

JOSEPH L. THESIER, P.E.

December 21, 2012

BERNARD H. BROWN, A.I.A.

RICK W. TAGUE, A.I.A.

PAMELA S. BEYOR, A.I.A.

MICHAEL J. HARRIS, A.I.A.,
LEED, A.P.

KRIS D. DIMMICK, P.E., PWLF

MICHAEL F. PECK, P.L.S.

GERALD A. KOSTYK, P.L.S.

MARI L. CECIL, A.I.A., C.S.I.

MICKEY G. LEHMAN, P.E.

MATTHEW J. COOPER, P.E.

JASON S. JANTZI, A.I.A., C.S.I.

MARK B. KIMBALL, P.E.,
LEED GREEN ASSOCIATESHAWN M. TRAVERS, R.A.,
LEED GREEN ASSOCIATE

City of Watertown
 Planning Board
 245 Washington Street
 Watertown, New York 13601

Re: Proposed Expansion of Community Bank Branch
 1125 Arsenal Street
 Watertown, NY



Dear Sir/Madam:

The proposed project for Community Bank is to add (2) small additions to the existing bank building. The existing flat/mansard roof will be changed to a pitched roof and modifications will be made to the drive-up and ATM lanes.

Should you require any additional information, please do not hesitate to contact me at (315) 782-8130.

Respectfully submitted,

BERNIER CARR & ASSOCIATES

Rick W. Tague, A.I.A.
 President

RWT:lr
 Enclosure



327 MULLIN STREET
 WATERTOWN, NY 13601
 TEL. (315) 782-8130
 FAX (315) 782-7192

WWW.THEBCGROUP.COM

JUSTWATER LLC

P.O. BOX 248

RIVERSIDE, CT. 06878-0248

Phone: 203-978-1566

Fax: 203-978-0441

November 6, 2012

City of Watertown
Planning Board and Zoning Board of Appeals
245 Washington Street
Watertown, NY 13601

Re: Proposed expansion of Community Bank Branch, 1125 Arsenal Street (Flanigan Plaza)

Dear Sir/Madam:

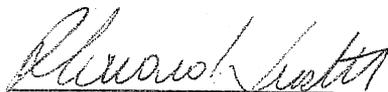
Justwater LLC is the owner of the above referenced property.

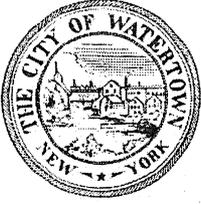
This letter shall confirm that Community Bank and/or anyone representing Community Bank is authorized to appear on our behalf and to submit and process applications for the proposed addition to and expansion of the current bank branch building located on this site and to file any and all related applications relative to the expansion of the bank in accordance with the plan and renderings attached hereto. We support this application and believe that it will be an improvement to the shopping center.

Should you require any additional information, please do not hesitate to contact me at 203-978-1566.

Sincerely,

Owner:
Justwater LLC


Howard Juster, Member



1869

CITY OF WATERTOWN SITE PLAN APPLICATION PROCESS

The applicant is responsible for completeness of application and inclusion of all required information.

****INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED****

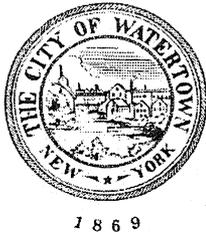
In order to expedite the Site Plan review process, all applicants are encouraged to have a pre-application meeting with Planning & Engineering staff. Staff can be reached at (315) 785-7740.

In the interest of expediting site plan approvals, the City of Watertown wishes to advise you of the procedures in applying for these referrals:

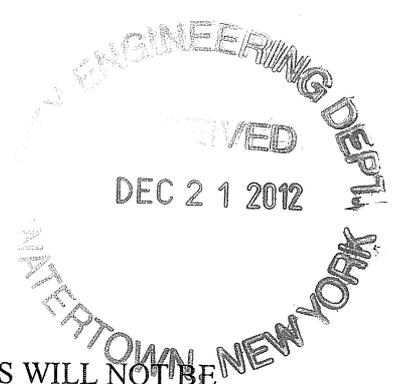
A. Fill out the Site Plan / Site Plan Waiver - Determination Flow Chart below:

1. Is the use a one, two, or three family dwelling?
 YES (Site Plan Review is **not** required. You may apply directly for Building Permit.)
 NO (Go to question 2)
2. Is your building or parking lot construction or expansion less than or equal to 400 sq. ft.?
 YES (Site Plan Review is not required. You may apply directly for Building Permit.)
 NO (Go to question 3)
3. Does your building or parking lot construction or expansion exceed 2500 sq. ft.?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (Go to question 4)
4. Is your proposed building the first on the lot?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (Go to question 5)
5. Does your project involve a change in the property boundaries?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (Go to question 6)
6. Does your building or parking lot construction or expansion change or impair the overall grading, circulation, drainage, utility services, and appearance and visual effect of the property?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (*Site Plan Waiver allowed. Submit the Site Plan Waiver Form.)

* The City of Watertown Planning Board reserves the right to require Site Plan Review.



**CITY OF WATERTOWN
SITE PLAN WAIVER
AND
SHORT ENVIRONMENTAL
ASSESSMENT FORM, PART 1**



** Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in **not** making the agenda for the upcoming Planning Board meeting.

PROPERTY LOCATION

Proposed Project Name: Community Bank Arsenal Street Plaza
Tax Parcel Number: 9-16-121
Property Address: 1125 Arsenal Street
Existing Zoning Classification: Commercial

OWNER OF PROPERTY

Name: Justwater LLC Howard Juster
Address: P.O. Box 248
Riverside, CT 06878-0248
Telephone Number: (203) 978-1566
Fax Number: _____

APPLICANT

Name: Community Bank Charles Foster
Address: P.O. Box 649
Ogdensburg, NY 13669
Telephone Number: (315) 393-3504
Fax Number: _____
Email Address: chuck.foster@communitybankna.com

ENGINEER / ARCHITECT / LAND SURVEYOR

Name: Rick W. Tague, A.I.A.
Address: Bernier Carr & Associates
327 Mullin Street Watertown, NY 13601
Telephone Number: (315) 782-8130
Fax Number: (315) 782-7192
Email Address: rtague@thebcgroup.com

PROJECT DESCRIPTION

Describe project and proposed use briefly:

Construct (2) small additions on the north and south
ends of the existing bank building (total additions
1,050 sq.ft.). Change the existing flat/mansard
roof to a pitched roof.

Proposed building area: 1st Floor 2,800 Sq. Ft.
2nd Floor _____ Sq. Ft.
3rd Floor _____ Sq. Ft.
Total 2,800 Sq. Ft.



Area of building to be used for the boiler room, heat facilities, utility facilities
and storage: _____ N/A Sq. Ft.

Number of parking spaces proposed: N/A

Construction Schedule: Spring/summer 2013

Hours of Operation: 8 am to 5 p.m. (no change)

Volume of traffic to be generated: no change ADT

REQUIRED DRAWINGS:

** The following drawings with the listed information **ARE REQUIRED, NOT OPTIONAL**. If the required information is not included and/or addressed, the Site Plan Application will **not** be processed.

ELECTRONIC COPY OF ENTIRE SUBMISSION (PDF preferred)

SITE PLAN SKETCH

Pertinent existing above ground features are shown and labeled including, but not limited to, buildings, parking spaces, driveways, sidewalks, streets etc.

All proposed above ground features are shown and clearly labeled "proposed".

Land use, zoning, & tax parcel number are shown.

The Plan is adequately dimensioned including radii.

All vehicular & pedestrian traffic circulation is shown.

Proposed parking & loading spaces including ADA accessible spaces are shown and labeled.

Refuse Enclosure Area (Dumpster), if applicable, is shown. Section 161-19.1 of the Zoning Ordinance states, "No refuse vehicle or refuse container shall be parked or placed within 15 feet of a party line without the written consent of the adjoining owner, if the owner occupies any part of the adjoining property".

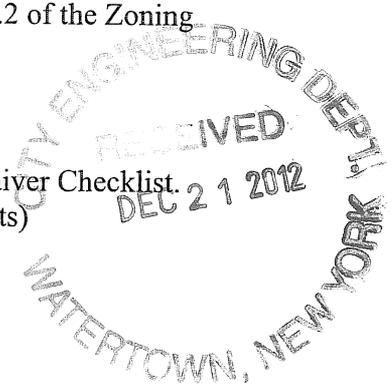
The north arrow & graphic scale are shown.

GENERAL INFORMATION

Signage will not be approved as part of this submission. It requires a sign permit from the Codes Department. See Section 310-52.2 of the Zoning Ordinance.

Plans have been collated and properly folded.

Explanation for any item not checked in the Site Plan Waiver Checklist.
(Attach separate sheet with explanation and comments)



SIGNATURE

I certify that the information provided above is true to the best of my knowledge.

Applicant (please print) _____

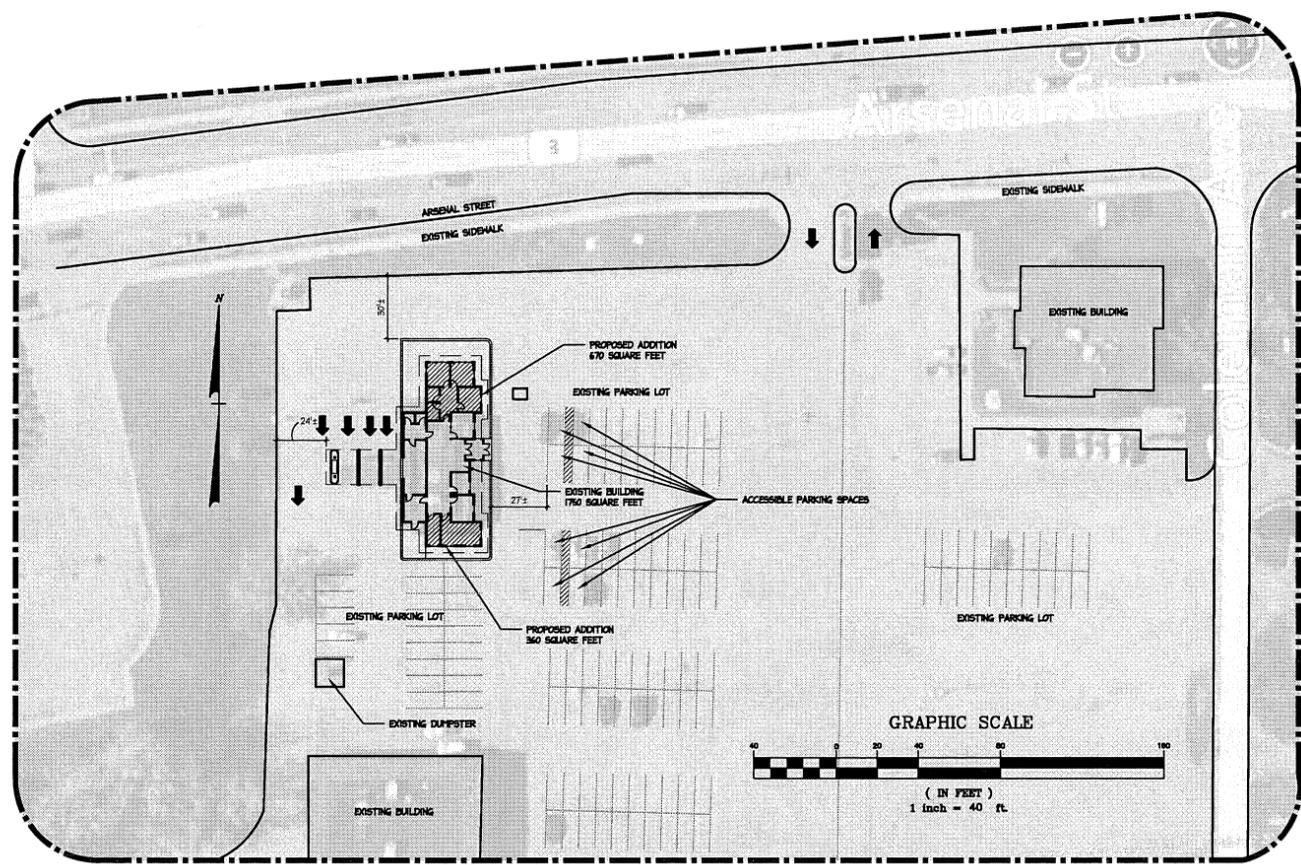
CHARLES FOSTER

Applicant Signature _____

[Handwritten Signature]

Date: _____

Dec. 21 2012



OVERALL SITE PLAN
SCALE: 1"=40'-0"

SITE INFORMATION
TAX ID # 9-16-121
PROPERTY CLASS - A62 - NEH
SHOP CTR
SITE - COM 1
ZONE - COMMERCIAL

CITY ENGINEERING DEPT.
RECEIVED
DEC 21 2012
WATERTOWN, NEW YORK

BERNIER, CARR & ASSOCIATES

Bernier, Carr & Associates, Engineers, Architects and Land Surveyors, P.C.

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NOT FOR
CONSTRUCTION

OVERALL SITE PLAN

COMMUNITY BANK
ARSENAL STREET
WATERTOWN

Town - County - State of New York

Revisions:
1.)

THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE & NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES.

Drawn By RJM	Checked By RWT
Scale AS NOTED	Date 12-20-2012

File No.
Sheet No.

C-100
PRINTED FOR REVIEW