

LOCATION PLAN
NOT TO SCALE

SITE DEVELOPMENT PLANS

WATERTOWN CITY CENTER

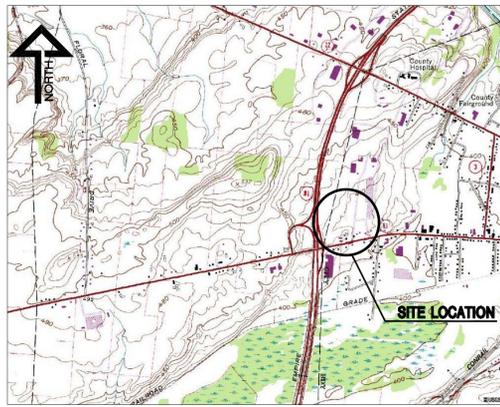
ARSENAL STREET WATERTOWN, NEW YORK MAY 2011

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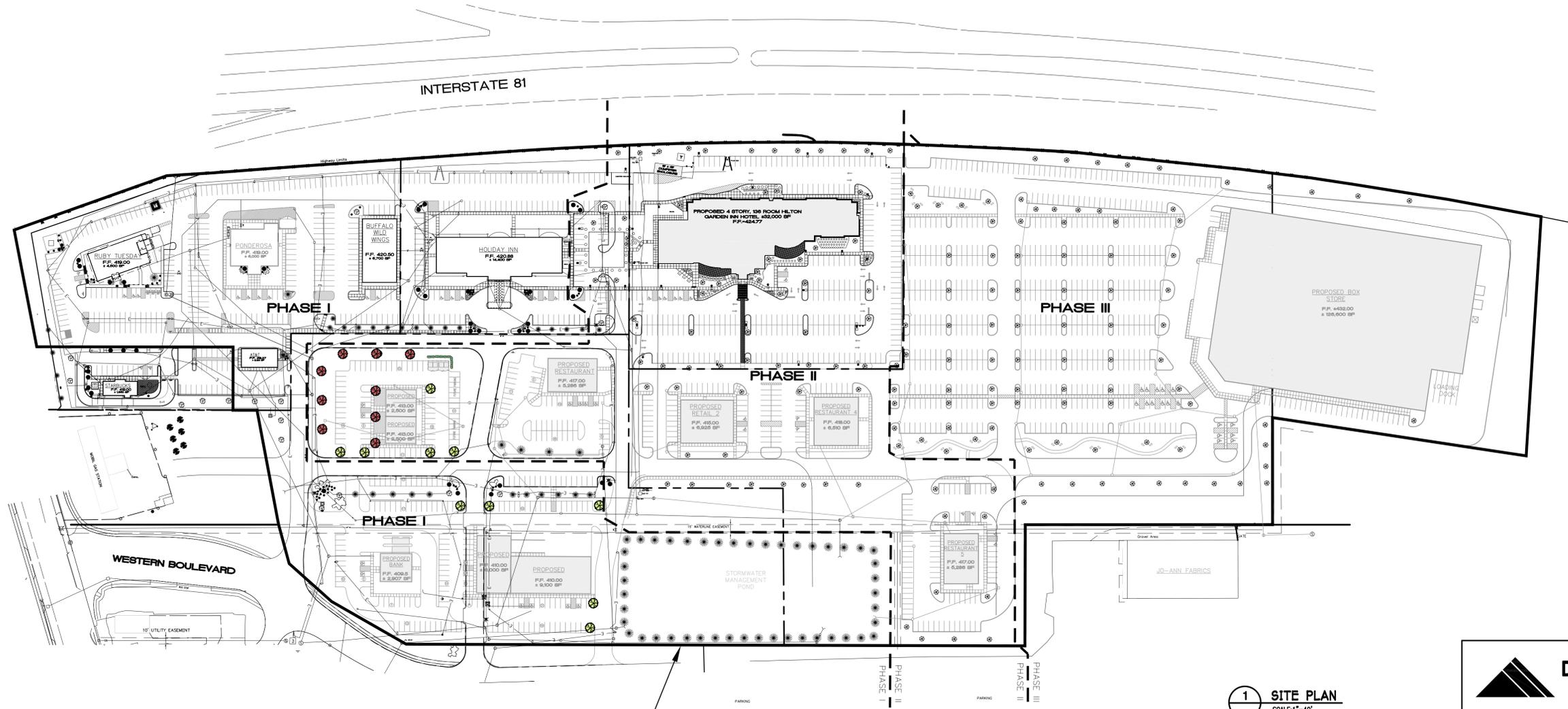
DUNN AND SGROMO ENGINEERS
E. SYRACUSE, NEW YORK
5800 HERITAGE LANDING DRIVE (315)449-4940 (315)449-4941 FAX



PROJECT LOCATION MAP: 1"=2000'±

LEGEND	EXISTING	PROPOSED
5' CONTOUR	---	---
1' CONTOUR	---	---
SETBACK	---	---
EASEMENT	---	---
MARGIN	---	---
PROPERTY LINE	---	---
EDGE OF PAVEMENT	---	---
CURBED ROAD	---	---
BUILDING	---	---
PHASE BOUNDARY	---	---
ELEC LINE	---	---
SEWER LINE	---	---
FORCE MAIN	---	---
STORM LINE	---	---
WATER LINE	---	---
LIGHT POLE	○	○
TREE	●	●
SHRUB	○	○
PLANTING	○	○
SEWER MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
WATER VALVE	⊙	⊙
HYDRANT	⊙	⊙
CATCH BASIN	⊙	⊙
BENCH	⊙	⊙

SIGNAGE			
PREVIOUSLY APPROVED	SF	PROPOSED	SF
HOLIDAY INN EXPRESS	600	HILTON GARDEN INN HOTEL	600
RUBY TUESDAY	300	FUTURE RESTAURANT 4 (PHASE 2)	300
PONDEROSA	300	FUTURE RESTAURANT 4 (PHASE 2)	300
STARBUCKS	300	FUTURE RETAIL (19,100 S.F.)	300
AT&T	300	FUTURE RETAIL (6,000 S.F.)	300
FUTURE RETAIL (BIG BOX)	800	RESTAURANT (PHASE 2)	300
BUFFALO WILD WINGS	300	TOTAL	2,100
FUTURE FACILITY AT SMP 1A (BANK)	300		
FUTURE FACILITY AT SMP 1B (REST 3)	300		
TOTAL	3,500		



OVERALL PLANNED DEVELOPMENT DISTRICT (PDD) BOUNDARY

1 SITE PLAN SCALE: 1"=40'



NOT FOR CONSTRUCTION
 THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS SUBJECT TO REVISION UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.



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NO.	DATE	REVISION	BY

SCALE: AS NOTED	FILE NO.: 1174.012
DESIGNED BY: GS	DATE: 05.16.2011
DRAWN BY: RPG	DWG. NO:
CHECKED BY: GS	OPD1

OVERALL PLANNED DEVELOPEMENT

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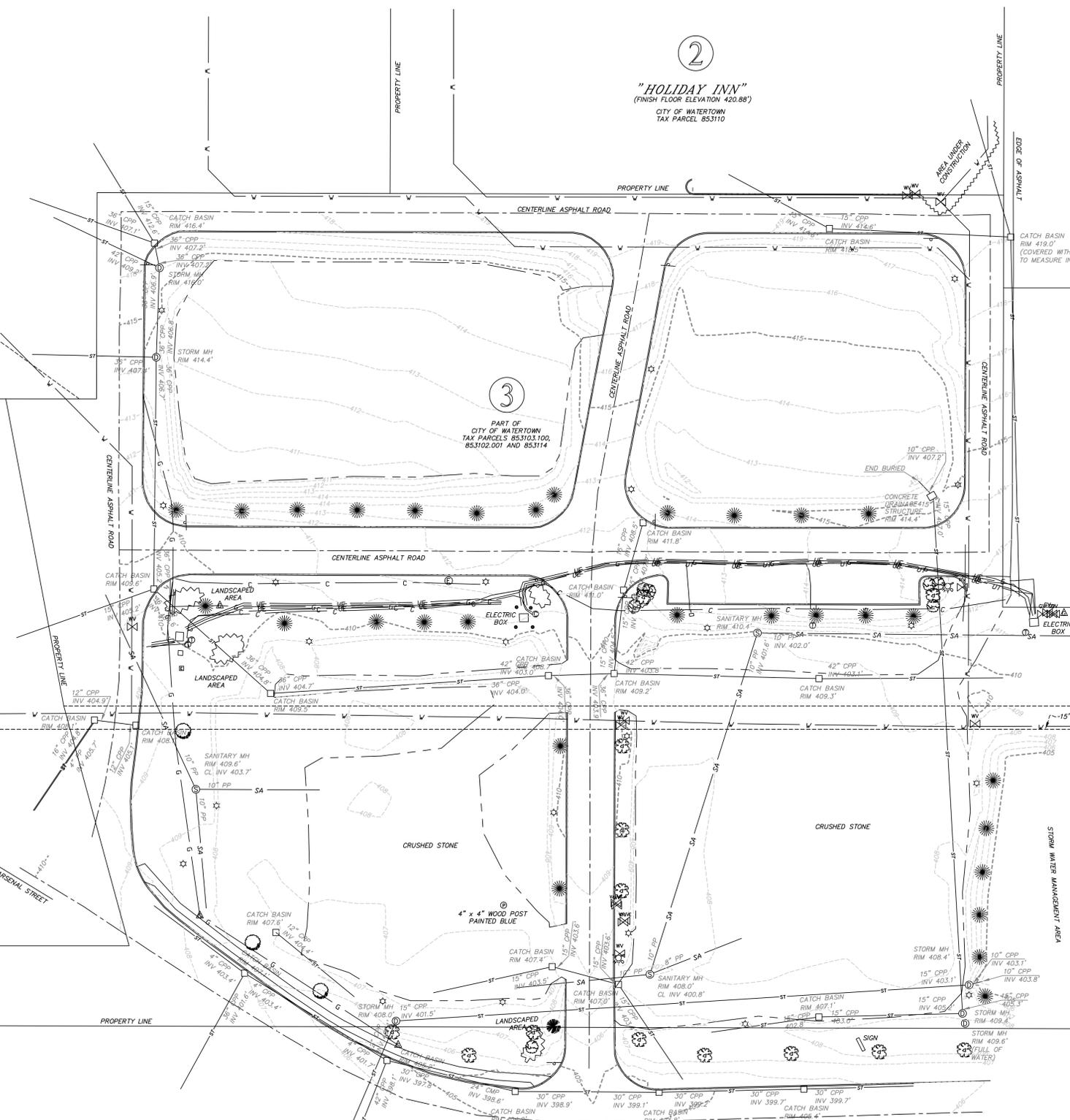
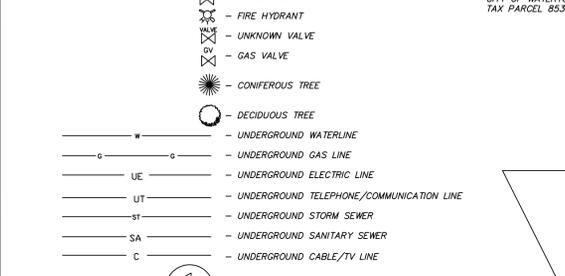
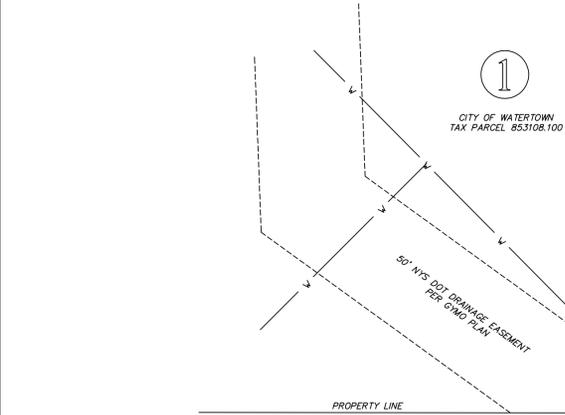
WARNING - It is a violation of Section 7209, Subdivision 2 of the New York State Education Law for any person other than a licensed land surveyor to alter this map.

Only boundary survey maps with the surveyor's embossed seal or red ink seal are genuine true and correct copies of the surveyor's original work and opinion.

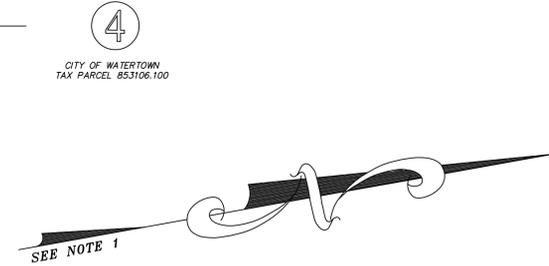
Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.

The certifications hereon are not transferable.

The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist, they are not covered by this certificate.



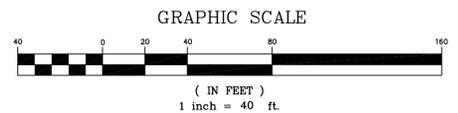
"HILTON GARDEN INN"
(UNDER CONSTRUCTION
FINISH FLOOR ELEVATION 424.77')
SUBDIVISION FINAL PLAT, A 4.253 ACRES PORTION OF THE LAND OF VISION DEVELOPMENT, INC.
PREPARED BY GYMO ARCHITECTURE, ENGINEERING & LAND SURVEYING, P.C.
DATED 7/13/2010, LAST REVISED 8/3/2010
FILED IN THE JEFFERSON COUNTY CLERK'S OFFICE AS DOC ID 005851260006; FILE 5077



LEGEND

- ⊙ - DRAINAGE MANHOLE
- ⊙ - SANITARY MANHOLE
- - CATCH BASIN
- ⚡ - SIGN
- ⊙ - LIGHT POLE
- ⊙ - TELEPHONE PEDESTAL
- ⊙ - ELECTRIC BOX
- ⚡ - GAS LINE MARKER
- ⊙ - WATER VALVE
- ⊙ - FIRE HYDRANT
- ⊙ - UNKNOWN VALVE
- ⊙ - GAS VALVE
- ☀ - CONIFEROUS TREE
- ☀ - DECIDUOUS TREE
- W — UNDERGROUND WATERLINE
- G — UNDERGROUND GAS LINE
- UE — UNDERGROUND ELEC. LINE
- UT — UNDERGROUND TELEPHONE/COMMUNICATION LINE
- ST — UNDERGROUND STORM SEWER
- SA — UNDERGROUND SANITARY SEWER
- C — UNDERGROUND CABLE/TV LINE
- ① - LOT NUMBER PER REFERENCE MAP

- NOTES**
1. THE HORIZONTAL INFORMATION SHOWN HEREON IS ORIENTED BASED ON THE REFERENCE MAP.
 2. THE VERTICAL DATUM REFERENCED HEREON IS BASED ON THE FINISHED FLOOR ELEVATION FOR THE HILTON GARDEN INN WHICH WAS UNDER CONSTRUCTION DURING THE FIELD WORK PORTION OF THIS PROJECT. THE FINISHED FLOOR ELEVATION OF 424.77' WAS USED AND WAS OBTAINED FROM DRAWING NO. C103, THE UTILITY PLAN FOR THE HILTON GARDEN INN/PHASE TWO, DATED 1/10/2010, ISSUED 7/16/2010, LAST REVISED 9/3/2010, PREPARED BY GYMO ARCHITECTURE, ENGINEERING & LAND SURVEYING P.C.
 3. DATES OF FIELD WORK: 3/25/2011, 3/29/2011, 3/31/2011 & 4/6/2011
 4. THE UNDERGROUND UTILITIES SHOWN HEREON ARE PLOTTED FROM ABOVE GROUND FEATURES, UTILITY PLANS AND VARIOUS DIGITAL FILES OBTAINED FROM DUNN & SOROMO ENGINEERING. THEY SHOULD BE CONSIDERED APPROXIMATE. OTHERS MAY EXIST.
 5. THE PROPERTY LINES SHOWN HEREON ARE APPROXIMATE. THEY ARE PLOTTED FROM RECORD PLANS AND VARIOUS DIGITAL FILES OBTAINED FROM DUNN & SOROMO ENGINEERING.

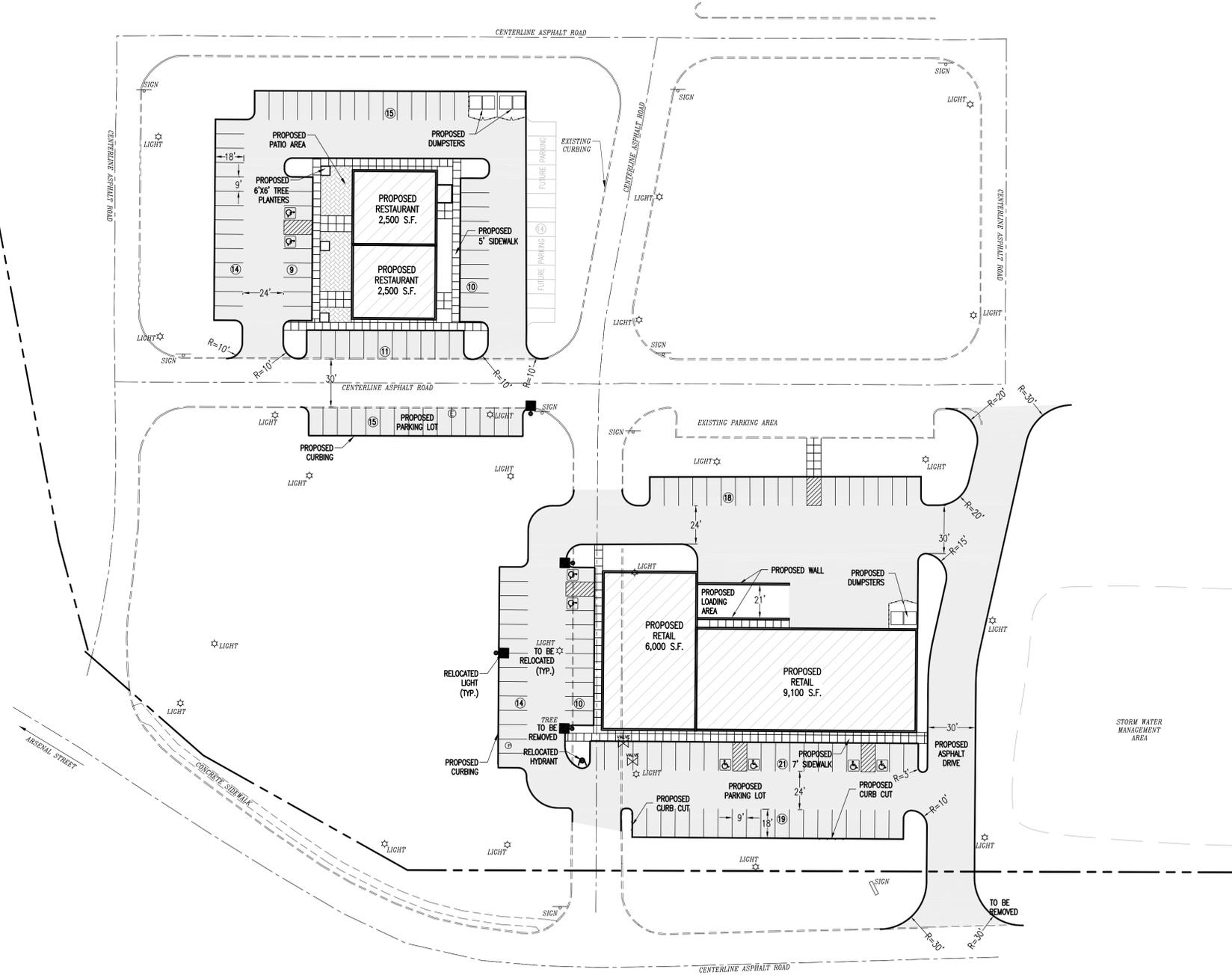


REFERENCE MAP
LOT NUMBERS SHOWN HEREON REFER TO A MAP TITLED "SUBDIVISION FINAL PLAT OF THE LAND OF VISION DEVELOPMENT" PREPARED BY GYMO ARCHITECTURE, ENGINEERING & LAND SURVEYING P.C. DATED 7/11/2005; LAST REVISED 11/10/2005. FILED IN THE JEFFERSON COUNTY CLERK'S OFFICE AS DOC. ID. 002724610001 FILE 3735.

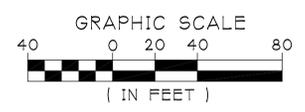
TOPOGRAPHIC MAP PREPARED FOR					
VISION DEVELOPMENT					
CITY OF WATERTOWN, JEFFERSON COUNTY, NEW YORK					
LAFAVE, WHITE & MCGIVERN, L.S., P.C.					
LAND SURVEYORS PHOTOGRAMMETRISTS					
THERESA BOONVILLE ROME					
NEW YORK					
DRAWN	CHECKED	DATE	SCALE	FILE	SHEET
JET	R/B	5/9/2011	1"=40'	2011V-01	1 OF 1

LEGEND

	EXISTING	CURRENT PROPOSAL
BUILDING		
PARKING		
PROPERTY LINE	---	---
SANITARY MANHOLE	○	●
SANITARY LINE	-S-	S-
UTILITY LINES TO BE ABANDONED		---
CATCH BASIN	□	■
STORM LINE	-D-	D-
GAS LINE	-G-	G-
WATER LINE	-W-	W-
HYDRANT	⊗	⊗
UNDERGROUND POWER	-UE-	UE-
LIGHTS	☆	● RELOCATED LIGHT



1 SITE PLAN
SCALE: 1"=40'



LAND USE - COMMERCIAL
ZONNING - PDD

DEVELOPER:
MILLENNIUM DEVELOPMENT, LLC
23590 IROQUOIS ISLAND SHORE ROAD
ALEXANDRIA BAY, NY 13607

TAX PARCEL NOS.
8-53-102.1
8-53-101.0

NOT FOR CONSTRUCTION

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WATERTOWN, NY
ARSENAL ST/ I-81
WATERTOWN CITY CENTER PLAZA

NO.	DATE	REVISION	BY

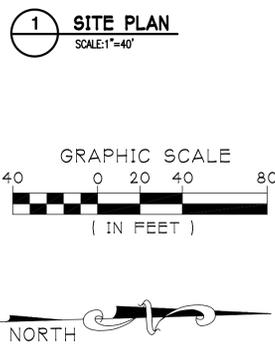
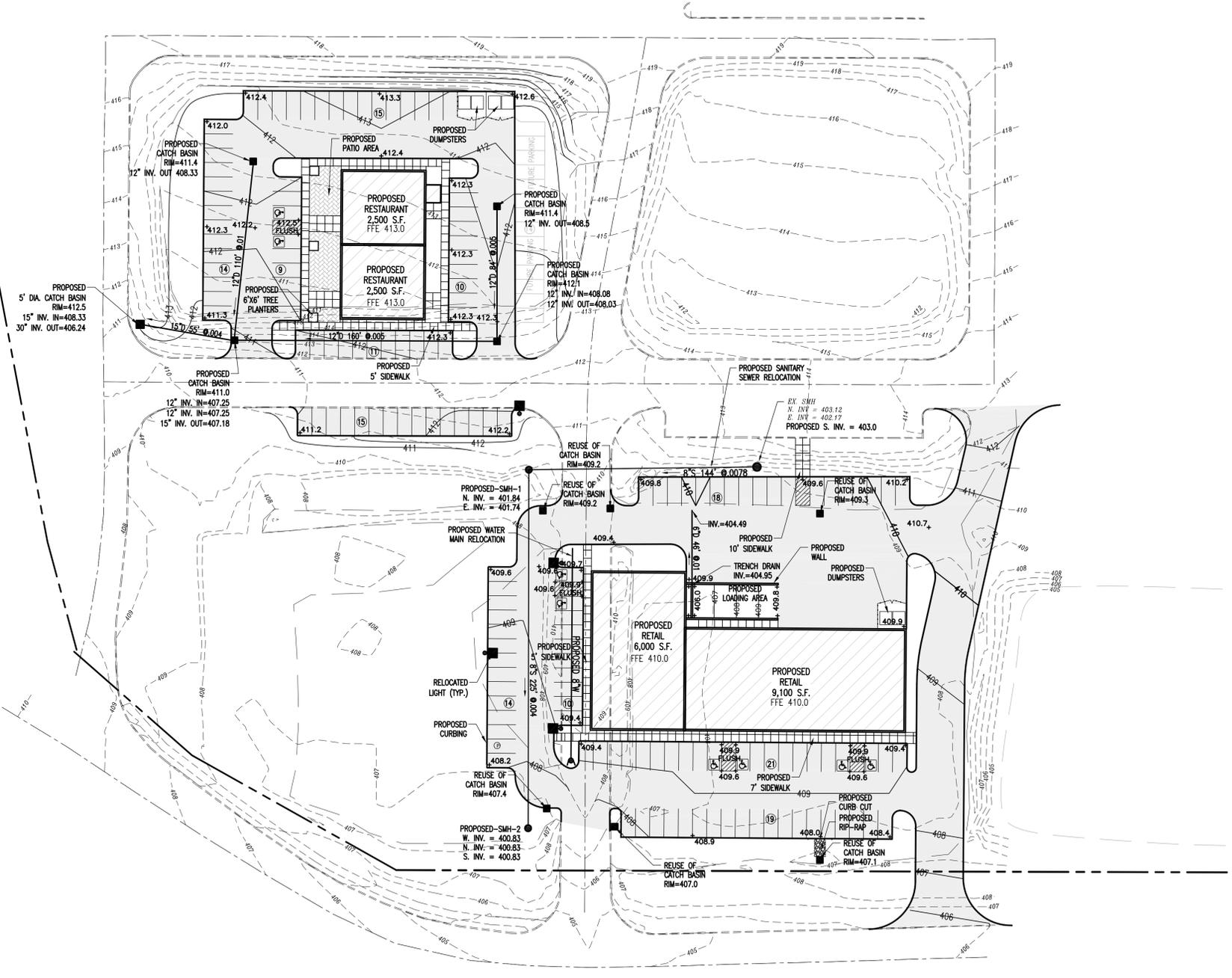
SITE PLAN

SCALE: AS NOTED	FILE NO.: 1174.012
DESIGNED BY: GS	DATE: 05.16.2011
DRAWN BY: RPG	DWG. NO: SP1.0
CHECKED BY: GS	

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LEGEND

EXISTING	CURRENT PROPOSAL
BUILDING	
PARKING	
PROPERTY LINE	
SANITARY MANHOLE	
SANITARY LINE	
UTILITY LINES TO BE ABANDONED	
CATCH BASIN	
STORM LINE	
GAS LINE	
WATER LINE	
HYDRANT	
UNDERGROUND POWER	
LIGHTS	



NOT FOR CONSTRUCTION

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STATE UNIVERSITY OF NEW YORK
GREGORY SGROMO
LICENSED PROFESSIONAL ENGINEER
073282

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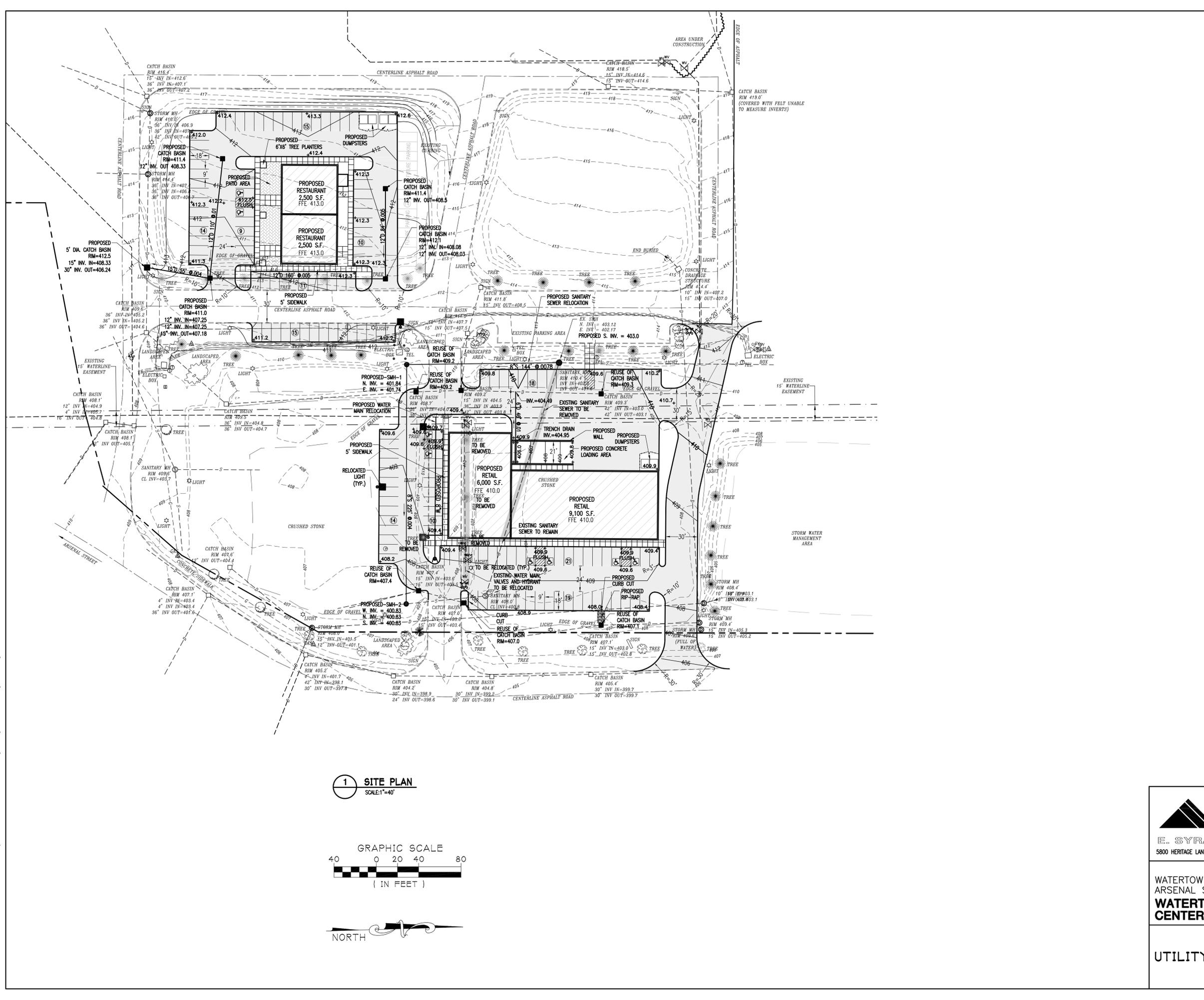
WATERTOWN, NY
ARSENAL ST/ I-81
WATERTOWN CITY CENTER PLAZA

SCALE: AS NOTED
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DRAWN BY: RPG
CHECKED BY: GS

FILE NO.: 1174.012
DATE: 05.16.2011
DWG. NO.: **SP.11**

GRADING PLAN

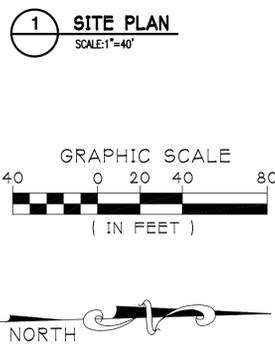
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LEGEND

	EXISTING	CURRENT PROPOSAL
BUILDING		
PARKING		
PROPERTY LINE		
SANITARY MANHOLE	○	●
SANITARY LINE	-S-	S
UTILITY LINES TO BE ABANDONED		
CATCH BASIN	□	■
STORM LINE	-D-	D
GAS LINE	-G-	G
WATER LINE	-W-	W
HYDRANT	⊗	⊗
UNDERGROUND POWER	-UE-	UE
LIGHTS	☆	●

- NOTE:
- ALL WATER MAIN AND SERVICE WORK MUST BE COORDINATED WITH THE CITY OF WATERTOWN WATER DEPARTMENT. THE WATER DEPARTMENT REQUIREMENTS SUPERCEDE ALL THE OTHER PLANS AND SPECIFICATIONS PROVIDED.
 - REMOVE EXISTING SANITARY SEWER AS SHOWN ON PLAN TO FACE OF PROPOSED BUILDING, TO BE USED AS LATERAL SERVICE.



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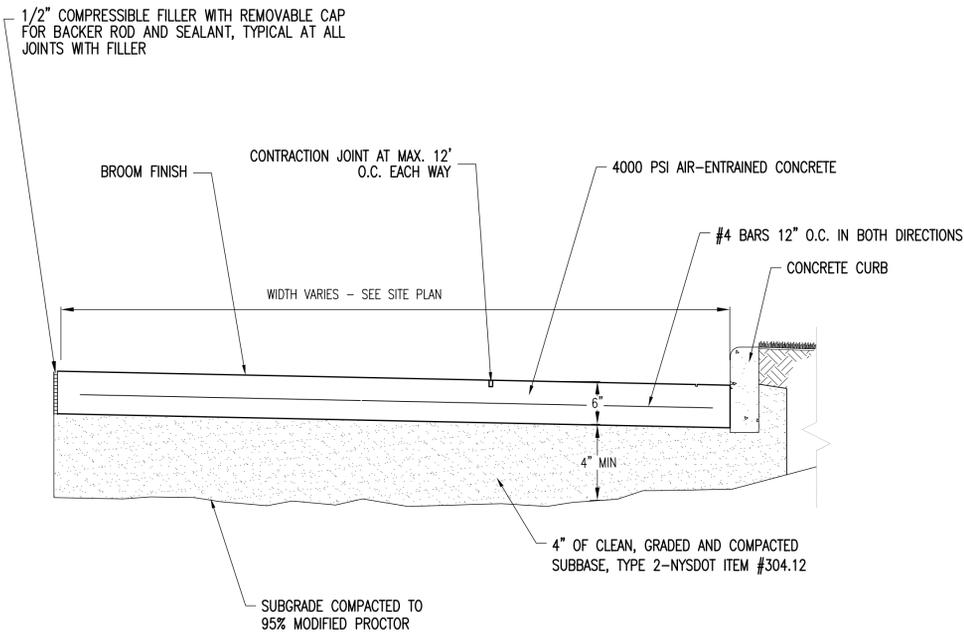


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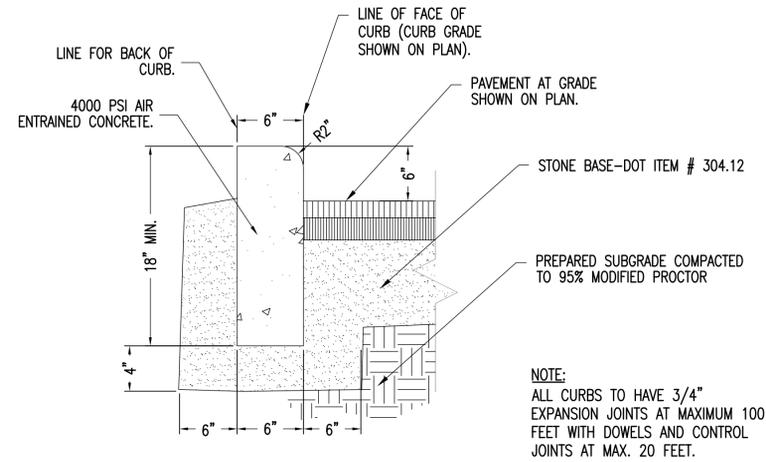


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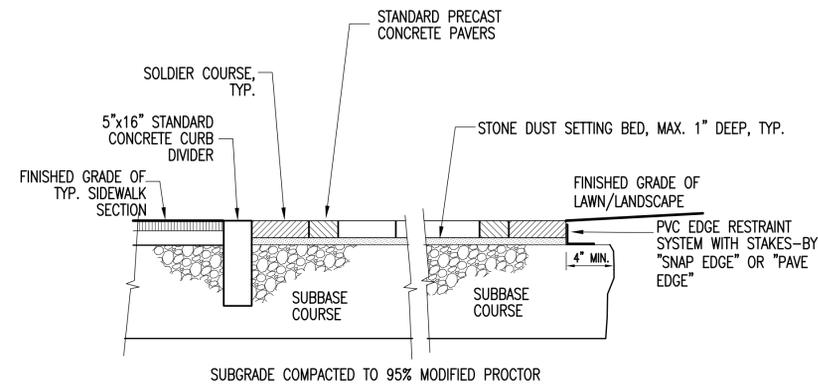
WATERTOWN, NY ARSENAL ST/ I-81 WATERTOWN CITY CENTER PLAZA		NO. DATE REVISION BY	
UTILITY PLAN		SCALE: AS NOTED	FILE NO.: 1174.012
		DESIGNED BY: GS	DATE: 05.16.2011
		DRAWN BY: RPG	DWG. NO:
		CHECKED BY: GS	SP12



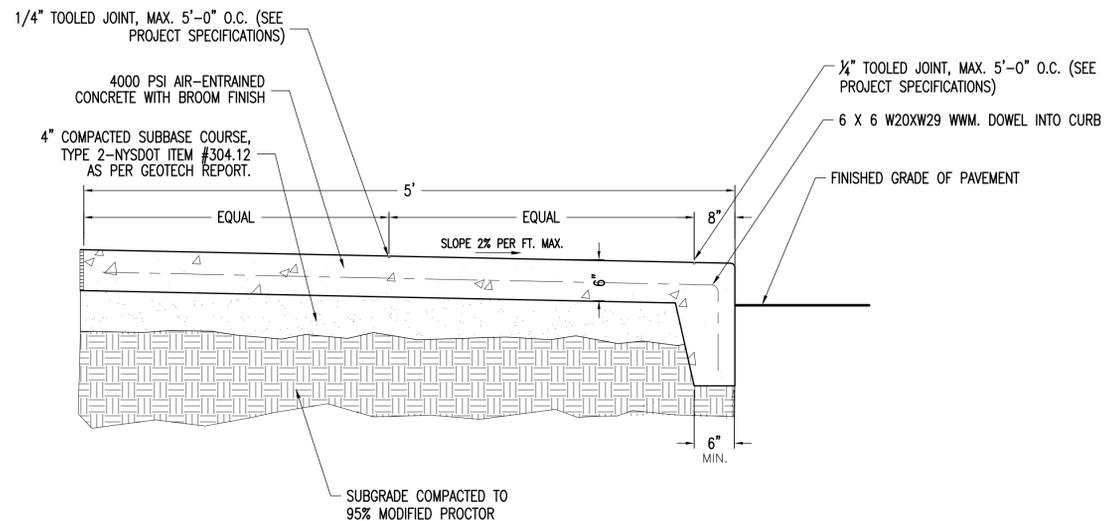
1 **DETAIL: COMPACTOR PAD**
NOT TO SCALE



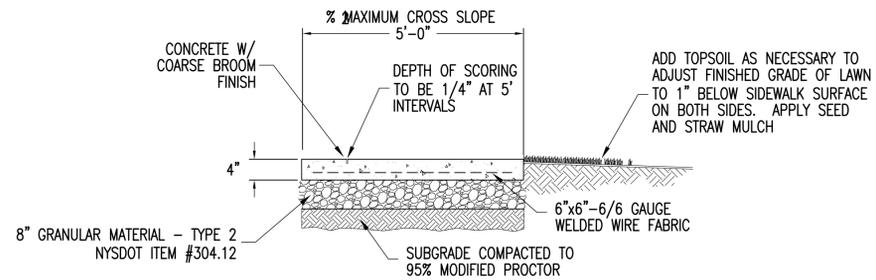
3 **DETAIL: CONCRETE CURB**
NOT TO SCALE



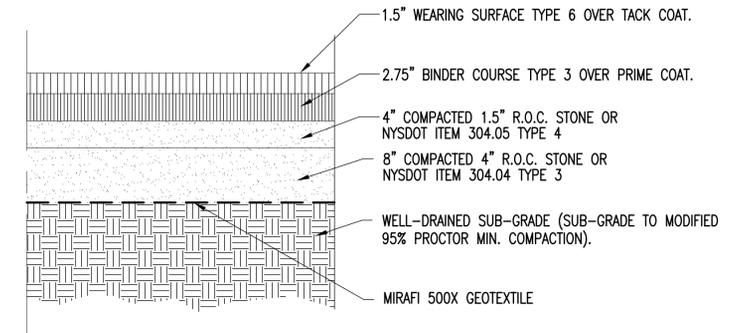
4 **DETAIL: PRECAST CONCRETE PAVERS**
NOT TO SCALE



2 **TYPICAL INTEGRAL CONCRETE CURB & SIDEWALK**
NOT TO SCALE



5 **TYPICAL CONCRETE SIDEWALK SECTION**
NOT TO SCALE



6 **DETAIL: PAVEMENT SECTION DETAIL**
NOT TO SCALE

NOTE:
THIS PAVEMENT SECTION SHALL BE USED FOR ALL DRIVEWAY AND PARKING AREAS.

RUN OF CRUSHER STONE - SHALL BE ANGULAR CRUSHED UNSORTED LIMESTONE. WELL GRADED WITH SUFFICIENT FINES TO FILL ALL VOIDS WHEN COMPACTED. GRADATION SHALL BE AS FOLLOWS:

SIEVE	% PASSING BY WEIGHT	
	SIZE DESIGNATION AS SHOWN ON DRAWING	
	(1-1/2")	(4")
4"		100
3"		90-100
2"		75-90
1-1/2"	100	
1"	90-100	50-70
3/4"	60-80	40-60
1/2"	40-60	25-40
#40	10-40	
#200	0-10	0-10

NOT FOR CONSTRUCTION

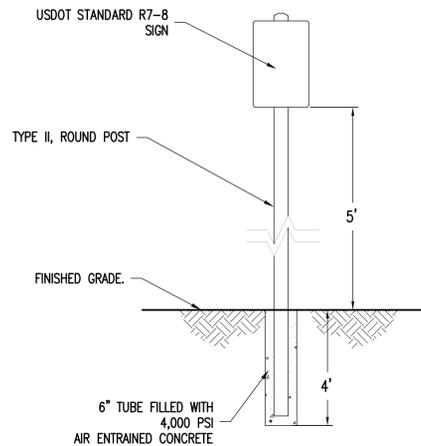
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<p>MISC. DETAILS</p>		<p>DESIGNED BY: GS DATE: 05.16.2011</p>	<p>DWG. NO: SP2.0</p>
		<p>DRAWN BY: RPG</p>	
		<p>CHECKED BY: GS</p>	

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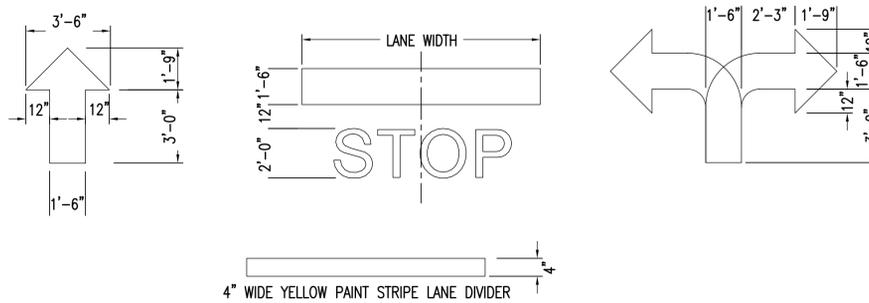


NOTE (R7-8 SIGN) THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER.



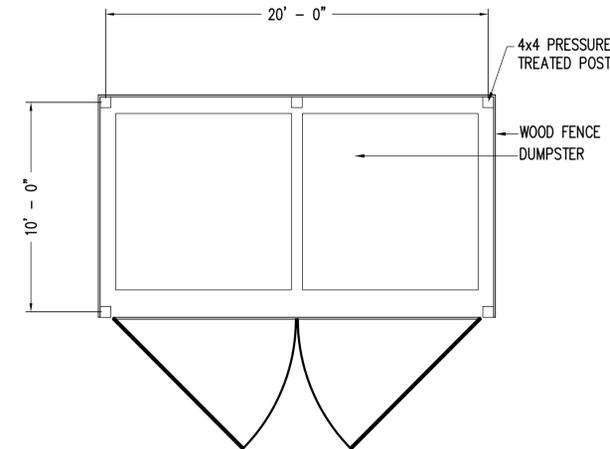
1 ACCESSIBLE SIGNAGE
NOT TO SCALE

- POST SHALL BE MFG. FROM COLD ROLLED STEEL WELDED WITH MIN. YIELD STRENGTH OF 50,000 PSI, AND SHALL HAVE A CORROSION PROTECTION BY A EXTERIOR TRIPPLE COATING CONSISTING OF ZINC APPLIED AFTER WELDING CHROMATE CONVERSION, WITH A CLEAR POLYMER OVERCOAT. (ASTM B117 AND D1735)
- PROVIDE ORNAMENTAL TOP OF GALVANIZED STEEL OR ALUMINUM ALLOY, FIT TO EXCLUDE MOISTURE. SECURE TOP TO POST TO PREVENT REMOVAL.
- PAINTED HANDICAPPED SYMBOL ON PAVEMENT SHALL CONFORM TO THE U.S. DEPARTMENT OF TRANSPORTATION/FHA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLICATION ENTITLED PAVEMENT MARKINGS MUTCD-6-03, IN ACCORDANCE WITH FIGURE 3B-19, "INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING WITH BLUE BACKGROUND AND WHITE BORDER OPTIONS". THE WHITE BORDER IS DISCRETIONARY AND MAY BE ELIMINATED AT THE CONTRACTOR'S OPTION THE BLUE BACKGROUND FIELD SHALL BE 6' SQUARE AND THE HANDICAP SYMBOL PROPORTIONAL IN SIZE USING A 3.5" WIDE BRUSH STROKE.

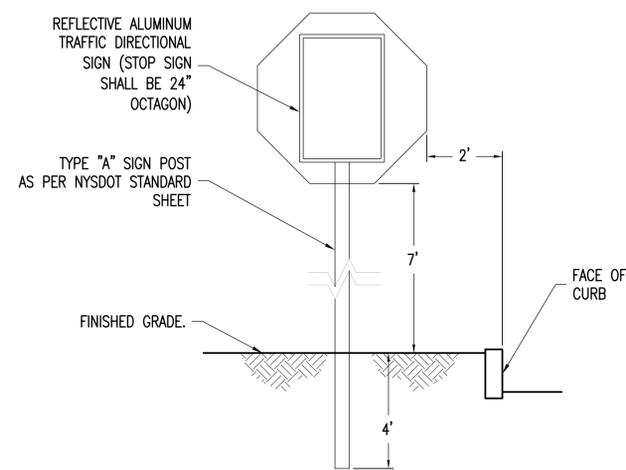


3 DETAIL: PAVEMENT MARKINGS
NOT TO SCALE

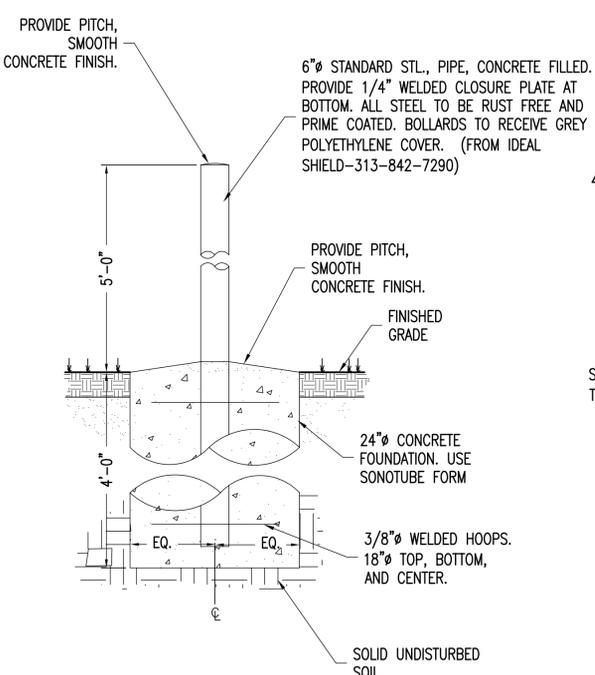
- NOTES:
- PAINT COLOR TO BE "YELLOW" FOR ARROW AND LETTERS. LETTERS TO BE ELONGATED HELEVETICA MEDIUM - 4" WIDE STROKES.



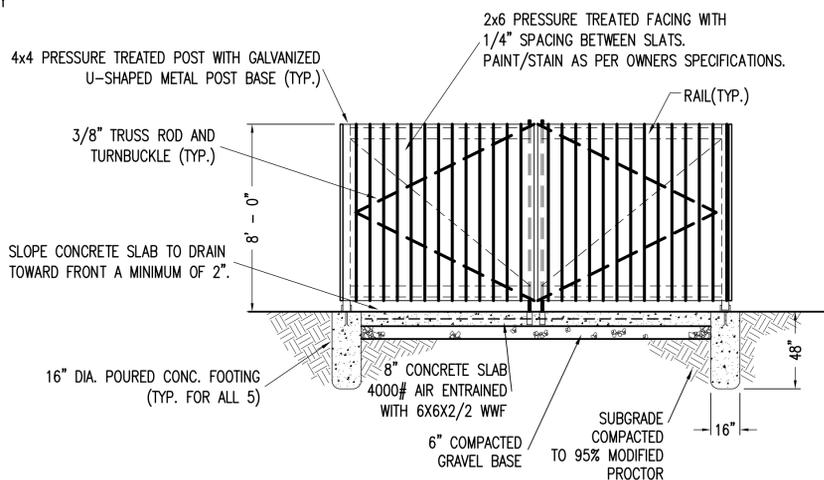
7 DETAIL: DUMPSTER ENCLOSURE - PLAN
NOT TO SCALE



4 TRAFFIC DIRECTIONAL SIGN (FREESTANDING)
NOT TO SCALE

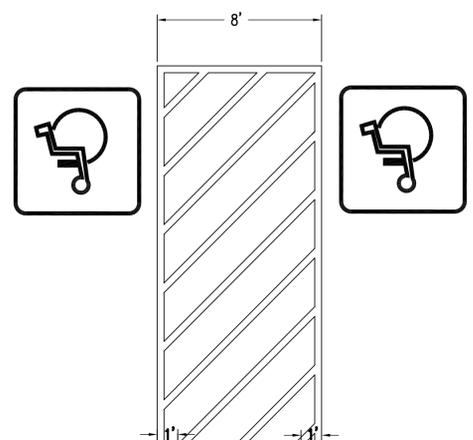


5 DETAIL: TYPICAL PIPE BOLLARD
NOT TO SCALE

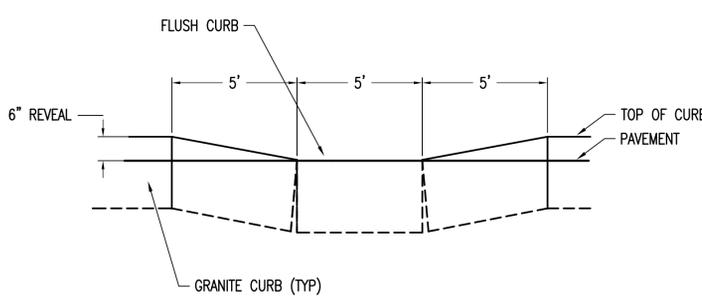


8 DETAIL: DUMPSTER ENCLOSURE - SECTION
NOT TO SCALE

- NOTE:
- ALL HARDWARE TO BE CADMIUM PLATED
 - USE 3" GALVANIZED DECK SCREWS TO ATTACH SLATS TO POSTS AND RAILS
 - 3-4" HINGES PER GATE LEAF



2 PARKING STALL
NOT TO SCALE



6 DETAIL: TYPICAL CURB CUT
NOT TO SCALE

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<p>MISC. DETAILS</p>		<p>DESIGNED BY: GS DATE: 05.16.2011</p>	<p>DWG. NO: SP21</p>
		<p>DRAWN BY: RPG</p>	
		<p>CHECKED BY: GS</p>	

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SANITARY SEWER NOTES

APPLICATION DETAILS AND NOTES PERTAIN TO THIS PROJECT UNLESS OTHERWISE NOTED

- SANITARY SEWER MAIN PIPE SHALL BE 8" ASTM D-3034 SDR-35 PVC WITH RUBBER RING GASKETS.
- SANITARY SEWER LATERALS TO BE 6" SDR-35 PVC WITH RUBBER RING GASKET.
- STANDARD LEAKAGE AND DEFLECTION TESTS REQUIRED ON ALL SEWER MAINS AS PER ONONDAGA COUNTY DEPARTMENT OF DRAINAGE AND SANITATION REGULATIONS.
- SANITARY SEWER SYSTEM, INCLUDING MANHOLES SHALL BE AIR TESTED AFTER THE INSTALLATION OF THE WATER MAINS AND SERVICES.
- ALL SANITARY SEWER STRUCTURES, TEMPORARY STUBBED ENDS AND LATERAL ENDS SHALL BE MARKED WITH 2"x4's EXTENDING 3' ABOVE FINISHED GRADE WITH TOPS PAINTED GREEN.
- SANITARY SEWER LATERAL LOCATIONS TO BE PROVIDED BY DEVELOPER'S ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL RECORD AND PROVIDE ENGINEER WITH AS-BUILT LOCATIONS AND DEPTHS OF ALL SANITARY SEWER LATERAL ENDS.
- THE MINIMUM SLOPE FOR SEWER LATERALS TO BE 2% (1/4" PER FT.).
- COMPACTION OF ALL BACKFILL MATERIALS REQUIRED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN AREAS UNDER PROPOSED PAVEMENT. BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED IN MAXIMUM 8" LIFTS.
- LINING MATERIAL FOR PIPE TO BE R.O.B. OR R.O.C. MEETING THE FOLLOWING GRADATION:

% PASSING	SQUARE OPENING
100	1-1/2
50-60	1/4
0-10	#200

- MANHOLES SHALL BE 4' DIAMETER PRECAST CONCRETE WITH H-20 LOADING.

STORM SEWER NOTES

- CATCH BASIN AND OUTLET STRUCTURE SHALL BE 2' DIAMETER, UNLESS OTHERWISE NOTED.
- STORM SEWER PIPING TO BE CORRUGATED SMOOTH BORE POLYETHYLENE PIPE IN ACCORDANCE WITH N.Y.S.D.O.T. ITEM 18903.97 AND AASHTO-M252 & M294.
- LINING MATERIALS AND SPECIAL BACKFILL TO BE R.O.B. OR R.O.C. MATERIAL (N.Y.S.D.O.T. SECTION 304-2.02 TYPE 4), MEETING THE FOLLOWING GRADATIONS:

SIEVE SIZE	% PASSING BY WEIGHT
2"	100
1/4"	30-50
#40	5-40
#200	0-10

- GRANULAR FILTER MATERIAL TO BE N.Y.S.D.O.T. SECTION 605-2.02 TYPE 1, MEETING THE FOLLOWING GRADATIONS:

SIEVE SIZE	% PASSING BY WEIGHT
1"	100
1/2"	30-100
1/4"	0-30
#10	0-10
#20	0-5

- RIP-RAP SHALL BE UNIFORMLY HARD, DURABLE, AND ANGULAR FIELD OR QUARRIED LIMESTONE WITH A MINIMUM DENSITY OF 150 LB/CF. THE RATIO OF THE MINIMUM DIMENSION TO THE MAXIMUM DIMENSION OF EACH PIECE TO BE AT LEAST 0.6. RIP-RAP SHALL BE COMPOSED OF A WELL GRADED MIXTURE OF PRIMARILY LARGER STONE SIZES WITH A SUFFICIENT MIXTURE OF SMALLER SIZES TO FILL THE VOIDS. UNLESS OTHERWISE NOTED IN THESE PLANS, SUPPLEMENTAL SPECIFICATIONS, OR UNLESS OTHERWISE DIRECTED, RIP-RAP SIZES SHALL BE AS FOLLOWS:

MAX. DIMENSION OF STONE	% OF MIX BY WEIGHT
18"-24"	20
12"-18"	50
8"-12"	20
4"-8"	10

NOT FOR CONSTRUCTION

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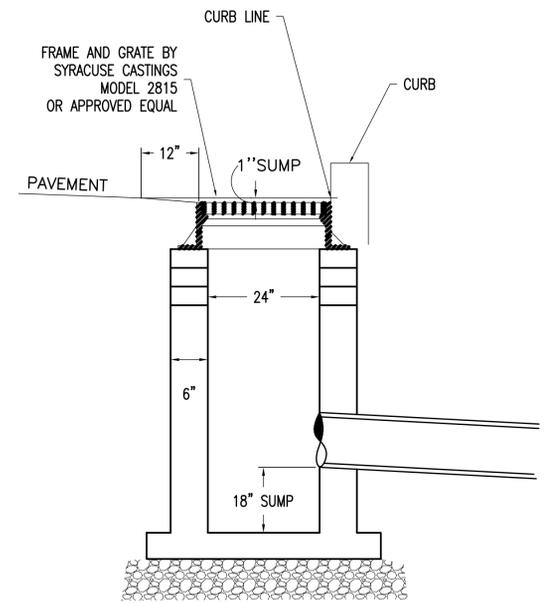
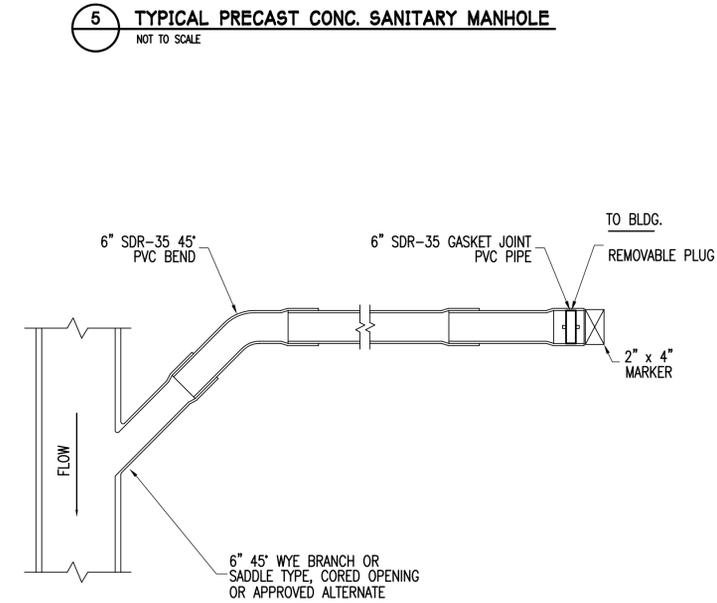
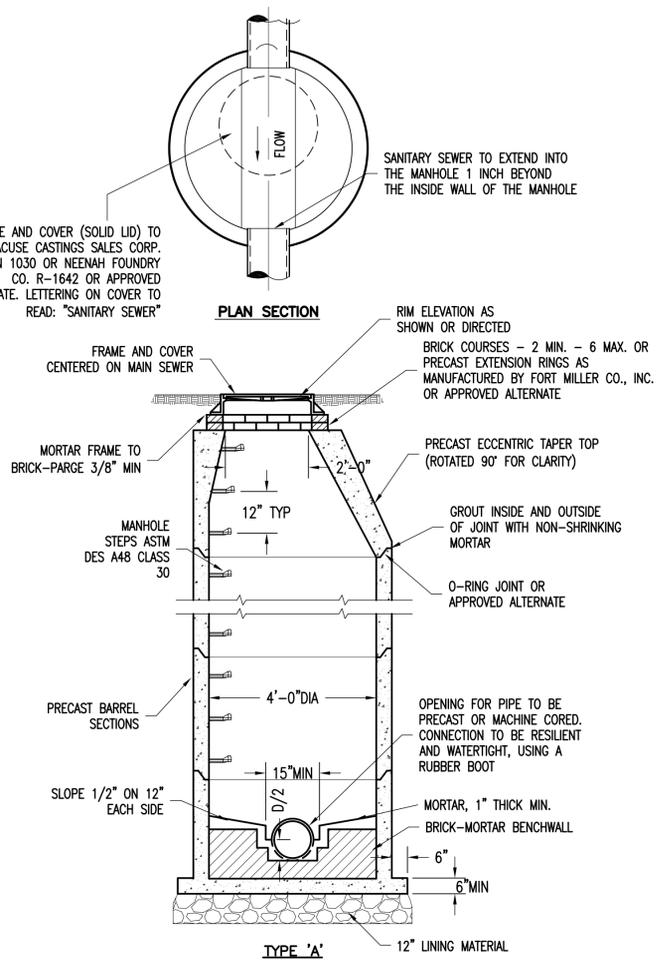


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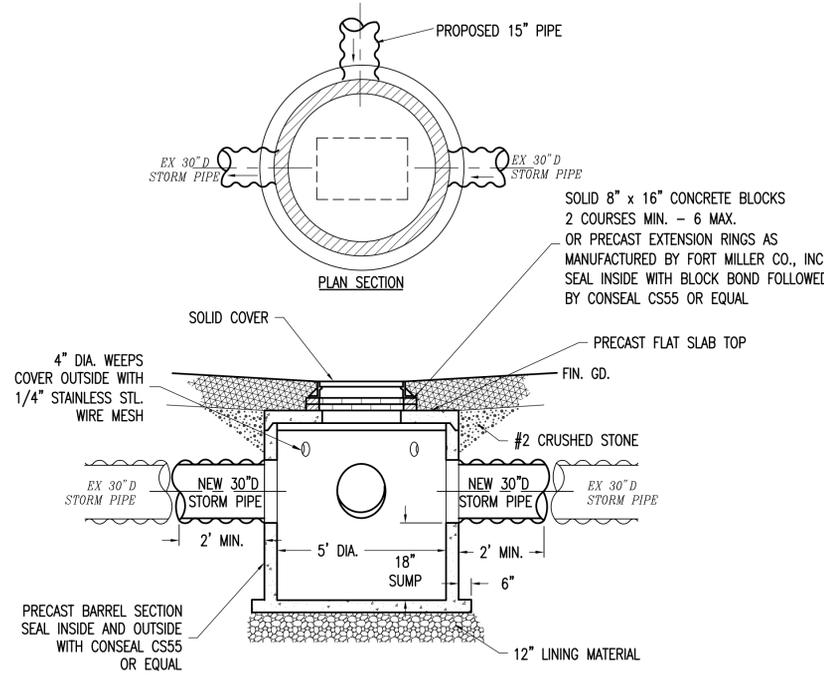
NO.	DATE	REVISION	BY

WATERTOWN, NY
ARSENAL ST/ I-81
WATERTOWN CITY CENTER PLAZA

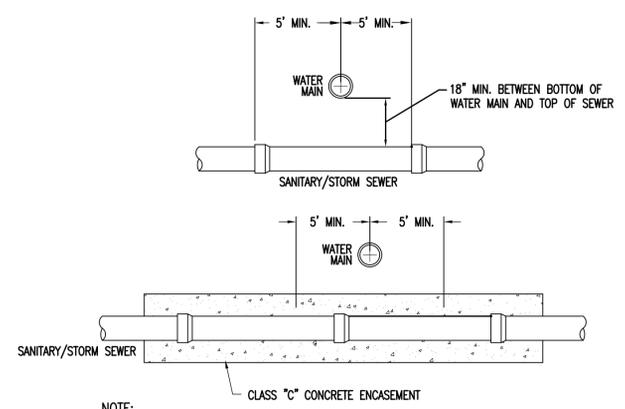
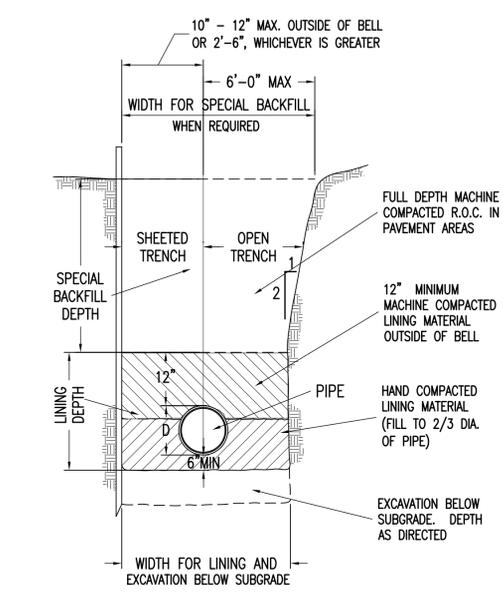
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DESIGNED BY: GS	DATE: 05.16.2011
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CHECKED BY: GS	SP2.2



- NOTES:**
- INLET SHALL BE 24"x24" CONCRETE PRECAST STRUCTURE BY FORT MILLER OR EQUAL.
 - INLET ADJUSTMENT FOR 6" OR GREATER SHALL BE WITH PRECAST CONCRETE RINGS.
 - INLET FRAMES AND GRATE TO BE EITHER GRAY, MALLEABLE, OR DUCTILE IRON.
 - ALL INLETS SHALL HAVE A MINIMUM 18" SUMP.
 - MANHOLES STEPS REQUIRED IN ALL INLET OVER 5' DEEP.
 - THE INTERIOR OF ALL INLETS TO BE PAINTED WITH LINSEED OIL TO PROTECT THE CONCRETE FROM ROAD SALT.

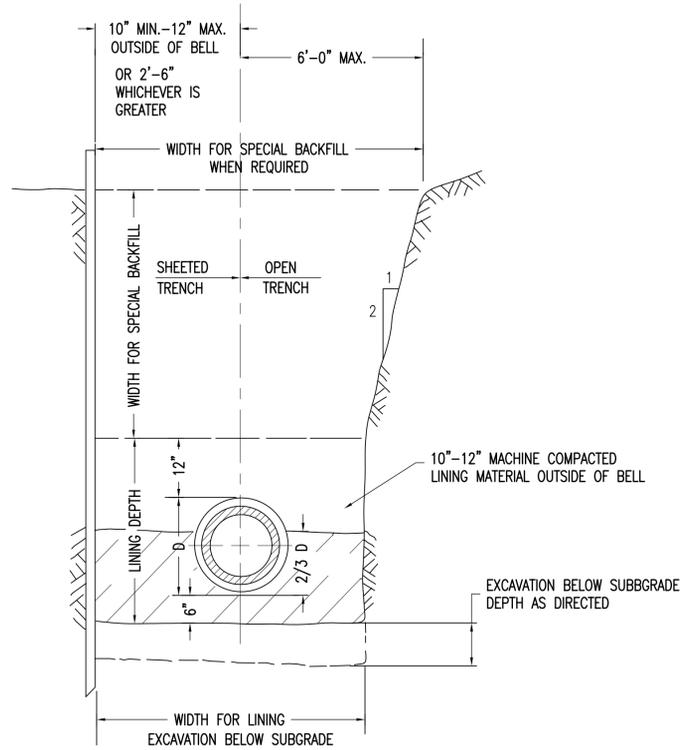


- CATCH BASIN 1 SHALL BE A 5-FOOT DIAMETER BASIN WITH 18 INCH SUMP INSTALLED IN LINE WITH THE EXISTING 30-INCH STORM SEWER.

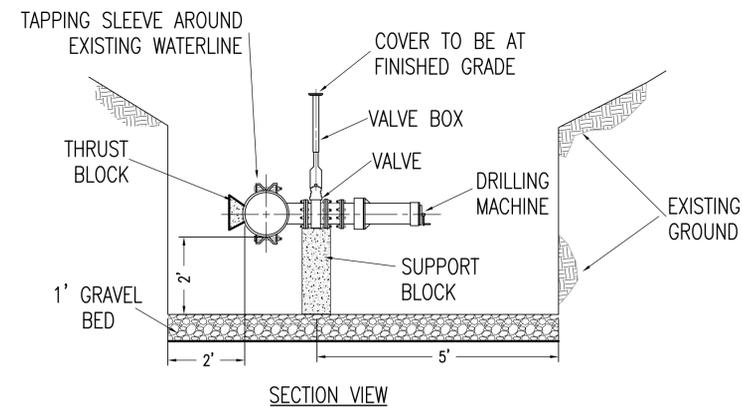


NOTE:
IF DISTANCE FROM WATER MAIN TO SEWER JOINT IS LESS THAN 5 FEET MINIMUM, THEN ALL SEWER JOINTS WITHIN 10 FEET MUST BE ENCASED IN CONCRETE. (CONCRETE MUST BE LAID UP TO NEXT BELL OR COLLAR BEYOND THE 5 FEET MIN.)

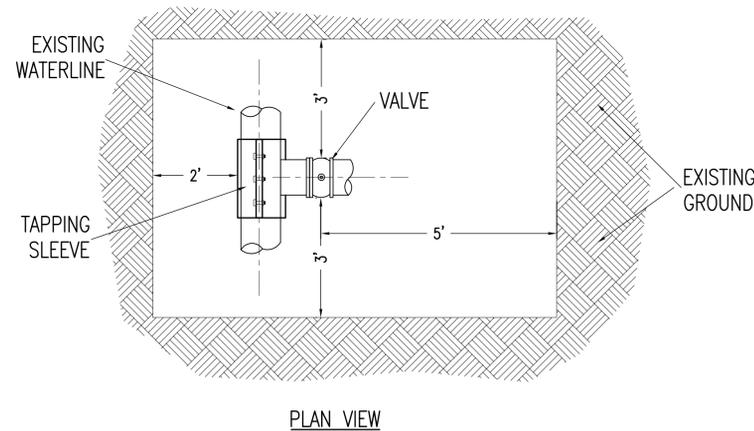
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1
C3.3
DETAIL: TRENCH AND LINING
NOT TO SCALE



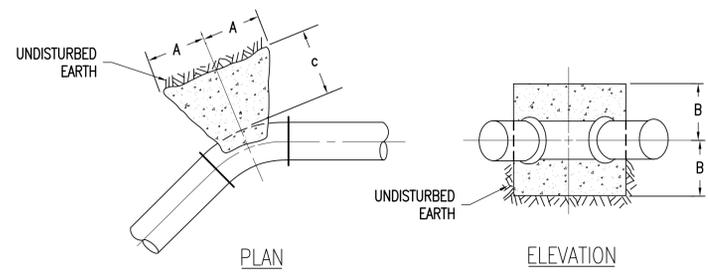
SECTION VIEW



PLAN VIEW

2
C3.3
DETAIL: TAPPING SLEEVE AND VALVE
NOT TO SCALE

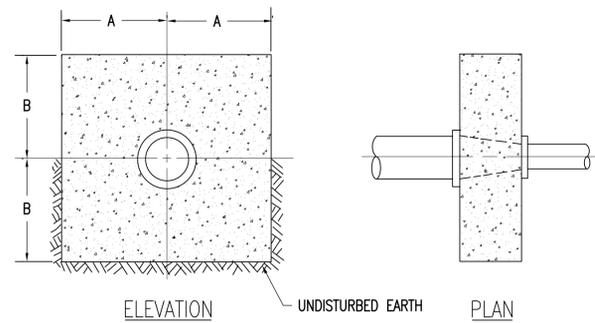
CONCRETE ANCHOR & THRUST BLOCK DIMENSIONS																
SIZE	12"			10"			8"			6"			4" and smaller			
	A	B	C	A	B	C	A	B	C	A	B	C	A	B	C	
BEND	90	3'-0"	3'-0"	3'-0"	2'-6"	2'-6"	2'-6"	2'-0"	2'-0"	2'-0"	1'-6"	1'-6"	1'-6"	1'-0"	1'-0"	1'-0"
	45	2'-2"	2'-2"	2'-2"	1'-10"	1'-10"	1'-10"	1'-6"	1'-6"	1'-6"	1'-2"	1'-2"	1'-2"	0'-9"	0'-9"	0'-9"
	22 1/2	1'-6"	1'-6"	1'-6"	1'-4"	1'-4"	1'-4"	1'-0"	1'-0"	1'-0"	0'-9"	0'-9"	0'-9"	0'-6"	0'-6"	0'-6"
	11 1/4	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	0'-9"	0'-9"	0'-9"	0'-6"	0'-6"	0'-6"	0'-6"	0'-6"	0'-6"
A.C. CAP OR PLUG		2'-6"	2'-6"	2'-6"	2'-0"	2'-0"	2'-0"	1'-8"	1'-8"	1'-8"	1'-3"	1'-3"	1'-3"	1'-0"	1'-0"	1'-0"
A.C. ANCHOR		2'-6"	2'-6"	3'-0"	2'-0"	2'-0"	3'-0"	1'-8"	1'-8"	3'-0"	1'-3"	1'-3"	3'-0"	1'-0"	1'-0"	3'-0"
C.I. ANCHOR		3'-6"	2'-6"	1'-0"	3'-6"	2'-0"	1'-0"	3'-0"	1'-6"	1'-0"	1'-3"	1'-3"	1'-0"	2'-3"	1'-0"	1'-0"
T.S. & V., TEE BRANCH SIZE		2'-6"	2'-6"	2'-6"	2'-0"	2'-0"	2'-0"	1'-8"	1'-8"	1'-8"	1'-3"	1'-3"	1'-3"	1'-0"	1'-0"	1'-0"
REDUCER 12" x					1'-3"	1'-3"		1'-10"	1'-10"		2'-0"	2'-0"		2'-3"	2'-3"	
	10" x							1'-3"	1'-3"		1'-8"	1'-8"		2'-0"	2'-0"	
	8" x										1'-0"	1'-0"		1'-4"	1'-4"	
	6" x													0'-10"	0'-10"	



PLAN

ELEVATION

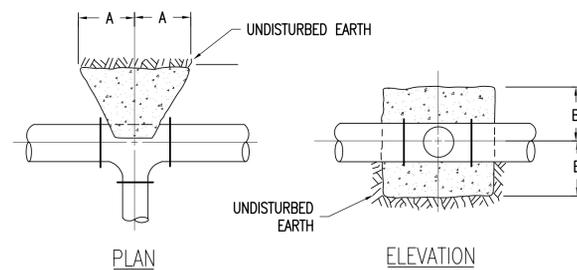
BEND



ELEVATION

PLAN

REDUCER

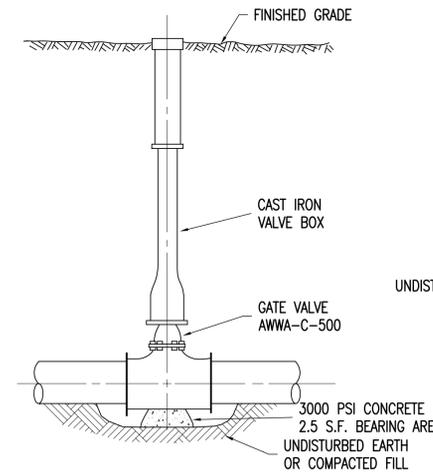


PLAN

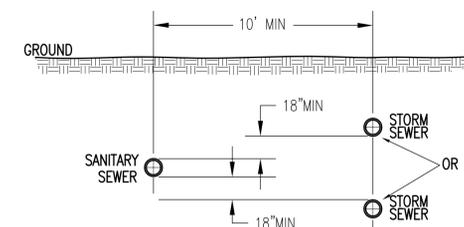
ELEVATION

TEE & T.S.&V.

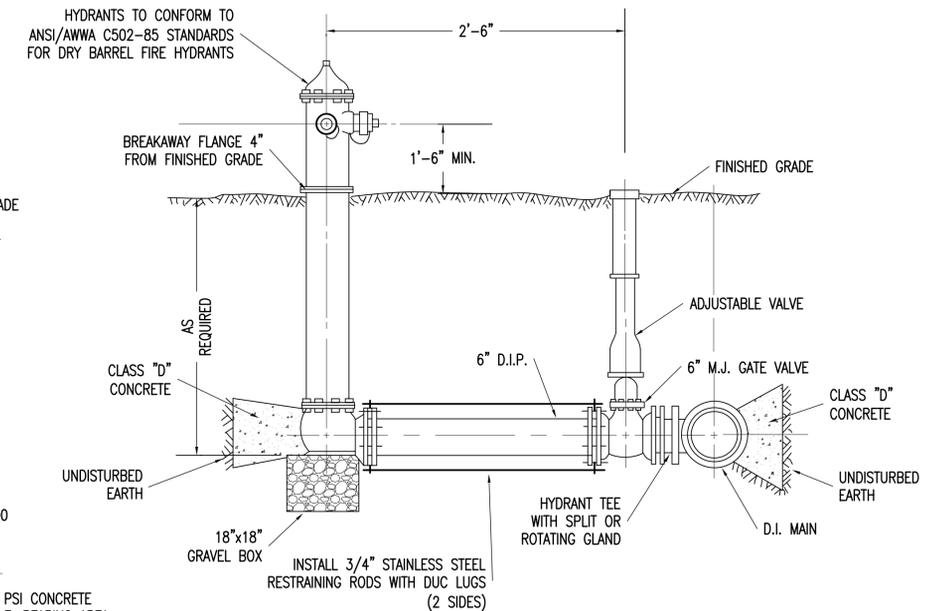
3
C3.3
DETAIL: THRUST BLOCK
NOT TO SCALE



4
C3.3
DETAIL: GATE VALVE
NOT TO SCALE



5
C3.3
DETAIL: SANITARY & STORM SEWER CROSSING
NOT TO SCALE



2
C3.3
DETAIL: TYPICAL HYDRANT
NOT TO SCALE

- NOTE:
- ALL UNDERGROUND MECHANICAL JOINT TYPE PIPE HARDWARE SHALL BE CONSTRUCTED OF CORROSION RESISTANT MATERIAL.
 - HYDRANT NOZZLE TO BE ALIGNED PERPENDICULAR TO STREET.
 - PEA GRAVEL OR NO.3 CRUSHED STONE (1/2 CU. YD.) TO BE PLACED AROUND HYDRANT DRAIN.
 - HYDRANT TO CONFORM TO ANSI/AWWA C502-85 STANDARDS FOR DRY-BARREL FIRE HYDRANTS.

NOT FOR CONSTRUCTION

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WATERTOWN, NY ARSENAL ST/ I-81 WATERTOWN CITY CENTER PLAZA		NO. DATE REVISION BY
SCALE: AS NOTED	FILE NO.: 1174.012	
DESIGNED BY: GS	DATE: 05.16.2011	
DRAWN BY: RPG	DWG. NO:	
CHECKED BY: GS	SP23	

WATER DETAILS

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GENERAL NOTES:

1. ELEVATIONS REFER TO U.S.G.S. DATUM AND ARE TAKEN FROM A SURVEY DATED MAY 9, 2011 FROM LAFAVE, WHITE& MCGIVERN, L.S., P.C.
2. "D.S.N.Y." TO BE CONTACTED 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
3. LOCATION OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY TEST EXCAVATIONS TO DETERMINE ACTUAL LOCATIONS. THERE MAY BE OTHER UTILITIES NOT SHOWN, THE LOCATION OF WHICH IS UNKNOWN.
4. THE CONTRACTOR SHALL:
 - A. VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES.
 - B. EXAMINE THE SITE AND INCLUDE IN HIS/HER WORK THE EFFECT OF ALL EXISTING CONDITIONS ON THE WORK.
 - C. PROVIDE AND INSTALL ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH RECOGNIZED GOOD STANDARD PRACTICE.
 - D. HOLD THE OWNER HARMLESS AGAINST ANY AND ALL CLAIMS ARISING FROM WORK DONE BY THE CONTRACTOR ON SITE.
 - E. CONTRACTOR SHALL COMPLY WITH NEW YORK DEPARTMENT OF PUBLIC SERVICE, 16NYCRR PART 753, EFFECTIVE FEBRUARY 5, 1997.
5. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK.
6. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. PIPE MATERIALS, BACKFILL REQUIREMENTS AND OTHER DATA RELATIVE TO CONSTRUCTION PROCEDURES CAN BE FOUND ON DETAIL SHEET C3.0 AND C3.1.
8. ALL AREAS DISTURBED BY THE CONSTRUCTION, UNLESS OTHERWISE NOTED, SHALL RECEIVE 6" OF TOPSOIL, BE FINE GRADED, SEEDED AND MULCHED.
9. PROPOSED GRADING IS LIMITED TO THAT SHOWN ON THIS PLAN. ANY ADDITIONAL GRADING WILL REQUIRE A SEPARATE GRADING PERMIT.
10. THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT EXPRESSED APPROVAL OF THE ENGINEER.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS AND COORDINATE WORK WITH ALL OTHER CONTRACTS FOR THE SITE.
12. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS.
13. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO EXAMINE ANY WORK DONE ON THIS PROJECT AT ANY TIME TO DETERMINE THE CONFORMANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OF THIS PROJECT.
14. ALL WORK AND MATERIALS CONTEMPLATED UNDER THIS PROJECT WITHIN THE CITY OF WATERTOWN RIGHT-OF-WAY IS TO BE COVERED BY AND IN CONFORMITY WITH THE STANDARDS AS INDICATED BY THE CITY OF WATERTOWN FOR THE CONSTRUCTION OF DRIVEWAYS. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC IN AREAS IN ACCORDANCE WITH THE NYSOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND SECTION 619 OF NYSOT'S STANDARD SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK, LANE CLOSURES, AND DISRUPTIONS WITH THE OWNER AND OTHER GOVERNING AGENCIES.
15. ALL PROPOSED UTILITIES AND APPURTENANCES TO BE CONSTRUCTED IN COMPLIANCE WITH THE LOCAL MUNICIPALITIES' CODES AND REGULATIONS GOVERNING THE INSTALLATION OF SUCH UTILITIES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUTS. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS-BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES, AND INVERTS. AS-BUILT PLANS SHOWING ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED SHALL BE REVIEWED BY THE OWNER AND OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE ANY CORRECTIONS OR OMISSIONS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE BEFORE UTILITIES WILL BE ACCEPTED.
17. MAINTAIN FLOW FOR ALL EXISTING UTILITIES, CULVERTS, AND DITCHES. ROADSIDE DRAINAGE TO BE MAINTAINED AT ALL TIMES. CONTRACTOR TO GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE.
18. ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE UTILITY OWNER. NOTIFY THE OWNER'S REPRESENTATIVE AND THE UTILITY OWNER 72 HOURS BEFORE EACH AND EVERY CONNECTION TO EXISTING SYSTEMS ARE MADE. RIMS, GRATES, INVERTS, CLEARANCES, AND LOCATION AT CROSSINGS MUST BE VERIFIED PRIOR TO THE BEGINNING OF CONSTRUCTION. BEFORE CONSTRUCTING LINES TO CONNECT EXISTING UTILITIES OR UTILITIES UNDER OTHER CONTRACTS, VERIFY EXISTING UTILITY INVERTS AND NOTIFY OWNER'S REPRESENTATIVE IF ANY VARIATION FROM THE PLANS IS REQUIRED.
19. ALL FRAMES/COVERS, CASTINGS, VALVE BOXES, ETC. WITHIN PAVED AREAS SHALL HAVE THE TOPS SET FLUSH WITH FINISHED GRADE. IN LANDSCAPED AREAS, ALL FRAMES SHALL BE 0.2' ABOVE GRADE OR AS INDICATED IN THESE PLANS.
20. ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH THE LATEST REVISIONS OF NEW YORK STATE INDUSTRIAL CODE RULE 23 AND OSHA REGULATIONS FOR CONSTRUCTION. SHEET PILING SHALL BE DESIGNED BY A NEW YORK STATE PROFESSIONAL ENGINEER.
21. WHEN BACKFILLING AROUND PROPOSED OR EXISTING STRUCTURES, MATERIAL SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.
22. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL COMMERCIAL, RESIDENTIAL, AND PUBLIC PROPERTIES WHENEVER POSSIBLE OR AS DIRECTED BY THE ENGINEER.
23. ALL EXCAVATIONS SHALL BE BACKFILLED TO EXISTING GRADE AT THE END OF EACH WORK DAY.
24. THE CONTRACTOR SHALL RESTORE LAWNS, DRIVEWAYS, CULVERTS, SIGNS AND OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD A CONDITION AS BEFORE BEING DISTURBED AS DETERMINED BY THE OWNER'S REPRESENTATIVE. ANY DAMAGED TREES, SHRUBS, HEDGES, AND/OR SIGNS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
25. THE CONTRACTOR IS TO EXERCISE ALL POSSIBLE CAUTION IN WORK IN THE VICINITY OF EXISTING TREES TO REMAIN.
26. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER SUPERVISION OF A NEW YORK STATE LICENSED SURVEYOR.
27. ALL ROADS SHALL BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES. CLEAN AND SWEEP ALL EXISTING AND NEW PAVEMENTS AND/OR LANES AS PART OF THIS PROJECT PRIOR TO OPENING TO TRAFFIC.
28. MATERIALS, EQUIPMENT AND VEHICLES ARE NOT TO BE STORED OR PARKED WITHIN ANY HIGHWAY RIGHT-OF-WAY.
29. UNLESS SPECIFICALLY NOTED ALL DIMENSIONS SHOWN FOR ROADWAYS AND PARKING AREAS ARE TO FACE OF CURB.

NOT FOR CONSTRUCTION

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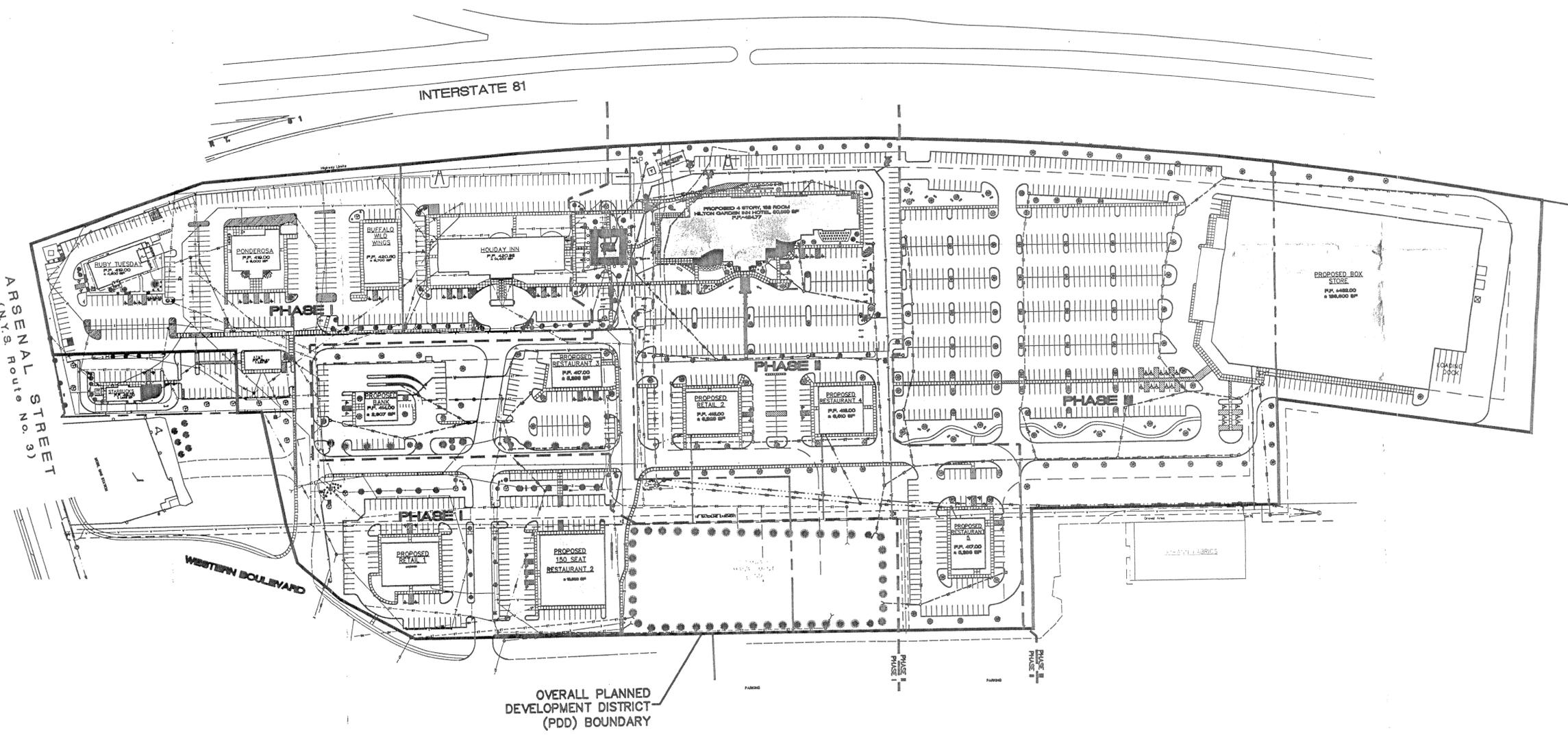
 <p>DUNN & SGROMO ENGINEERS E. SYRACUSE, NEW YORK 5800 HERITAGE LANDING DRIVE (315)449-4940 (315)449-4941 FAX</p>	 <p>IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER A LICENSED, REGISTERED ENGINEER, TO ALTER AN ITEM ON THIS DOCUMENT IN ANY WAY. ©DUNN & SGROMO ENGINEERS - 2011 ALL RIGHTS RESERVED</p>	NO. DATE REVISION BY	
WATERTOWN, NY ARSENAL ST/ I-81 WATERTOWN CITY CENTER PLAZA		SCALE: AS NOTED	FILE NO.: 1174.012
GENERAL NOTES		DESIGNED BY: GS	DATE: 05.16.2011
		DRAWN BY: RPG	DWG. NO: SP24
		CHECKED BY: GS	



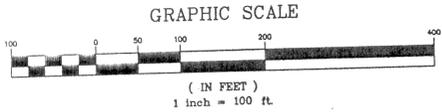
PROJECT LOCATION MAP: 1"=2000'±

LEGEND	EXISTING	PROPOSED
5' CONTOUR	—420—	
1' CONTOUR	—417—	
SETBACK	=====	
EASEMENT	=====	
MARGIN	=====	
PROPERTY LINE	=====	
EDGE OF PAVEMENT	=====	
CURBED ROAD	=====	
BUILDING	=====	=====
PHASE BOUNDARY	=====	=====
ELEC LINE	-----	-----
SEWER LINE	-----	-----
FORCE MAIN	-----	-----
STORM LINE	-----	-----
WATER LINE	-----	-----
LIGHT POLE	⊙	⊙
TREE	⊙	⊙
SHRUB	⊙	⊙
PLANTING	⊙	⊙
SEWER MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
WATER VALVE	⊙	⊙
HYDRANT	⊙	⊙
CATCH BASIN	⊙	⊙
BENCH	⊙	⊙

PREVIOUSLY APPROVED		SIGNAGE	
	SF	PROPOSED	SF
Holiday Inn Express	600	Hilton Garden Inn Hotel	600
Ruby Tuesday	300	Future Retail 1 (Phase 1)	300
Ponderosa	300	Future Restaurant 2 (Phase 1)	300
Starbucks	300	Future Restaurant 4 (Phase 2)	300
AT&T	300	Future Restaurant 5 (Phase 2)	300
Future Retail (Big Box)	800	Future Retail 2 (Phase 2)	300
Buffalo Wild Wings	300	Total	2100
Future Facility at SMP 1A (Bank)	300		
Future Facility at SMP 1B (Rest 3)	300		
Total	3500		

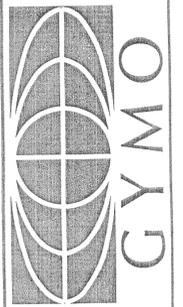


OVERALL PLANNED DEVELOPMENT DISTRICT (PDD) BOUNDARY



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NOT FOR CONSTRUCTION

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ENGINEERING &
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230 STERLING STREET
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A LICENSED PROFESSIONAL ENGINEER OR
A LICENSED PROFESSIONAL ENGINEER OF
LAND SURVEYING TO ALTER THE OFFICIAL
DOCUMENT IN ANY WAY. IF ALTERED,
SUCH LICENSEE SHALL NOTIFY THE OFFICE OF
SEALED AND THE NOTATION "ALTERED BY"
FOLLOWED BY HIS OR HER SIGNATURE,
DATE AND A SPECIFIC DESCRIPTION OF
ALTERATION.

OVERALL PLANNED DEVELOPMENT
WATERTOWN CITY CENTER PLAZA
ARSENAL STREET/1-81
CITY OF WATERTOWN, NEW YORK

Project No: 2009-215E
Scale: As Noted
Date: 1/26/10
Drawn By: RGC
Designed By: RGC
Checked By: PJS
Date issued: 3/29/10
Drwg. No.

OPD1

Approved April 19, 2010 by C.C.



5 GUYS BUILDING
WATERTOWN, NEW YORK

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