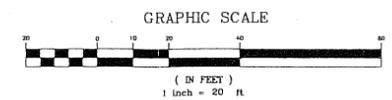
① CURRENT TAX PARCEL: 14-21-102.000  
 ② CURRENT TAX PARCEL: 14-21-105.000  
**PROJECT INFORMATION**  
 CURRENT ZONING: LIMITED BUSINESS  
 LOT-1 AREA: .57 AC± (24,830 S.F.±)  
 LOT-2 AREA: .275 AC± (11,988 S.F.±)  
 TOTAL LOT AREA: .845 AC± (36,818 S.F.±)  
 EXISTING BUILDING AREA: 4,040 S.F. (1-STORY)  
 NEW BUILDING AREA: 6,000 S.F. (1-STORY)  
 TOTAL BUILDING AREA: 10,040 S.F. (1-STORY)  
 PAVED AREA: 11,723 S.F.  
 TOTAL ON SITE PARKING: 38 CARS

- SITE LEGEND**
- SL1 - SOFFIT MOUNTED CAN LIGHT (1) 100W INCANDESCENT (MATCH EXISTING)
  - SL2 - SOFFIT MOUNTED LIGHT (1) 175W METAL HALIDE (MATCH EXISTING)
  - L.P. - ON SITE 20' LIGHT POLE (1) 250W METAL HALIDE
  - L.P. - ON SITE 20' LIGHT POLE (2) 250W METAL HALIDE
  - F.H. - FIRE HYDRANT
  - P.P. - POWER POLE
  - M.H. - MANHOLE (STORM)
  - W.V. - WATER VALVE
  - C.B. - CATCH BASIN (STORM)
  - OU — OVERHEAD UTILITIES
  - G — NATURAL GAS LINE
  - W — WATER LINE
  - SN — SANITARY SEWER LINE
  - ST — STORM SEWER LINE
  - UE — UNDERGROUND ELECTRIC
  - UT — UNDERGROUND TELEPHONE
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - SHRUBS

**GENERAL SITE NOTES:**

1. LOCATION OF UNDERGROUND UTILITIES AND OTHER UNDERGROUND STRUCTURES OBTAINED BY FIELD MEASUREMENTS WHERE VISIBLE AND/OR AVAILABLE. UTILITY MAPPING, AND CONSIDERED APPROXIMATE ONLY. OTHER UNDERGROUND UTILITIES AND STRUCTURES MAY EXIST; VERIFY THE LOCATION AND EXTENT OF ALL UTILITY INFORMATION BY CONTACTING THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION, INC. AT 1-800-962-7692.
2. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. IN CASE OF ANY DISCREPANCY NOTIFY ARCHITECT/ENGINEER.
3. VERIFY THE CHARACTERISTICS AND EXTENT OF SUBSURFACE SOILS PRIOR TO CONSTRUCTION. IN CASE OF ANY DISCREPANCY NOTIFY ARCHITECT/ENGINEER.
4. THE PROJECT WORK LIMITS FOR ALL NEW CONSTRUCTION ARE THE SITE BOUNDARY LINES, UNLESS NOTED OTHERWISE.
5. SUPPORT ALL UTILITIES EXPOSED BY EXCAVATION. SUPPORT SYSTEMS TO BE RECOMMENDED BY THE UTILITY AUTHORITY HAVING JURISDICTION.
6. ALL DIMENSIONS ARE TO FACE OF STRUCTURE, OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
7. PAVED AREAS SHALL BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.
8. DRAINAGE SHALL BE MAINTAINED AT ALL TIMES.
9. GRADE TO DRAIN AWAY FROM ALL NEW STRUCTURES.
11. BLEND ALL NEW WORK SMOOTHLY WITH EXISTING.
12. REPAIR TO MATCH EXISTING CONDITIONS ALL EXISTING SITE IMPROVEMENTS DISTURBED DURING CONSTRUCTION THAT ARE DESIGNATED TO REMAIN.
13. FINE GRADE AND SEED ALL AREAS DISTURBED BY THIS CONSTRUCTION, WHICH ARE NOT OTHERWISE NOTED.
14. ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN WILL REQUIRE SIGN-OFF FROM A PROFESSIONAL ENGINEER, LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK, THAT THE WORK WAS BUILT ACCORDING TO THE APPROVED SITE PLAN AND APPLICABLE CITY OF WATERTOWN STANDARDS. COMPACTION TESTING WILL BE REQUIRED FOR ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN AND MUST BE SUBMITTED TO THE CITY OF WATERTOWN CODES DEPARTMENT.

1 SITE & LANDSCAPE PLAN  
 C101 SCALE: 1"=20'-0"

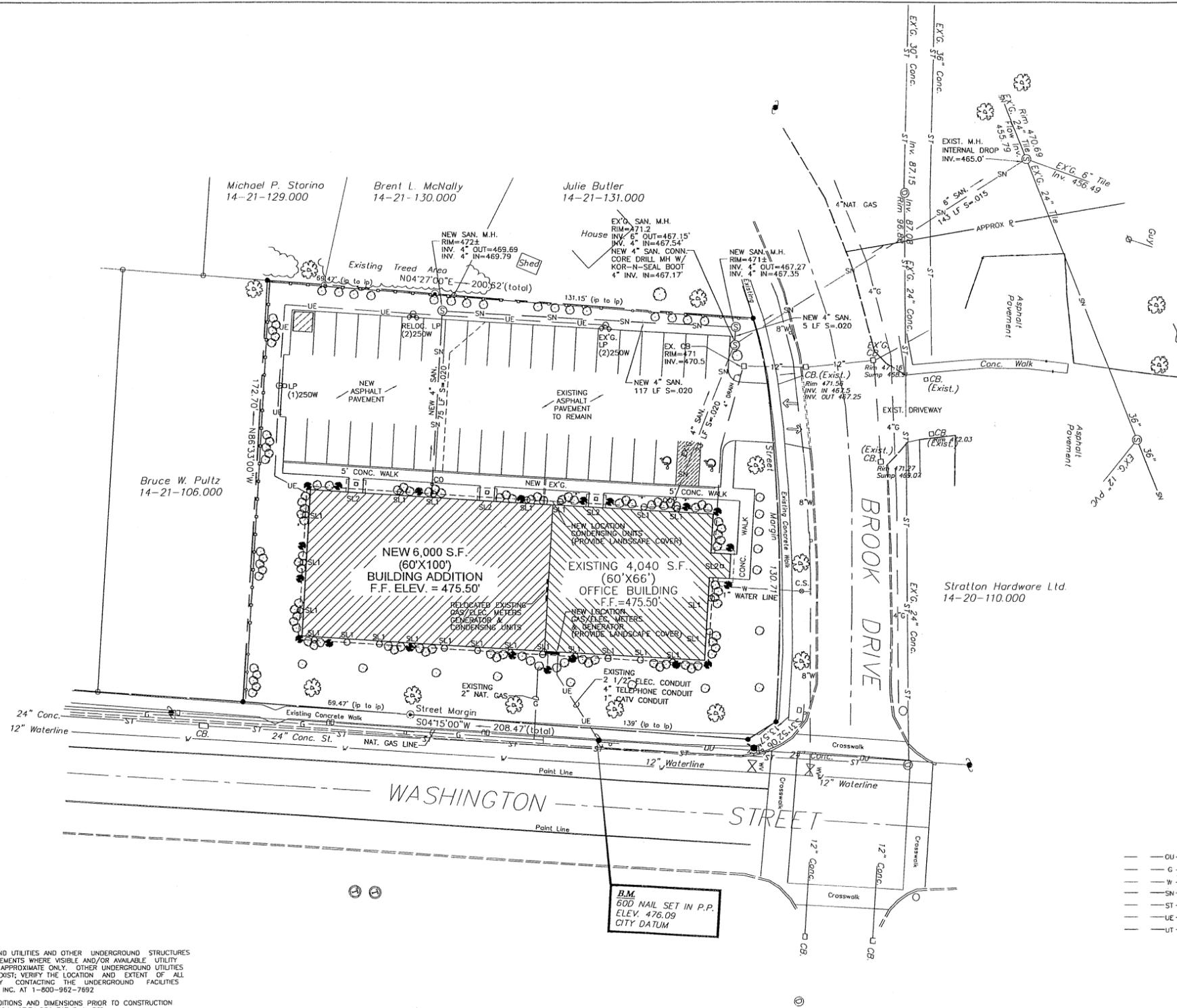


**Wilbur D. Thesier, P.E. PC**  
**PROFESSIONAL ENGINEER**  
 PO BOX 870, CARTHAGE, NY 13619  
 PHONE: (315) 493-1966

**New Expansion Project**  
**North Country Neurology**  
 1340 Washington Street  
 City of Watertown, Jefferson County, New York

REVISIONS		
DATE	DESCRIPTION	BY

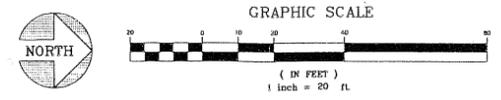
DATE 07/20/12  
 DRAWN W.J.L.  
 CHECKED S.O.  
 SCALE 1"=20'-0"  
 DRAWING NO. **C101**  
 SITE AND LANDSCAPE PLAN



- UTILITY NOTES:**
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  2. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION IN CASE OF ANY DISCREPANCY NOTIFY PROJECT ENGINEER.
  3. ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN WILL REQUIRE SIGN-OFF FROM A PROFESSIONAL ENGINEER, LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK, THAT THE WORK WAS BUILT ACCORDING TO THE APPROVED SITE PLAN AND APPLICABLE CITY OF WATERTOWN STANDARDS. COMPACTION TESTING WILL BE REQUIRED FOR ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN AND MUST BE SUBMITTED TO THE CITY OF WATERTOWN CODES DEPARTMENT.

1 SITE UTILITIES & LIGHTING PLAN  
C102 SCALE: 1"=20'-0"

- SITE LEGEND**
- SL1 - SOFFIT MOUNTED CAN LIGHT (1) 100W INCANDESCENT (MATCH EXISTING)
  - SL2 - SOFFIT MOUNTED LIGHT (1) 175W METAL HALIDE (MATCH EXISTING)
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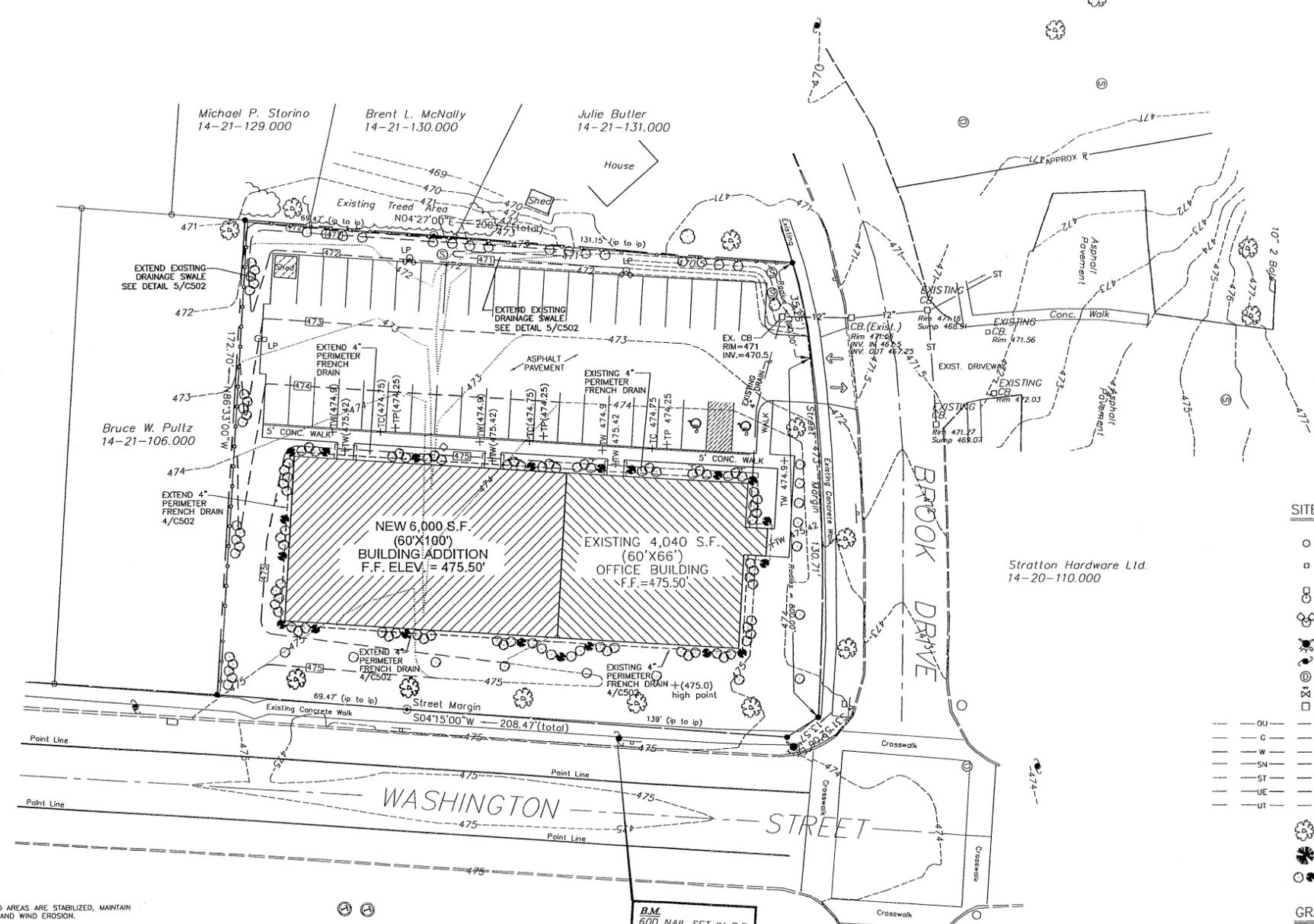


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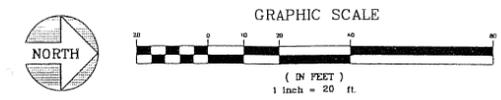
DATE 07/20/12  
DRAWN W.J.L.  
CHECKED S.O.  
SCALE 1"=20'-0"  
DRAWING NO. **C102**  
SITE UTILITIES AND LIGHTING PLAN



- EARTHWORK NOTES:**
- DURING CONSTRUCTION AND UNTIL DISTURBED AREAS ARE STABILIZED, MAINTAIN THE SITE AGAINST THE FORCES OF WATER AND WIND EROSION.
  - RESTRICT GRADING OPERATIONS TO AREAS SHOWN ON THE CONSTRUCTION DRAWINGS. GRADING OUTSIDE THE PROJECT WORK LIMITS WILL NOT BE PERMITTED.
  - BACKFILL ALL EXCAVATIONS WITH COMPACTED GRANULAR FILL IN 6" LIFTS TO 95% DENSITY.
  - TOPSOIL REQUIRED FOR ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISH GRADING OF ALL EXPOSED AREAS. ANY EXCESS TOPSOIL SHALL BE SPREAD ON-SITE OR REMOVED FROM SITE UPON COMPLETION OF EARTHWORK OPERATIONS.
  - AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE VEGETATION, ROOTS, OR OTHER EXTRANEOUS MATERIAL PRIOR TO PLACING FILL.
  - REMOVE FROM SITE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL NOT USED ELSEWHERE.
  - FROZEN MATERIAL OR SOFT, ORGANIC OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILL SLOPES OR STRUCTURAL FILLS.
  - SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH APPROVED DEWATERING METHODS.

1 SITE GRADING & DRAINAGE PLAN  
C103 SCALE: 1"=20'-0"

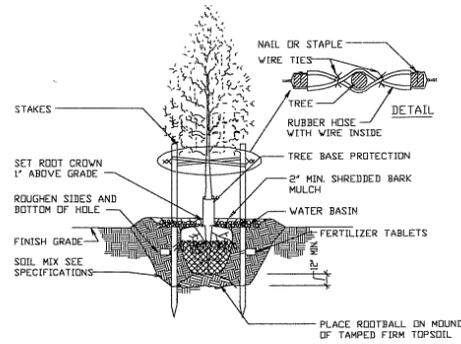
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  - UT — UNDERGROUND TELEPHONE
- GRADING KEY**
- 492 --- EXISTING CONTOUR
  - 492 --- EXISTING CONTOUR (REMOVED)
  - 492 --- NEW CONTOUR LINE
  - +100.00 EXISTING SPOT ELEVATION
  - +{100.00} NEW SPOT ELEVATION



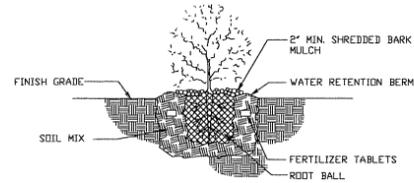
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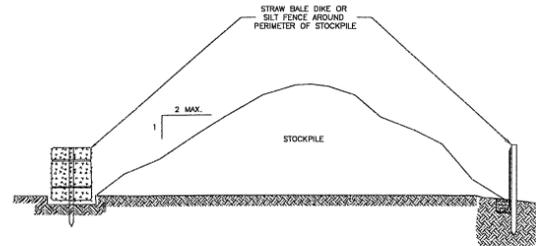
REVISIONS		
DATE	DESCRIPTION	BY
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DATE	07/20/12	
DRAWN	W.J.L.	
CHECKED	S.O.	
SCALE	1"=20'-0"	
DRAWING NO.	<b>C103</b>	
SITE GRADING AND DRAINAGE PLAN		



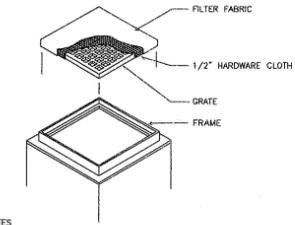
1 TREE PLANTING DETAIL  
C501 SCALE: NONE



2 SHRUB PLANTING DETAIL  
C501 SCALE: NONE

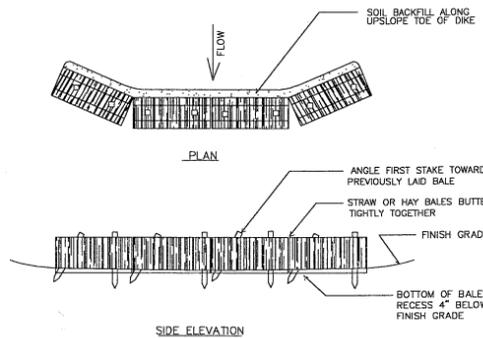


3 TYPICAL SOIL STOCKPILING DETAIL  
C501 SCALE: NONE

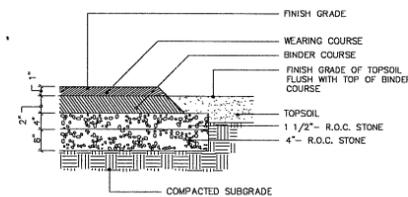


NOTES  
1. HARDWARE CLOTH AND FILTER FABRIC TO REMAIN IN PLACE UNTIL WORK COMPLETED  
2. INLET PROTECTION TO BE INSPECTED AND SEDIMENT REMOVED AS NEEDED.

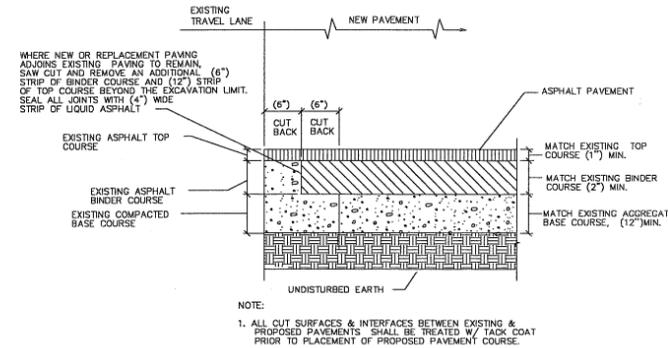
4 DRAINAGE STRUCTURE INLET PROTECTION  
C501 SCALE: NONE



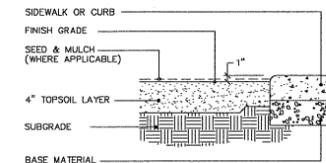
5 SILT FENCE DETAIL  
C501 SCALE: NONE (EROSION CONTROL)



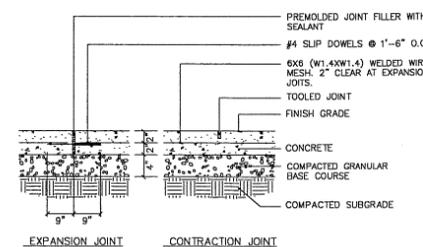
6 ASPHALT PAVEMENT DETAIL  
C501 SCALE: NONE (PARKING AREA)



7 PAVEMENT CUT AND RESTORATION DETAIL  
C501 SCALE: NONE

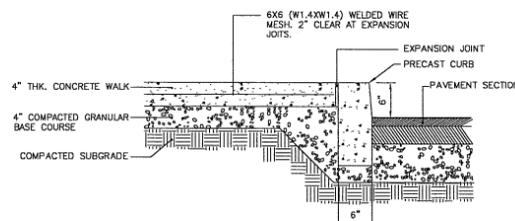


8 TYP. SOIL PROFILE  
C501 SCALE: NONE (SEEDING AREAS)

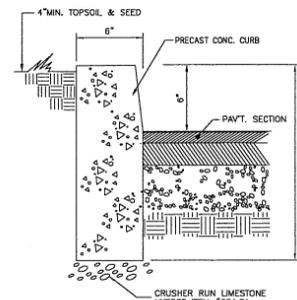


NOTE-  
1. CONTROL JOINTS TO BE SPACED 5' O.C. MAX., EXPANSION JOINTS TO BE SPACED 30' O.C. MAX.

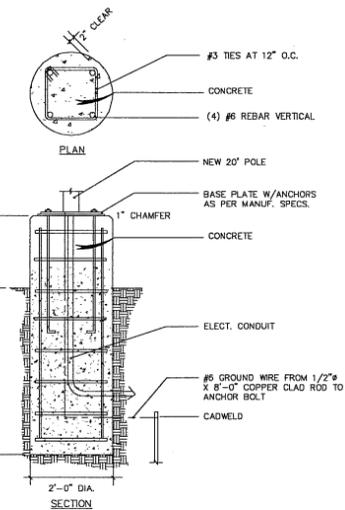
9 CONCRETE WALK SECTION  
C501 SCALE: NONE



10 CONCRETE WALK AT CURB  
C501 SCALE: NONE



11 CONCRETE CURB DETAIL  
C501 SCALE: NONE



12 LIGHT POLE BASE DETAIL  
C501 SCALE: NONE

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North Country Neurology  
1340 Washington Street  
City of Watertown, Jefferson County, New York

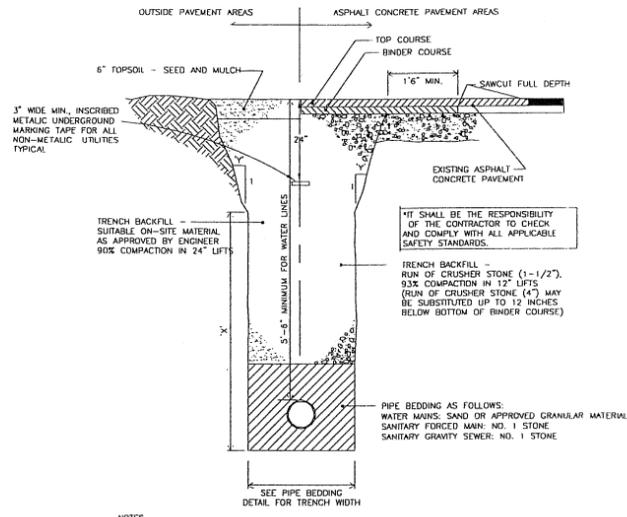
REVISIONS

DATE	DESCRIPTION	BY
07/20/12		

DATE 07/20/12  
DRAWN W.J.L.  
CHECKED S.O.  
SCALE AS SHOWN  
DRAWING NO.

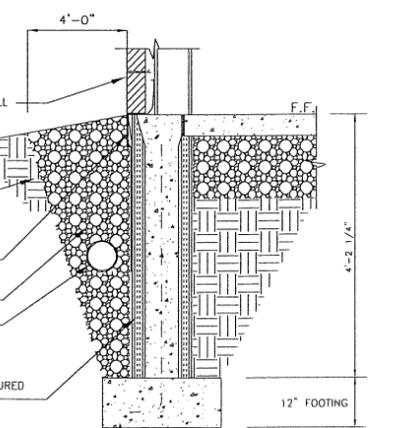
C501

SITE DETAILS

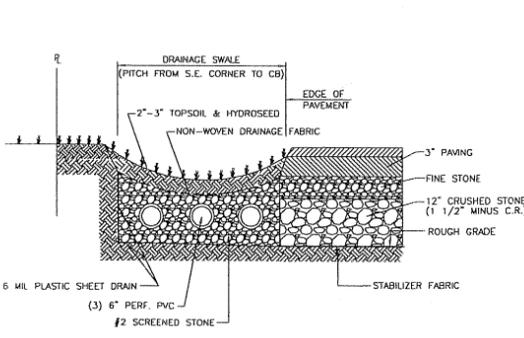


- NOTES**
- DIMENSIONS "X" AND "Y" SHOWN ABOVE SHALL BE DETERMINED BY CONTRACTOR TO COMPLY WITH O.S.H.A., NEW YORK STATE DEPARTMENT OF LABOR, NEW YORK STATE INDUSTRIAL CODE AND ALL OTHER APPLICABLE SAFETY STANDARDS.
  - SAFETY SHEETING OR TRENCH BOX MAY BE USED IN PLACE OF SLOPED TRENCH WALLS.
  - SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER. FOR PVC PIPE ALL SHEETING DRIVEN BELOW MID-DIAMETER SHALL BE LEFT IN PLACE.
  - TRENCHES LOCATED ON ROAD SHOULDERS SHALL BE TREATED THE SAME AS UNDER PAVT.

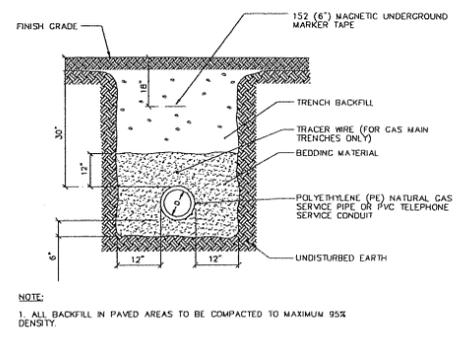
**1 TYP. TRENCH DETAIL**  
C502 SCALE: NONE



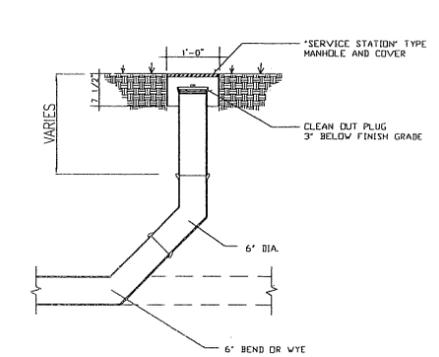
**4 PERIMETER FRENCH DRAIN DETAIL**  
C502 SCALE: NONE (NEW AND EXISTING - AT FOUNDATION)



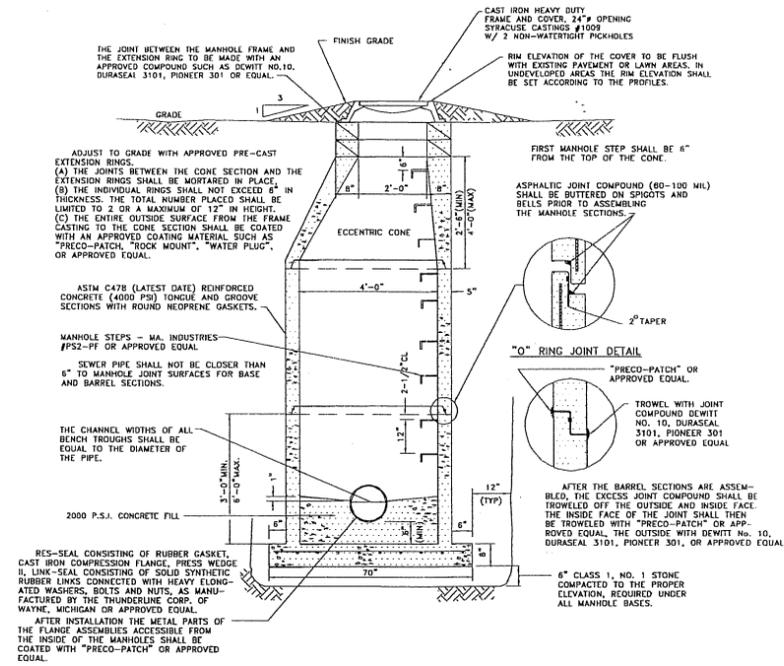
**5 DRAINAGE SWALE DETAIL**  
C502 SCALE: NONE (NEW AND EXISTING)



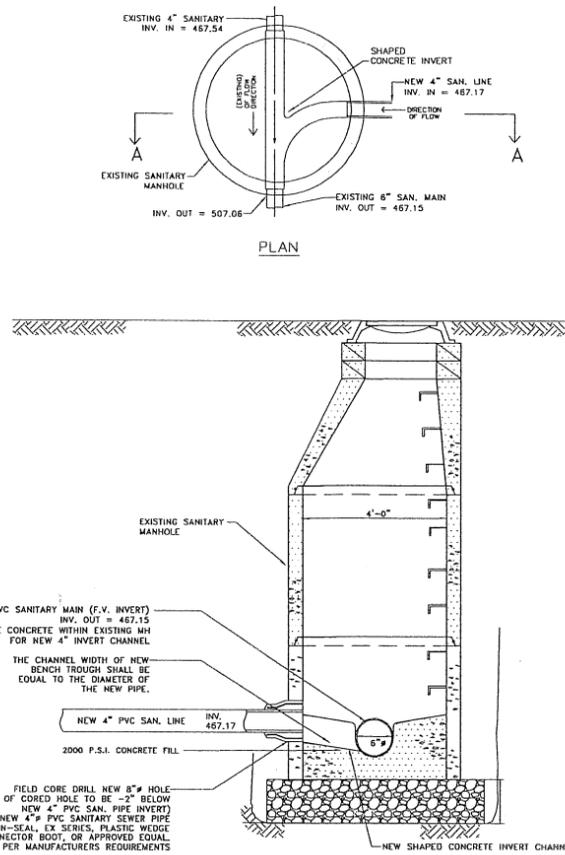
**6 TYP. NAT. GAS & TELECOMM. TRENCH**  
C502 SCALE: NONE



**7 SANITARY CLEAN-OUT DETAIL**  
C502 SCALE: NONE



**2 SANITARY MANHOLE DETAIL**  
C502 SCALE: NONE



**3 CONNECTION TO EXISTING SANITARY MANHOLE**  
C502 SCALE: NONE

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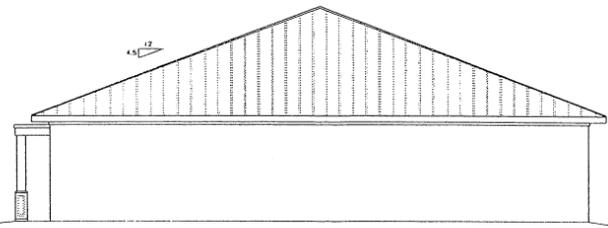
REVISIONS		
DATE	DESCRIPTION	BY
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DRAWING NO. **C502**

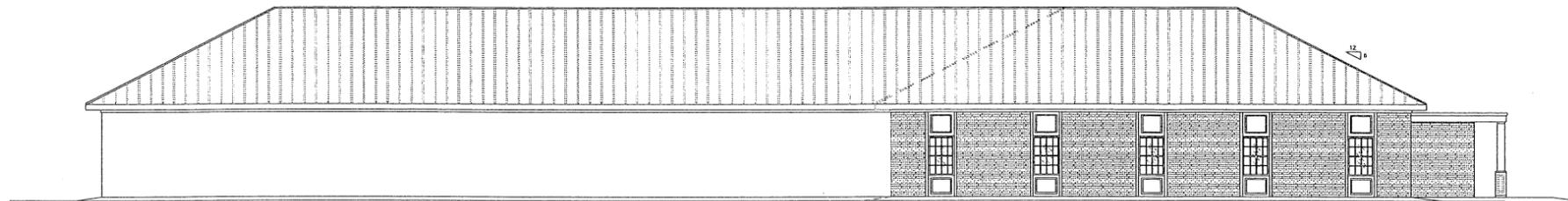
SITE DETAILS



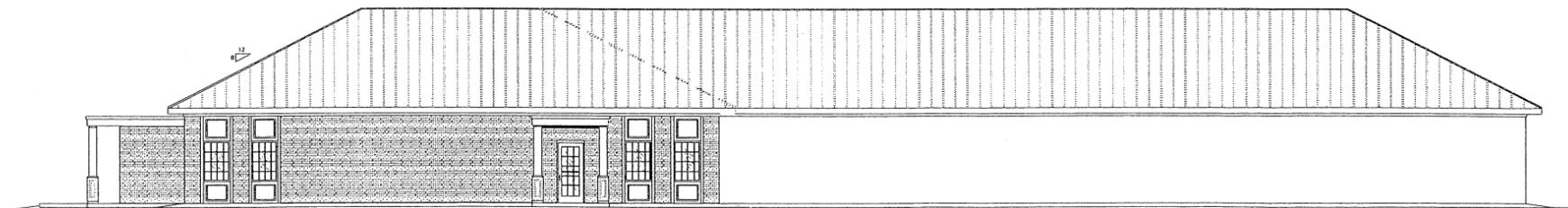
3 NORTH ELEVATION  
A201 SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION  
A201 SCALE: 1/8"=1'-0"



2 EAST ELEVATION  
A201 SCALE: 1/8"=1'-0"



1 WEST ELEVATION  
A201 SCALE: 1/8"=1'-0"

**PRELIMINARY  
NOT FOR CONSTRUCTION**

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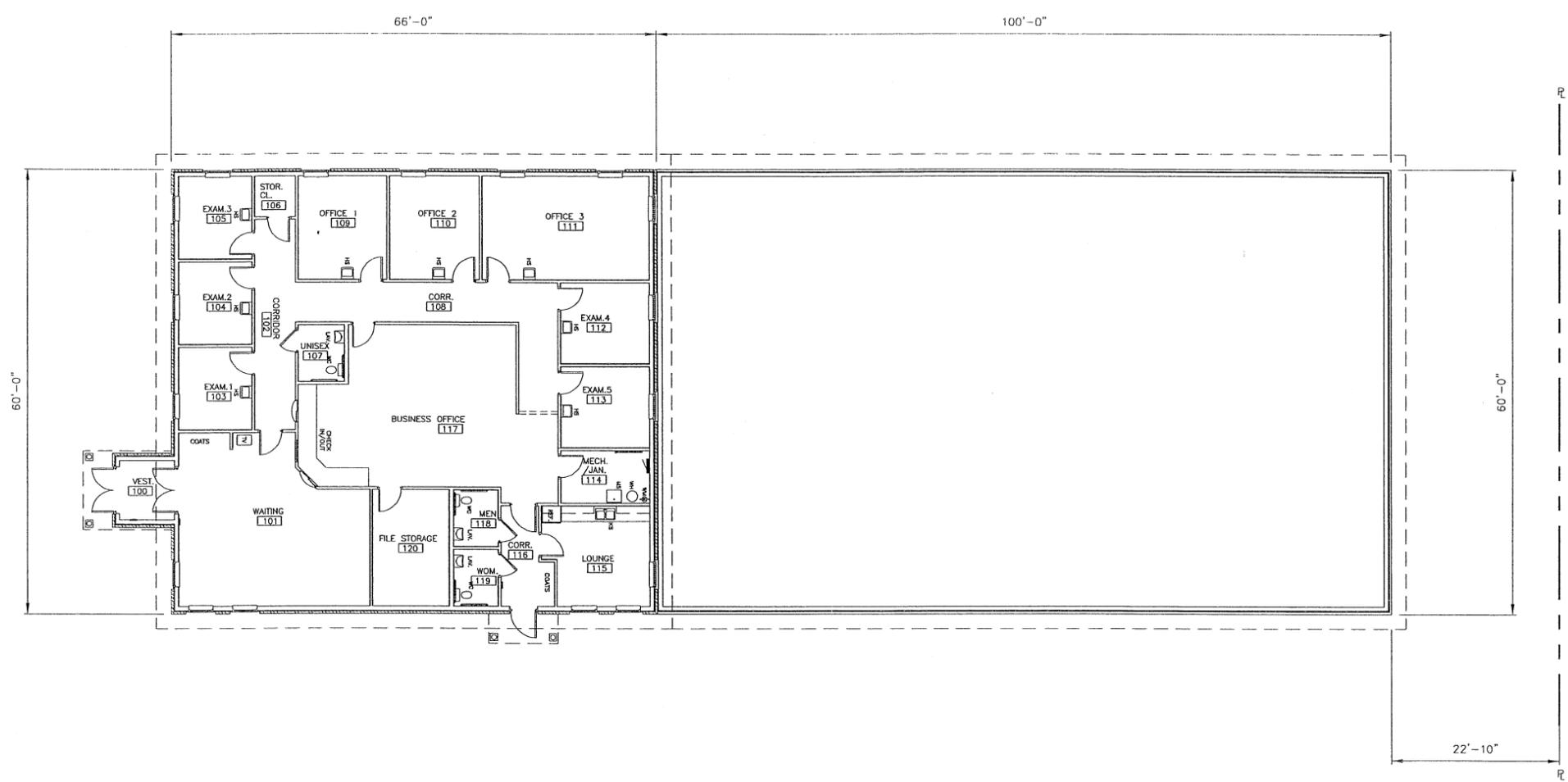
REVISIONS

DATE	DESCRIPTION	BY

DATE	07/20/12
DRAWN	W.J.L.
CHECKED	S.O.
SCALE	1/8"=1'-0"

DRAWING NO.  
**A201**

EXTERIOR  
ELEVATIONS



1 BUILDING FLOOR PLAN  
 A101 SCALE: 1/8"=1'-0"

**PRELIMINARY  
 NOT FOR CONSTRUCTION**

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REVISIONS		
DATE	DESCRIPTION	BY

DATE	07/20/12
DRAWN	W.J.L.
CHECKED	S.O.
SCALE	1/8"=1'-0"

DRAWING NO.  
**A101**

BUILDING  
 FLOORPLAN